

Appearance Review Commission  
Village of Deerfield  
Robert D. Franz Council Chambers

**Workshop Meeting**                      **7:30 p.m**                      **Monday, June 22, 2026**

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Call to Order

Roll Call

Consideration of Minutes  
Minutes of May 18, 2026

Public Comment

Pending Applications:

1. Deerfield Fire Station, 500 Waukegan Road: exterior paint and signage
2. CAVA, 70 S. Waukegan Road: exterior improvements

Items from the Staff  
As Introduced

Items from the Commission  
As Introduced

Adjournment

Appearance Review Commission

Meeting Minutes

May 18, 2026

A meeting of the Appearance Review Commission was held on Monday, May 18, 2026 at 7:30 p.m. Chairperson Sherry Flores called the meeting to order at 7:30 p.m.

Present were:

Amy Charlson  
Sherry Flores, Chairperson  
Dustin Goffron  
Neil Goldberg  
Daniel Moons

Absent:

Jason Golub  
Troy Mock

Also Present:

Liz Delevitt, Planning & Design Specialist

Document Approval

Mr. Goldberg moved to approve the minutes from the March 16, 2026 Appearance Review Commission meeting as presented. Mr. Goffron seconded the motion. The motion passed unanimously on a voice vote.

Public Comment:

There were no public comments on non-agenda items.

Business:

1. US Bank, 60 S. Waukegan Road – Exterior Improvements and Signage

Heather Sonsedek, Project Manager with Stratus, and Matt Crews, Job Captain with RSP Architects, representing US Bank were present. Mr. Crews explained they are taking the Sleep Number tenant space and not proposing any site changes. He explained, Deerbrook Mall will be restriping ADA parking stalls in the north parking lot and adding a crosswalk leading to the entrance. The store entrance will remain in the same location, but they will be adding an interior vestibule.

Mr. Crews explained they propose removing two (2) panes of glass on the north elevation to allow for a new walk-up ATM and night drop box. The remaining windows surrounding the ATM will be backed by 3M Sun Control window film designed to repel heat and glare.

The film has a slight reflective finish and will conceal the view of banking equipment. The ATM will be located under an existing green awning and additional lighting and a security camera will be added. Chairperson Flores questioned why the ATM is not in the vestibule, as Lake Cook Road is a busy street. Ms. Delevitt explained they want the ATM to be available after hours. Mr. Crews noted they would be replacing the entrance doors, with identical doors that have different hardware necessary for the bank. They will also be power washing the building. Mr. Crews explained US Bank would like ATM signage and a halo around the ATM to be illuminated for safety during the evening hours.

Ms. Sonsedek discussed the proposed wall signs consisting of 28-inch high, red and white channel letters with matching aluminum returns, centered vertically and horizontally within the sign bands. The facade would be patched prior to installing the new signs. Ms. Sonsedek explained there are existing reverse raceways which will be used to pull wires, but the letters would be flush-mounted. Ms. Delevitt confirmed that the raceway would be hidden within the wall. She also noted the Zoning Ordinance requires all wall signs to be located below the roof deck, but the ARC can approve signs up to 3-feet above the roof deck. The signs would be on the north, west and south elevations. The green awnings will remain.

The proposed pylon sign panels will have aluminum sign faces with 1-inch thick acrylic, routed-out, push-through graphics. The panels will be painted Greyshank suede satin finish, as required by the Deerbrook Mall Sign Criteria. The white letter faces on the pylon sign will match the other white faces on the pylon sign. Ms. Sonsedek explained they would like to keep the shield logo around their text. The Commissioners were okay with the branded shield as its embedded in the typography of the sign, not a separate logo. Ms. Sonsedek clarified only the lettering would illuminate.

Mr. Moons moved to approve the US Bank exterior improvements and signage as presented. Mr. Goffron seconded the motion. The motion passed by the following vote:

AYES: Charlson, Goffron, Goldberg, Moons, Flores (5)

NAYS: None (0)

#### Items from Staff

Ms. Delevitt reported Subway received a violation for having a dumpster outside of their trash enclosure. There will be a new business, KidStrong, that will go into the Ifergan building. It is a science-based kids training facility. The Plan Commission held an informational meeting for a sports mall on the south end of Deerbrook Mall. It is a new concept that will cluster elite sports training businesses under one roof. The primary purpose is to build youth through sports skills training. The Plan Commission had several concerns including the central hub drop-off, traffic, and more. Ms. Delevitt noted they have a phased approach.

Ms. Delevitt reported the Village developed a Restaurant Task Force consisting of Village Staff, Chamber of Commerce, property managers and restaurant owners. The purpose of the task force is to help existing restaurants while attracting new restaurants to come to Deerfield. Several neighboring communities have set aside funds to subsidize new and existing restaurants. The Restaurant Task Force met to discuss liquor licenses, outdoor seating and the challenges associated with both of these items. Future topics include signage and advertising. She noted that some of the feedback may lead to text amendments to the Zoning Ordinance and Appearance Code, which will be discussed by the Commission. Ms. Delevitt explained they will be discussing attracting new restaurants as well.

#### Items from the Commission

Ms. Charlson noted Kay's Foot Spa has a torn awning, mylar and twinkling lights. Ms. Delevitt will reach out to them again.

Ms. Delevitt noted the commissioners could reach out to her via email if they see anything.

#### Adjournment

There being no further business or discussion, Mr. Moons moved to adjourn the meeting. Ms. Charlson seconded the motion. The motion passed unanimously on a voice vote.

The meeting was adjourned at 8:15 pm.

The next Appearance Review Commission meeting will be June 22, 2026 at 7:30 pm.

Respectfully submitted,

Jeri Cotton  
Secretary

# Memorandum



VILLAGE OF DEERFIELD

To: Appearance Review Commission  
From: Liz Delevitt, Planning & Design Specialist  
Date: June 16, 2026  
Subject: Deerfield Fire Station, 500 Waukegan Road: exterior paint and signage

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The Deerfield-Bannockburn Fire Protection District (DBFPD) is requesting approval to repaint the metal doors and trim on the Deerfield fire station and add identification signage to the doors. In 1994 when the station was constructed, forest green fire doors and metal window trim were installed to match the existing downtown streetscape. DBFPD is looking to return to the historic tradition of red fire doors at the Deerfield Fire Station which gives the station high visibility and represents urgency.

## Exterior Paint:

Proposed is to paint the front, side and rear fire truck garage bays Sherwin Williams SW 7588 Show Stopper. The window trim and service doors will be painted with a black industrial urethane enamel paint. A bonded primer will be applied to the windows before they are painted in order to prevent peeling. **Petitioner is open to alternative red color suggestions from the Commission.**

## Identification Signage:

DBFPD is also proposing gold leaf lettering on the fire doors to identify the vehicles parked in each bay. Buildings zoned in the P-1 Public Lands district are permitted to have Identification and Informational Signs as needed. The ARC should review the signs for clarity and whether the signs are appropriately sized. Sign drawings will be provided at the meeting.

## Deerfield Zoning Ordinance (Section 9.02-F 1(a)), Number and Content:

*“Because many of the properties in the Public Lands District are uniquely sized and configured, the number of Informational or Identification signs allowed shall be the minimum number necessary to adequately identify the use of the facility. Such signs may indicate the name and/or address of the use or facility and any appropriate information necessary to adequately inform the public of any restrictions or regulations governing the use or facility.”*

## Deerfield Zoning Ordinance (Section 9.02-F 1(c)), Area:

*“The maximum gross surface area of a sign face shall be the minimum necessary to adequately present the information thereon. Particular consideration will be given to the zoning classification and uses adjacent to the Public Lands property for which the sign is proposed.*



Existing East Elevation Visible from Waukegan Road



Existing West Elevation



Existing West Elevation Visible from Coromandel



Existing South Elevation



Elk Grove Village Fire Station



Hoffman Estates Fire Station



Pilot Butte Fire Station in Bend, Oregon



AI Generated Images (for reference only, not color accuracy)

Sherwin Williams  
Show Stopper  
SW 7588

Created with  
 SHERWIN-WILLIAMS  
COLORSNAP | VISUALIZER

SW 6866  
Heartthrob

SW 6871  
Positive Red

SW 7588  
Show Stopper

SW 6601  
Tanager

SW 6869  
Stop

SW 6868  
Real Red

SW 6861  
Radish

SW 6862  
Cherries Jubilee



SHERWIN-WILLIAMS.

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Sherwin Williams  
Stolen Kiss  
SW 7586

SW 6868  
**Real Red**  
Interior / Exterior  
Location Number: 101-C6

T.O. HOSE TOWER  
152'-6"

T.O. APPARATUS BAY  
133'-9"

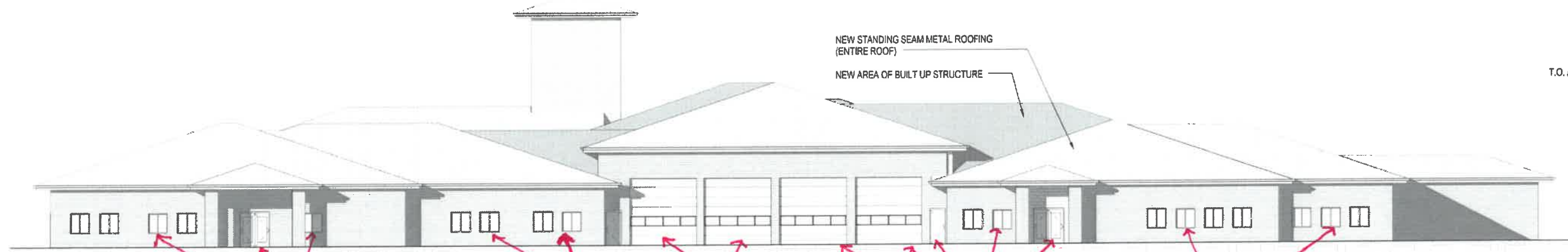
ROOF  
120'-0"

LEVEL 02  
112'-0"

LEVEL 01  
100'-0"

NEW STANDING SEAM METAL ROOFING  
(ENTIRE ROOF)

NEW AREA OF BUILT UP STRUCTURE



# 1 EAST ELEVATION (FACES WAUKEGAN ROAD)

Black Urethane  
Enamel Paint

SW 7588  
Snow Stopper

Black Urethane  
Enamel Paint.

T.O. HOSE TOWER  
152'-6"

T.O. APPARATUS BAY  
133'-9"

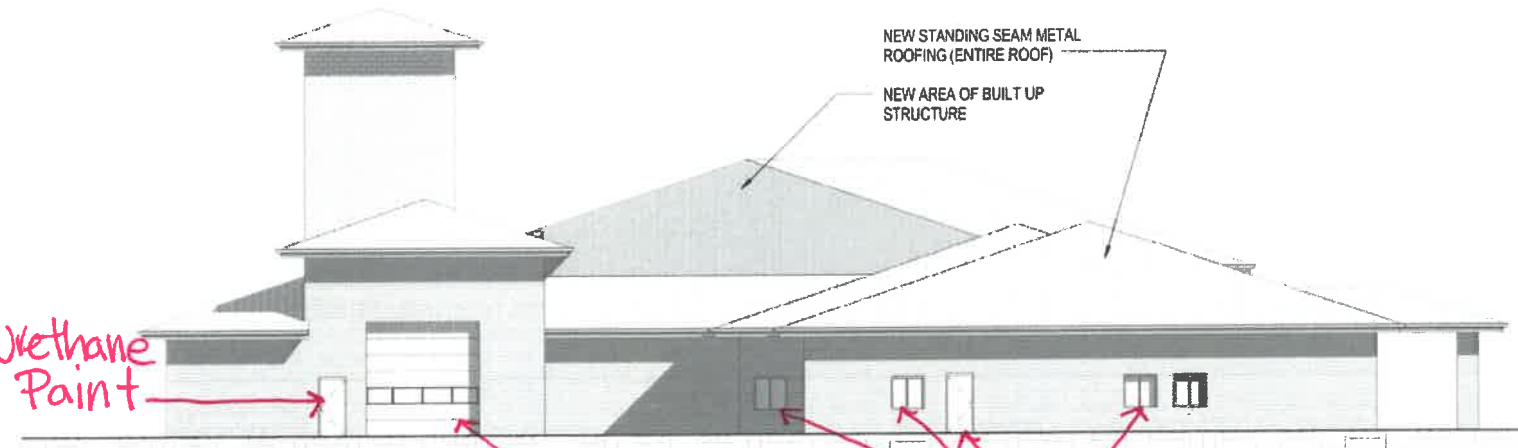
ROOF  
120'-0"

LEVEL 02  
112'-0"

LEVEL 01  
100'-0"

NEW STANDING SEAM METAL ROOFING  
(ENTIRE ROOF)

NEW AREA OF BUILT UP STRUCTURE

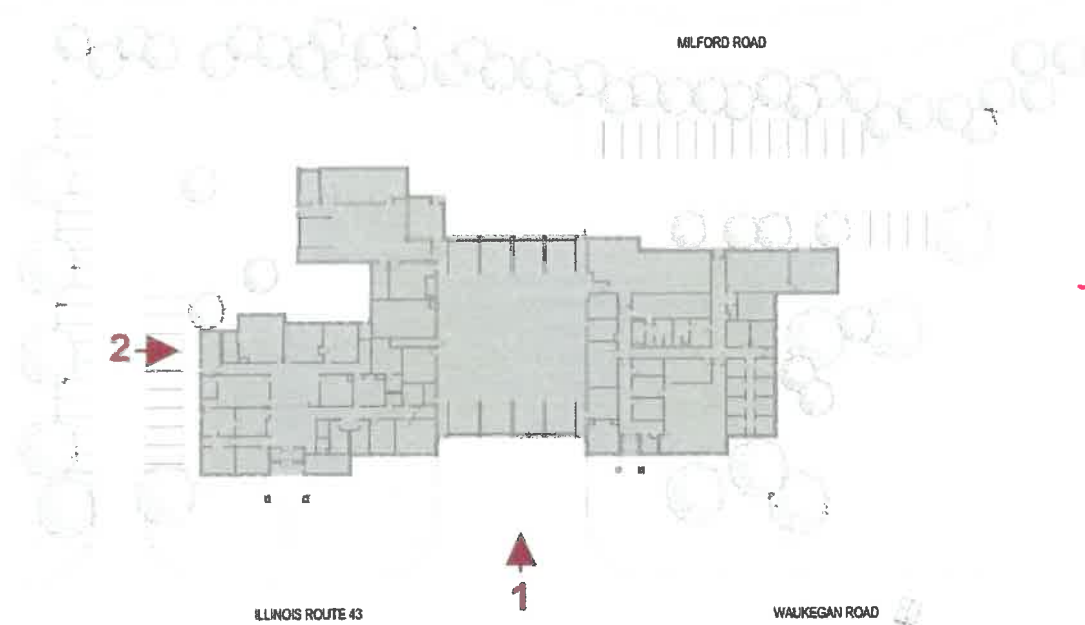


Black Urethane  
Enamel Paint

SW 7588  
Snow Stopper

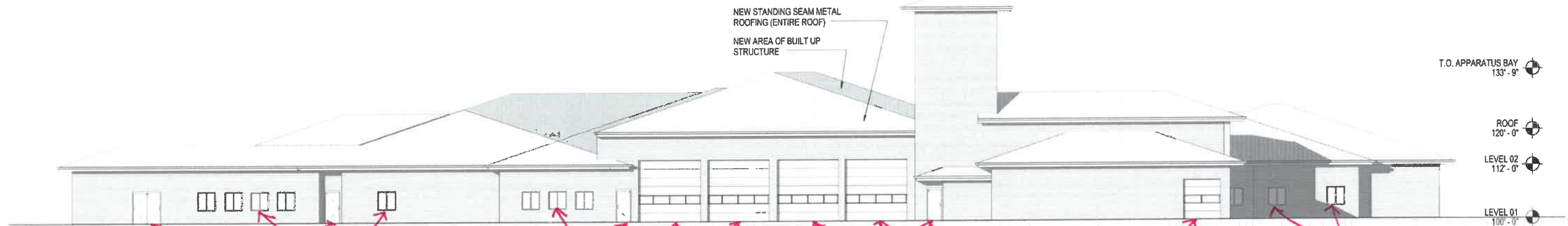
Black Urethane  
Enamel Paint

# 2 SOUTH ELEVATION



## Deerfield-Bannockburn Fire Protection District – Station 20 Elevations

**DLR Group**  
October 8, 2015



**3 WEST ELEVATION**  
(BACK OF BUILDING)

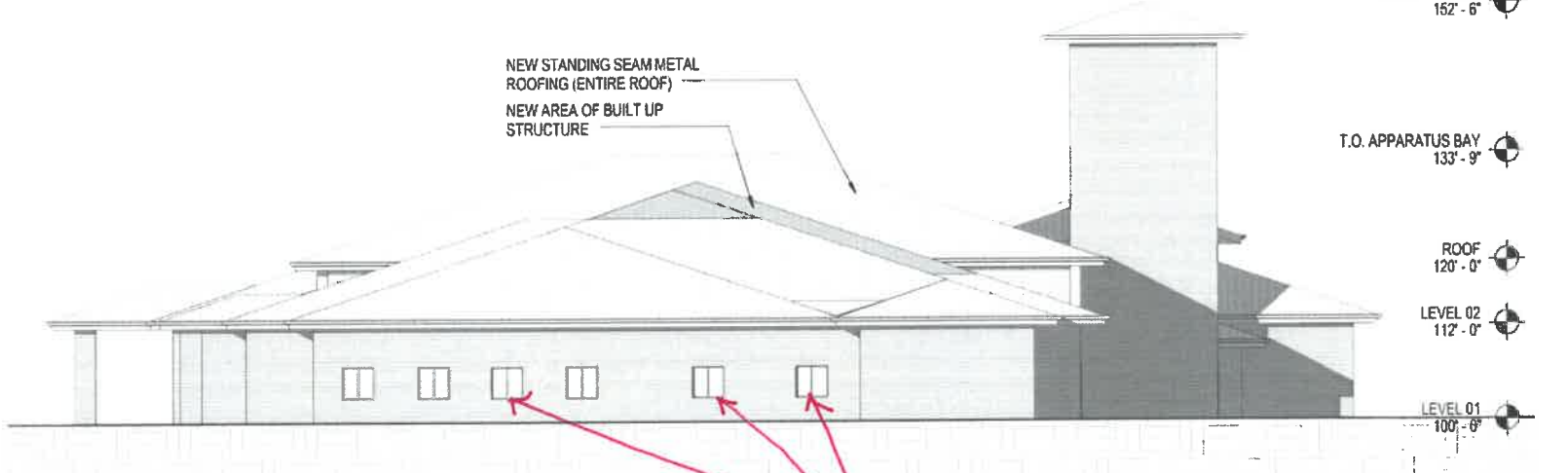
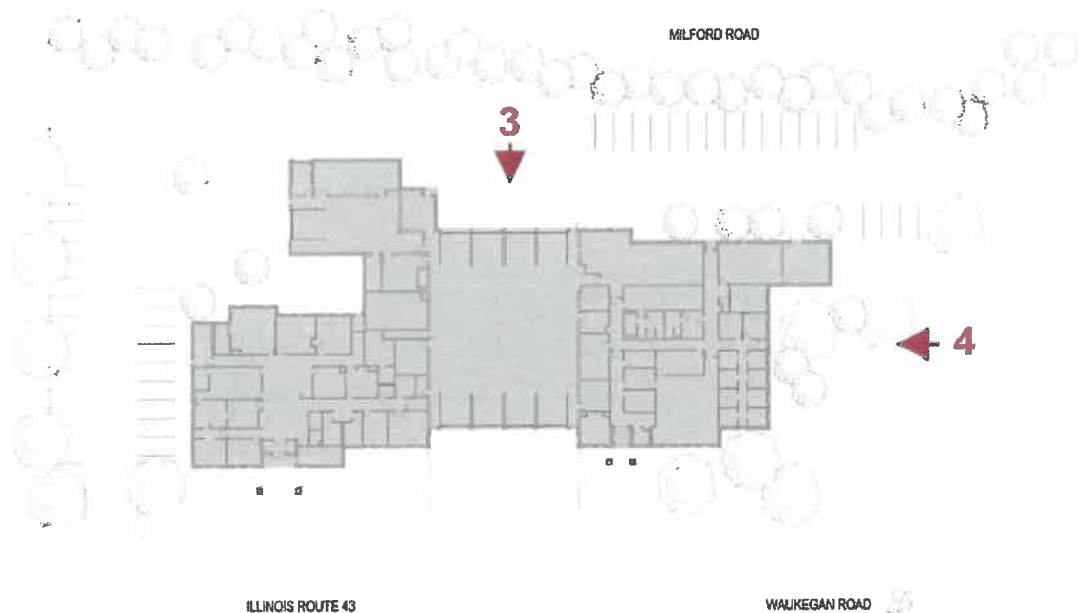
*Black Urethane Enamel Paint.*

*SW-7588 Snow Stopper*

*Black Urethane Enamel Paint*

*SW 7588 Snow Stopper*

*Black Urethane Enamel Paint*



**4 NORTH ELEVATION**

*Black Urethane Enamel Paint*



9.02-F Public Lands District (Ord. 0-90-34; Ord. 0-24-34, eff. 3-1-2025)

The unique nature of the Public Lands District is reflected in the types of uses allowed in the District, location of such properties in the midst of the residential, commercial and industrial district and the need for the provision of public facilities. Because of this uniqueness, signage in the Public Lands District should be appropriate for the area in which the property is located, should be sensitive to the neighboring land uses, and should serve the public properly. Any signage accessory to a use in the Public Lands District should be restricted to that which is necessary to serve the public, taking into consideration the area and land uses most impacted by the signage. Therefore, signs will be permitted and then only if accessory and incidental to a Special Use allowed in the district. Such signage may consist of, but is not limited to, the types of signs listed below if a public need for such signage is determined by the Board of Trustees, except for Sidewalk Signs (as defined below) and temporary signs, which do not require Board of Trustees approval.

1. Identification and Informational Signs, subject to the following:

a. Number and Content

Because many of the properties in the Public Lands District are uniquely sized and configured, the number of Informational or Identification signs allowed shall be the minimum number necessary to adequately identify the use of the facility. Such signs may indicate the name and/or address of the use or facility and any appropriate information necessary to adequately inform the public of any restrictions or regulations governing the use or facility.

b. Type

Said signs may be ground signs or wall signs.

c. Area

No sign shall have more than two (2) exposed faces. The maximum gross surface area of a sign face shall be the minimum necessary to adequately present the information thereon. Particular consideration will be given to the zoning classification and uses adjacent to the Public Lands property for which the sign is proposed.

d. Location

(1) Ground signs may be located in any required yard but in no event may they be located closer to a side or front lot line than one half (1/2) of the minimum setback required in the underlying district regulation. Such signs shall not extend over any lot line and shall take due consideration of traffic safety.

(2) Wall signs may be located on any wall of the free standing building where such a sign is deemed appropriate.

e. Height

(1) Ground signs shall not exceed 6 (six) feet in height as measured from grade at the bottom of the sign.

(2) Wall signs shall not project higher than the parapet line of the roof of the building.

f. Illumination

Such signs may not be illuminated unless the public health, safety or general welfare indicates they should be illuminated.

# Memorandum



VILLAGE OF DEERFIELD

To: Appearance Review Commission  
From: Liz Delevitt, Planning & Design Specialist  
Date: June 16, 2026  
Subject: CAVA, 70 S. Waukegan Road: exterior improvements

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CAVA, a fast casual restaurant chain specializing in Mediterranean-inspired cuisine, will be occupying the former MOD Pizza tenant space in Deerbrook Mall. The space is 2,200 SF of interior restaurant space with a 670 SF outdoor patio. The petitioner is requesting building and patio improvements currently in order to stay on track for their permitting timeline. They will return to the Commission next month for signage.

## Exterior Updates:

The petitioner is looking to give the tenant exterior a fresh look by removing the green awnings and replacing the storefront metal cladding with new pieces that match the existing metal storefront. The entrance door will also be replaced with a new double door and one of the rear service doors will be replaced.

CAVA would like to introduce its clean, earthy aesthetic associated with their brand on their tenant space. Proposed is to remove the existing EIFS parapet wall that is visible on all of the outlot buildings and replace it with a metal panel and rain screen system on the east and south elevations only. Larger tenant spaces throughout the mall, such as Floor & Decor, have been approved with differing facades in order to break up the larger building; however, CAVA is located in one of the smaller outlot buildings, which have not been approved individually for similar changes. In addition, the Deerfield Appearance Code requires building updates to fit in with the existing architecture of a building.

Deerfield Appearance Code, Building Design (Section 4b):

*“Structures shall have the same harmonious materials used on all elevations that are wholly or partially visible to the public from a public or private street, place, way or adjacent property.”*

The ARC should review the building as a whole and determine if the proposed CAVA exterior updates are harmonious with the remainder of the building or if it is outside of the Deerfield Appearance Code.

Opaque Windows:

The petitioner is requesting to add an opaque vinyl film to westernmost windows on the south elevation. A sample of the window film will be provided at the meeting. These windows have a view into a restroom and office with visible mechanicals.

Deerfield Zoning Ordinance (Section 9.02-B,13(g)), Opaque Windows:

*"It may be necessary to cover an entire window due to unsightly views such as storage rooms. In this case, the window shall be considered to be part of the wall of the building and shall be regulated as such by the Appearance Code, including ARC review and approval."*

Outdoor Seating Area:

Proposed is to remove the existing planter boxes and railings and replace them with a 3-foot high breeze block enclosure that matches the CAVA aesthetic. Ten (10) bollards will be installed on the interior of the enclosure for additional safety. The outdoor seating area will accommodate seventeen (17) diners on five (5) tables. New white metal tables with yellow chairs and yellow umbrellas will replace the existing furniture to better match the brand's signature colors. No branding is proposed for the umbrellas. The required 3-foot wide accessible ADA route has been maintained between the tables.

Directional Signage:

Three (3) carry out signs are to be located in the parking lot, across from the entrance. The signs are 1.5 SF and non-illuminated and therefore considered exempt signage. The ARC can offer feedback, but the signs are not part of the ARC's package.



Existing East Elevation



Existing South Elevation



Existing West Elevation



CAVA Exterior – Montrovia, CA

## GENERAL CONSTRUCTION NOTES

- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. CAVA RETAINS ALL RIGHTS OF OWNERSHIP.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION. BUILDING PERMIT TO BE REIMBURSED BY OWNER.
- THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER. WHICHEVER IS GREATER.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN THE PROJECT MANUAL AND GENERAL CONDITIONS A201.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS EITHER IN CONTRACT OR NOT IN CONTRACT HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- GENERAL CONTRACTOR TO HAVE JOB PHONE AND INTERNET ACCESS ON PREMISES DURING ENTIRE CONSTRUCTION PERIOD TO ENSURE OPEN COMMUNICATION CHANNELS.
- THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., SLATWALL, ETC.
- ALL DIMENSIONS SHOWN ARE TO FACE OF EXISTING CONDITIONS OR SUBSTRATE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL ELEMENTS ARE TO CENTERLINE OF STEEL COLUMNS AND STEEL BEAMS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- EGRESS DOORS SHALL BE PROVIDED PER IBC SECTIONS 1016 THROUGH 1024.
- ALL ACCESS PANELS SHALL BE 24" x 30" UNLESS OTHERWISE NOTED.
- ALL GLASS UNITS LOCATED IN HAZARDOUS LOCATIONS AS INDICATED IN IBC 2406.3 SHALL COMPLY WITH TEST REQUIREMENTS OF CONSUMER PRODUCT SAFETY COMMISSION 16, CFR PART 1201 FOR HUMAN IMPACT LOADS.
- ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
- ALL FASTENERS, CONNECTORS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASTM A653, CLASS G-185 WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT TO REDUCE THE CORROSION PROCESS.
- FIRELOCKING SHALL BE INSTALLED IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED OR STUDDED-OFF SPACES OF MASONRY OR CONCRETE WALLS, AND AT THE CEILING AND FLOOR OR ROOF LEVELS. PER IBC SECTION 718.2.2.
- FIRELOCKING SHALL BE INSTALLED AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS OVER CABINETS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. PER IBC SECTION 718.2.
- REQUIRED FLAME SPREAD RATING: INTERIOR FINISH OF WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT DESIGNATED BY THE CLASS PRESCRIBED FOR THE VARIOUS GROUPS LISTED IN IBC TABLE 803.13, WHEN TESTED IN ACCORDANCE WITH IBC SECTION 803.1.1.1.
- PROVIDE "ABC" AND "K" PORTABLE FIRE EXTINGUISHERS WITH U.L. LABEL AND A RATING OF NOT LESS THAN 4A 80B:C WITH 75 FT TRAVEL DISTANCE TO ALL POSITIONS OF BUILDING OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- ALL WORK INDICATED "BY LANDLORD" TO BE COMPLETED BY THE LANDLORD UNDER SEPARATE PERMIT.

## DEFERRED SUBMITTALS/SEPARATE PERMITS

- ANSUL FIRE SUPPRESSION SYSTEM FOR HOOD
- EXTERIOR SIGNAGE
- MODIFICATIONS TO EXISTING FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM

## LIABILITY NOTE

THE INTENT OF THE SCOPE CONTAINED WITHIN THESE DOCUMENTS RELATES TO THE INTERIOR REMODELING / BUILD-OUT OF A RESTAURANT / INTERIOR SPACE CONTAINED WITHIN AN EXISTING SHELL BUILDING. THE ARCHITECT HAS NOT INSPECTED THE CONDITIONS OR THE INTEGRITY OF THE EXISTING SHELL BUILDING AND SHALL NOT ASSUME RESPONSIBILITY OR LIABILITY FOR SAME. THE RESPONSIBILITY AND LIABILITY FOR THE EXISTING SHELL BUILDING CONDITIONS AND INTEGRITY, AND FOR THE CONFORMANCE OF THE EXISTING BUILDING SHELL TO ALL APPLICABLE LOCAL CODES AND ENVIRONMENTAL REQUIREMENTS, IS SOLELY THAT OF OTHERS, AND NOT THAT OF THE ARCHITECT. THE ARCHITECT'S SCOPE OF WORK IS STRICTLY LIMITED SOLELY TO THE INTERIOR BUILD-OUT OF AN EXISTING INTERIOR SPACE LOCATED WITHIN AN EXISTING SHELL BUILDING.

## FIRE CODE NOTES

- PROVIDE ALTERATIONS AND MODIFICATIONS AS NECESSARY TO EXISTING FIRE PROTECTION SYSTEM (FIRE SPRINKLER AND/OR FIRE ALARM) AS REQUIRED PER SCOPE, AND VERIFY EXTENT OF WORK IN FIELD. SUBMIT DEFERRED PERMITS IF REQUIRED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL FIRE PROTECTION DISTRICT AND WATER DEPARTMENT.
- G.C. TO INSTALL FIRE EXTINGUISHERS AS NOTED, BUT NOT LIMITED TO, THE LOCATIONS SHOWN IN PLAN. FINAL LOCATIONS AND QUANTITIES TO BE VERIFIED WITH FIRE MARSHAL & AHI.
- GC TO INSTALL TENANT PROVIDED EMERGENCY EVACUATION MAPS INDICATING ALL EXITS AND EQUIPMENT (FIRE EXTINGUISHERS, PULL STATION FIRE HOSE, ETC.) POSTED AS REQUIRED, ABOVE FIRE EXTINGUISHERS WHERE REQUIRED BY FIRE MARSHAL. G.C. TO CONFIRM FINAL LOCATIONS AND QUANTITIES IN FIELD WITH FIRE MARSHAL AND AHI.
- GC TO PROVIDE AND INSTALL KNOX BOX IF REQUIRED BY LOCAL JURISDICTION. GC TO COORDINATE LOCATION WITH FIRE DEPARTMENT.

## MISCELLANEOUS NOTES

TENANT'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

THESE DOCUMENTS HAVE BEEN PREPARED EXPRESSLY FOR USE ON THIS PROJECT, AT THE ADDRESS INDICATED ON COVER, SOLELY FOR THE PURPOSE OF IMPROVEMENTS TO AN EXISTING BUILDING.

ANY ADDITIONAL USE OF THESE DOCUMENTS FOR ANY REASON OTHER THAN THAT MENTIONED ABOVE MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT (THE COPYRIGHT HOLDER).

G.C. TO ENSURE THAT ALL WORK COMPLETED AS PART OF THIS PROJECT IS DONE SO IN COMPLIANCE WITH LANDLORD GENERAL CONTRACTOR RULES AND REGULATIONS, WHICH SHALL BE THE RESPONSIBILITY OF THE G.C. TO OBTAIN FROM THE LANDLORD.

ALL REFERENCES TO "OWNER" IN THIS SET OF DRAWINGS REFERS TO THE CLIENT/TENANT OF THIS SET OF DRAWINGS. ANY REFERENCES TO LANDLORD ARE REFERRED TO AS SUCH.

## SPECIAL INSPECTIONS

- STEEL CONSTRUCTION - IBC 1705.2
  - CONCRETE CONSTRUCTION - IBC 1705.3
- \*SEE STRUCTURAL SPECIAL INSPECTIONS SHEET FOR MORE INFORMATION\*

## PROJECT TEAM

### OWNER

CAVA MEZZE GRILL LLC  
14 Ridge Square NW, Suite #500  
Washington, DC 20016  
P: 202.400.2920  
E: permits@cava.com

### LANDLORD/PROPERTY MANAGER

Core Acquisitions, LLC  
10 Parkway N, Ste 120,  
Deerfield, IL 60015  
P: 224-470-2210  
E: bjoese@coreacq.com  
Bradley Joseph - Principal

### ARCHITECT

Chipman Design Architecture, Inc.  
1350 E Touhy Avenue, 1st Floor Suite East  
Des Plaines, IL 60018  
Lauren Chipman  
P: 847.298.6900  
E: jclark805@chipman-design.com  
Jerry Clark - Project Associate III

### MEP ENGINEERS

WCW Engineers, Inc.  
760 Creel Dr.  
Wood Dale, IL 60191  
P: 630.595.8800 Ext.205  
E: luis.roman@wcwengineers.com  
Luis Roman

### STRUCTURAL ENGINEER

O'Donnell & Naccarato Structure Engineers  
450 E 96th Street, Suite 175  
Indianapolis, IN 46240  
P: 317.580.0402  
E: satmar@o-n.com  
Saber M. Atmar - Senior Project Manager

### BUILDING DEPARTMENT

Village of Deerfield Building Department  
850 Waukegan Rd  
Deerfield, IL 60015  
P: 847.719.7484

### HEALTH DEPARTMENT

Lake County Health Department  
500 W Winchester Rd  
Libertyville, IL 60048  
P: 847.377.8023

### FIRE DEPARTMENT

Northbrook Fire Department  
Kevin Frangiamore - Fire Marshall  
P: 847.664.4501



PROJECT DESCRIPTION	BUILDING CODE INFORMATION
TENANT INTERIOR BUILD-OUT IN THE FIRST FLOOR OF EXISTING SINGLE STORY BUILDING - ENDCAP UNIT AND PREVIOUS RESTAURANT, A-2 OCCUPANCY, TO BE UTILIZED AS A FAST-CASUAL SIT DOWN RESTAURANT.	BUILDING CODE: 2024 INTERNATIONAL BUILDING CODE MECHANICAL CODE: 2024 INTERNATIONAL MECHANICAL CODE ELECTRICAL CODE: 2023 NATIONAL ELECTRIC CODE PLUMBING CODE: 2014 ILLINOIS PLUMBING CODE ENERGY CODE: 2024 ILLINOIS ENERGY CONSERVATION CODE FIRE CODE: 2024 INTERNATIONAL FIRE CODE FUEL GAS CODE: 2024 INTERNATIONAL FUEL GAS CODE ACCESSIBILITY CODE: 2018 ILLINOIS ACCESSIBILITY CODE
ALL HOOD ANSUL INSTALLATIONS SHALL BE DESIGNED BY A LICENSED ANSUL CONTRACTOR UNDER SEPARATE PERMIT.	
EXTERIOR SIGNAGE UNDER SEPARATE SUBMITTAL.	
FIRE SPRINKLER AND FIRE ALARM SYSTEMS SHALL BE DESIGNED BY A LICENSED CONTRACTOR UNDER SEPARATE PERMIT.	

### TENANT SPACE CODE SUMMARY

FIRE SUPPRESSION:	SPRINKLERED (EXISTING TO REMAIN)	IBC SECTION 903
USE GROUPS:	A-2 ASSEMBLY (EXISTING TO REMAIN)	IBC SECTION 303
CONSTRUCTION TYPE:	II-B (EXISTING TO REMAIN)	IBC SECTION 602
LENGTH OF TRAVEL:	MAX. ALLOWED: 250'-0", EXISTING: 66'-5" (SEE G100)	IBC TABLE 1017.2
TENANT LEASE AREA:	2,200 G.S.F.(E.T.R.)	
EXISTING PATIO SPACE:	360 G.S.F. (E.T.R.)	
TENANT OCCUPANT LOAD:	64 (SEE G100)	
CLIMATE ZONE:	ZONE 5A	
SEISMIC DESIGN CATEGORY	CATEGORY A	

### SHELL BUILDING CODE SUMMARY

FIRE SUPPRESSION:	SPRINKLERED (EXISTING)	IBC SECTION 903
USE GROUPS:	RESTAURANT (A-2 ASSEMBLY)	IBC SECTION 303
CONSTRUCTION TYPE:	II-B (EXISTING)	(EXISTING OCCUPANCY OF TENANT SPACE AND ADJACENT TENANT SPACES TO REMAIN UNCHANGED; FIRE RATING FOR DEMISING WALL TO REMAIN AND REPAIRED AS REQ'D.)
BUILDING HEIGHT:	±22'-8" (ETR)	IBC SECTION 602



1 G000 N.T.S.

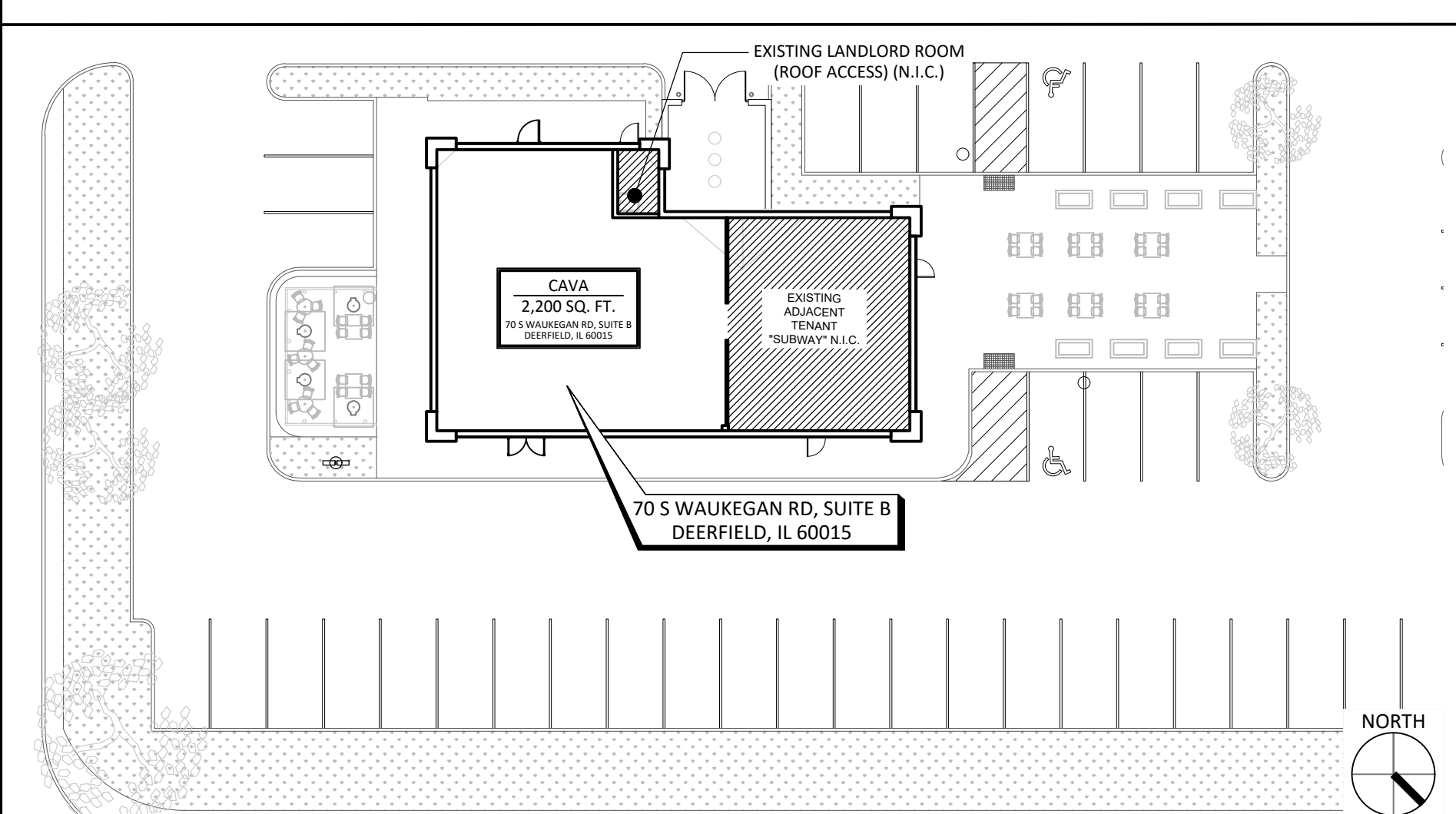
VICINITY MAP

## SHEET INDEX

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GENERAL	JUN 08, 2026	C-1.0 CIVIL IMPROVEMENTS	JUN 08, 2026
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G002		ACCESSIBILITY DETAILS	
G003		ACCESSIBILITY DETAILS	
G100		LIFE SAFETY PLAN	
G200		DEMISED PREMISES PLAN & NOTES	
G600		RESPONSIBILITY MATRIX & VENDOR LIST	
G900		SPECIFICATIONS	
G901		SPECIFICATIONS	
G902		SPECIFICATIONS	
G903		SPECIFICATIONS	
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A121		FINISH SCHEDULE	
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A131		FIXTURE, FURNITURE & EQUIPMENT SCHEDULE	
A132		INTERIOR SIGNAGE PLAN	
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A141		REFLECTED CEILING PLAN - FINISHES	
A142		SOUND ATTENUATION PLAN	
A150		ROOF PLAN	
A210		EXTERIOR ELEVATIONS	
A211		EXTERIOR ELEVATIONS	
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A221		INTERIOR ELEVATIONS	
A410		ENLARGED RESTROOM PLANS	
A500		DETAILS	
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A503		OFFICE DETAILS	
A504		DETAILS	
A600		WALL PARTITION SCHEDULE	
A601		DOOR, HARDWARE & SCHEDULES	
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STRUCTURAL			
S000		GENERAL NOTES	
S001		SPECIAL INSPECTIONS	
S100		ROOF FRAMING PLAN	
S200		FRAMING SECTIONS	

## ACCESSIBILITY INFORMATION

- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. CROSS SLOPE 2%.
- WALKING SURFACES SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
- PROVIDE A 60" x 60" MIN. LANDING ON STRIKE SIDE OF DOOR WITH 44" MINIMUM WIDTH IN DIRECTION OF TRAVEL.
- WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3'-0" WIDE BY 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT SHALL BE A MINIMUM OF 32".
- THRESHOLDS TO BE A MAXIMUM OF 1/2" ABOVE THE ADJACENT FINISHED FLOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR INTERIOR DOORS AND 15 LBS FOR EXTERIOR DOORS.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC SLIDERS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- THE BUILDING SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND ANSI A117.1-2009 ACCESSIBILITY CODE
- CONTROLS AND OPERATING MECHANISMS SHALL BE ACCESSIBLE AND HAVE MOUNTING HEIGHTS COMPLYING WITH ANSI 4.27.
- ALL ROOM, DIRECTIONAL, AND INFORMATION SIGNS SHALL BE ACCESSIBLE DESIGN COMPLYING WITH ANSI 4.13 AND 4.30.



2 G000 N.T.S.

KEY PLAN

CHIPMAN DESIGN ARCHITECTURE INC  
REGISTRATION NO. 184-COM-0171  
FIRST FLOOR EAST  
DES PLAINES, IL 60018  
PHONE: 847.298.6900



DATE	06/08/26
EXPIRATION DATE	

ARCHITECT HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.



CAVA #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
70 S WAUKEGAN RD, SUITE B  
DEERFIELD, IL 60015  
FOR CAVA  
14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

PROJECT NUMBER:	26-1603.00
-----------------	------------

ISSUE	DATE
SCHEM. DESIGN PERMIT/BID	05/01/2026 06/08/2026

DRAWN BY:	CHECKED BY:
JC	JM/AV/JF

COVER SHEET

G000

## STANDARD ABBREVIATIONS

@	AT	H.P.	HIGH POINT	SC	SOLID CORE
A/C	AIR CONDITIONING	HC	HOLLOW CORE	SCHEDED	SCHEDULE
AB	ANCHOR BOLT	HCWD	HOLLOW CORE WOOD DOOR	SCN	SCREEN
ABV	ABOVE	HDWD	HARDWOOD	SD	SMOKE DETECTOR
ACT	ACOUSTICAL CEILING TILE	HDWR	HARDWARE	SECT	SECTION
AD	AREA DRAIN	HM	HOLLOW METAL	SF	SQUARE FOOT (FEET)
ADA	AMERICAN'S W/ DISABILITIES ACT	HMF	HOLLOW METAL FRAME	SHT	SHEET
ADJ	ADJACENT	HORIZ	HORIZONTAL	SIM	SIMILAR
ADJT	ADJUSTABLE	HT	HEIGHT	SIPS	STRUCTURAL INSULATED PANEL
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATION & COOLING	SND	INS SOUND INSULATION
AFC	ABOVE FINISHED CEILING	HW	HOT WATER	SPEC	SPECIFICATION
AGG	AGGREGATE	ID	INSIDE DIAMETER	SPK	SPEAKER
AL	ALUMINUM	IN	INCH	SPL	SPECIAL
ALT	ALTERNATE	INCL	INCLUDE, (ED), (ING)	SQ	SQUARE
ANC	ANCHOR, ANCHORAGE	INSUL	INSULATION	SS	STAINLESS STEEL
ANOD	ANODIZED	INT	INTERIOR	STD	STANDARD
AP	ACCESS PANEL	STG	SEATING	STL	STEEL
ARCH	ARCHITECT, ARCHITECTURAL	STN	STAIN	STO	STONE TILE
ASPH	ASPHALT	JT	JOINT	SUSP	SUSPENDED
		JC	JANITOR'S CLOSET	SYM	SYMMETRY, (ICAL)
		JF	JOINT FILLER	SYS	SYSTEM
BD	BOARD	JT	JOINT		
BEL	BELOW	KEC	KITCHEN EQUIPMENT CONTRACTOR	T	TREAD
BL	BASE LINE	KIT	KITCHEN	T&G	TONGUE & GROOVE
BLDG	BUILDING	KPL	KICK PLATE	THK	THICKNESS
BLK	BLOCK			THR	THRESHOLD
BLKG	BLOCKING	L	LONG (LENGTH)	TO	TOP OF
BM	BEAM	L.O.D.	LEASE OUTLINE DRAWING	TOB	TOP OF BEAM
BM	BENCH MARK	L.P.	LOW POINT	TOC	TOP OF CONCRETE
BO	BOTTOM OF	L/T	LIGHT TRACK	TOJ	TOP OF JOIST
BPL	BEARING PLATE	LAM	LAMINATE	TOM	TOP OF MASONRY
BRG	BEARING	LAV	LAVATORY	TOS	TOP OF SLAB
BRK	BRICK	LBS	POUNDS	TOS	TOP OF STEEL
BRKT	BRACKET	LF	LINEAR FOOT	TOW	TOP OF WALL
BRS	BRASS	LGL	LAMINATED GLASS	TPG	TOPPING
BRZ	BRONZE	LH	LEFT-HANDED	TYP	TYPICAL
BS	BOTH SIDES	LL	LANDLORD		
BUR	BUILT UP ROOFING	LT	LIGHT	UC	UNDERCUT
		LTL	LINTEL	UNF	UNFINISHED
CB	CEMENTITIOUS BACKER BOARD	MAT	MATERIAL	UNO	UNLESS NOTED OTHERWISE
CEM	CEMENT	MAX	MAXIMUM	UTL	UTILITY
CG	CORNER GUARD	MBR	MEMBER	VCT	VINYL COMPOSITE TILE
CL	CENTER LINE	MDO	MEDIUM DENSITY OVERLAY	VERT	VERTICAL
CLG	CEILING HEIGHT	MECH	MECHANICAL	VF	VINYL FABRIC
CLR	CLEAR, CLEARANCE	MFR	MANUFACTURER	VG	VERTICAL GRAIN
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM	VF	VERIFY IN FIELD
COL	COLUMN	MISC	MISCELLANEOUS	VT	VINYL TILE
CONC	CONCRETE	MR	MOISTURE RESISTANT GYP. BOARD		
CONN	CONNECTION	MOD	MODIFIED	W/	WITH
CONST	CONSTRUCTION	MTD	MOUNTED	W/O	WITHOUT
CONT	CONTINUE, CONTINUOUS	MTL	METAL	WA	WALL ANCHOR
CONTR	CONTRACT(OR)	NAT	NATURAL	WC	WATER CLOSET
CORR	CORRUGATED	NIC	NOT IN CONTRACT	WD	WOOD
CPT	CARPET	NO	NUMBER	WF	WIDE FLANGE
CSMT	CASEMENT	NOM	NOMINAL	WFAB	WALL FABRIC
CTR	COUNTER	NR	NOISE REDUCTION	WH	WATER HEATER
		NTS	NOT TO SCALE	WIN	WINDOW
DFE	DESIGN FLOOD ELEVATION	OA	OVERALL	WP	WORKING POINT
DIA	DIAMETER	OC	ON CENTER	WRB	WATER RESISTIVE BARRIER
DIAG	DIAGONAL	OD	OUTSIDE DIAMETER	WWF	WELDED WIRE FABRIC
DIM	DIMENSION	OPP	OPPOSITE		
DIV	DIVISION	ORD	OVERFLOW ROOF DRAIN		
DN	DOWN	PA	PAINT		
DR	DOOR	PT	PRESSURE TREATED		
DS	DENS SHIELD	PBD	PARTICLE BOARD		
DTL	DETAIL	PERF	PERFORATE(D)		
DWG	DRAWING	PLAM	PLASTIC LAMINATE		
		PLBG	PLUMBING		
(E)	EXISTING	PLT	PLATE		
EA	EACH	PLYWD	PLYWOOD		
EIFS	EXTERIOR INSULATION & FINISHING SYSTEM	POS	POINT OF SALE		
EL	ELEVATION	PR	PAIR		
ELEC	ELECTRICAL	PTD	PAINTED		
ELEV	ELEVATOR	PTN	PARTITION		
EMER	EMERGENCY	PVC	POLYVINYL CHLORIDE		
EQL	EQUAL	QT	QUARRY TILE		
EQUIP	EQUIPMENT	R	RISER		
ETR	EXISTING TO REMAIN	RAD	RADIUS		
EWC	ELECTRIC WATER COOLER	RD	RUBBER BASE		
EXH	EXHAUST	RD	ROOF DRAIN		
EXT	EXTERIOR	REC	RECESSED		
		REF	REFERENCE		
FA	FIRE ALARM	REQD	REQUIRED		
FD	FLOOR DRAIN	RESIL	RESILIENT		
FE	FIRE EXTINGUISHER	REV	REVISION		
FEC	FIRE EXTINGUISHER CABINET	RH	RIGHT HAND		
FF EL	FINISH FLOOR ELEVATION	RM	ROOM		
FF	FINISH FLOOR	RO	ROUGH OPENING		
FIN	FINISH	ROW	RIGHT OF WAY		
FIXT	FIXTURE				
FLR	FLOOR				
FLUOR	FLUORESCENT				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOS	FACE OF STUD				
FRT	FIRE RETARDANT TREATED				
FT	FOOT (FEET)				
FTG	FOOTING				
FV	FIELD VERIFY				
GA	GAGE, GAUGE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GCMU	GLAZED CONCRETE MASONRY				
GD	GRADE, GRADING				
GL	GLASS, GLAZING				
GLAM	GLUED LAMINATE				
GB	GYPNUM BOARD				
GYP	GYPNUM				

## SYMBOLS LEGEND

	DETAIL NUMBER SHEET NUMBER		MATCH LINE
	DETAIL NUMBER SHEET NUMBER		ELEVATION MARKER
	DETAIL NUMBER SHEET NUMBER		COLUMN REFERENCE GRIDS
	DETAIL NUMBER SHEET NUMBER		CENTERLINE
	INDIVIDUAL ELEVATION TAG MARKER		BREAK LINE
	MULTI ELEVATION TAG		REVISION
	KEY NOTE REFERENCE		STAIR / RAMP DIRECTION SYMBOL
	DOOR NUMBER		NORTH SYMBOL
	WINDOW NUMBER		
	WALL TYPE MARKER		
	FINISH TYPE MARKER / FURNITURE TYPE		
	FIXTURE / EQUIPMENT / TYPE MARKER		
	ROOM NAME		

DATE: 06/08/26  
EXPIRATION DATE:

ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

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70 S WAUKEGAN RD, SUITE B  
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14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

PROJECT NUMBER:  
26-1603.00

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SCHEM. DESIGN	05/01/2026
PERMIT/BID	06/08/2026

DRAWN BY: JC  
CHECKED BY: JM/AV/JF

ABBREVIATIONS & SYMBOLS

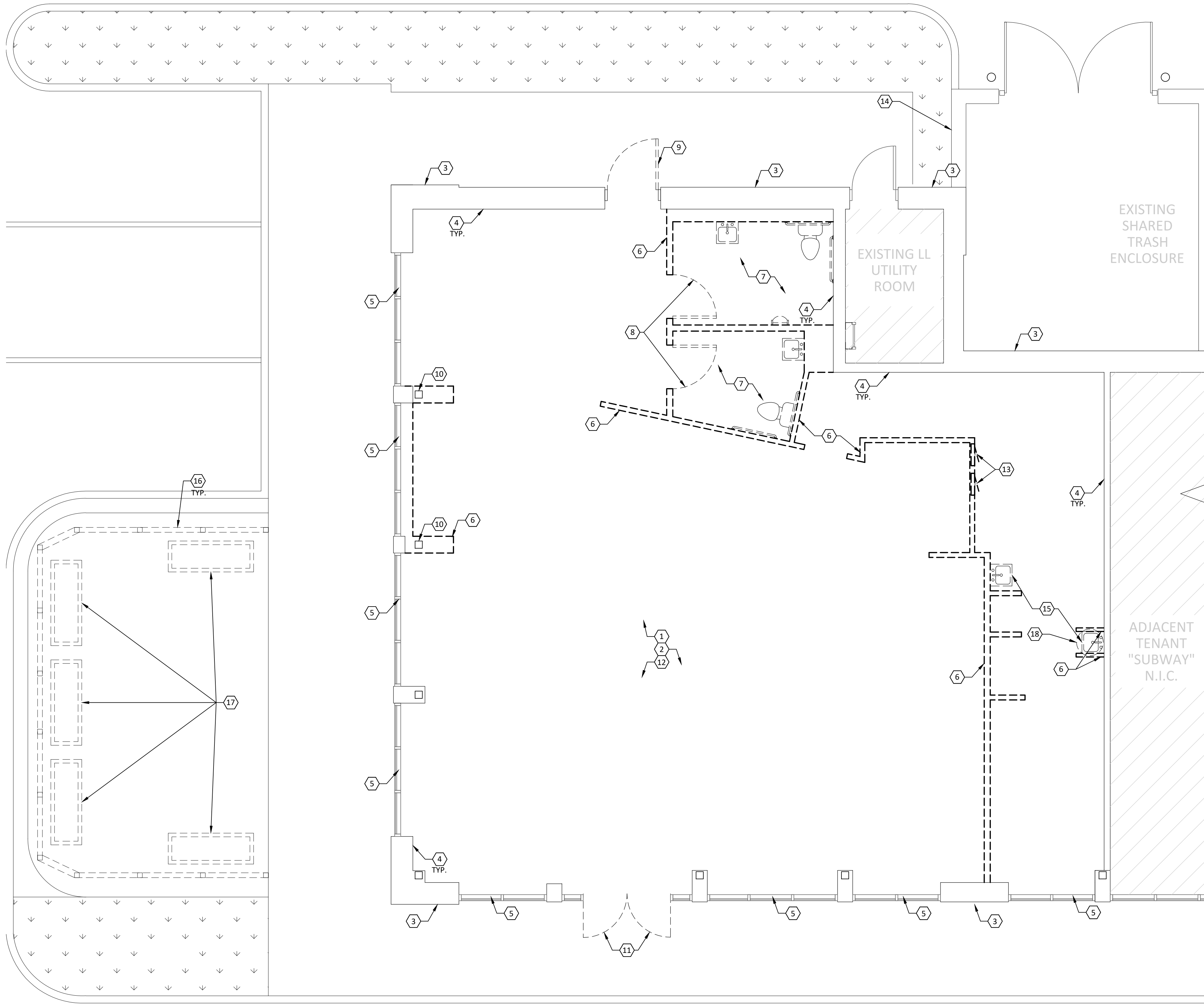
G001

WALL TYPE LEGEND	
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION/OTHER TO BE DEMOLISHED

- ### GENERAL NOTES
- G.C. TO REPAIR ANY INTERIOR AND EXTERIOR AREAS DAMAGED DURING G.C.'S DEMOLITION PHASE AND/OR NEW WORK, TYP.
  - G.C. IS RESPONSIBLE FOR REPLACING ALL DAMAGED, REMOVED, AND MISSING FIREPROOFING ON CEILING/ STRUCTURE. TYP. AT ALL CEILINGS.
  - G.C. TO COORDINATE W/ LANDLORD ON ANY WORK THAT MAY INTERFERE W/ EXISTING TENANTS.
  - PREPARE ALL SURFACES FOR NEW FINISHES.
  - G.C. TO PREP EXISTING FLOORING TO RECEIVE NEW FINISHES.
  - G.C. TO VERIFY W/ CAVA C.M. WHICH EQUIPMENT IS TO BE SALVAGED FOR REUSE.
  - FOR CEILING DEMOLITION PLAN SEE D110.

- ### MOLD AND MILDEW NOTES
- IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
  - CONCURRENTLY, THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING AS REQUIRED TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A MINIMUM OF TWO (2) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
  - ONCE DISCOVERY OR SUSPICION OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.
  - THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
  - THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.

- ### GENERAL DEMO NOTES
- #### TEMPORARY SHORING AND BRACING NOTES
- PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING, UNDERPINNING, ETC. AND TO ENSURE THAT REMOVAL OF WALLS DO NOT AFFECT LOAD PATHS AND/OR LOAD POINTS.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES BEFORE PROCEEDING. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXIST. STRUCTURAL & ROOFING SYSTEMS. (EXCEPT WHERE NOTED) VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
  - DEMOLITION RESPONSIBILITIES ARE NOT NECESSARILY LIMITED TO THOSE LISTED HERE. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.
  - DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK.
  - BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.
  - SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION.
  - MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
  - CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
  - PROTECT WALLS, ROOF, AND EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING DEMOLITION OPERATIONS.
- EXAMINATION OF EXISTING CONDITIONS:**  
GC TO VISIT THE SITE AND CAREFULLY EXAMINE THE BUILDING ELECTRICAL SYSTEMS SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL ATTEND THE EXECUTION OF THE WORK, BEFORE SUBMITTING PROPOSALS. SUBMISSION OF A PROPOSAL WILL BE EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS BECAUSE OF DIFFICULTIES ENCOUNTERED, WILL NOT BE RECOGNIZED.
- MEP NOTE:**  
SEE MECHANICAL PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.



- ### KEY NOTES
- G.C. TO REMOVE ALL ABANDONED MATERIALS, DEVICES, FIXTURES, MILLWORK, DECORATIVE ARTWORK, AND FURNITURE. GC TO REMOVE AND REPLACE ANY DAMAGED PIPES, CONDUITS, WIRES, DEBRIS ETC. FROM PREMISES. VERIFY W/ CAVA C.M.
  - GC TO REMOVE ALL FLOOR FINISHES & LEVEL FLOOR FOR NEW FINISHES. VERIFY EXISTING FLOOR CONDITION AND COORDINATE NEW SCOPE WITH CAVA PM.
  - EXISTING EXTERIOR WALL TO REMAIN. GC TO POWER WASH AND CLEAN AS REQUIRED PRIOR TO OPENING.
  - EXISTING GYP. BOARD ON EXISTING PERIMETER WALLS TO REMAIN, TYP. GC TO REMOVE ALL EXISTING FINISHES FROM WALL. PATCH AND REPAIR EXISTING GYP BD AS NEEDED TO MAINTAIN FIRE RATING AND INSULATING PROPERTIES.
  - EXISTING STOREFRONT TO REMAIN. GC TO PROTECT DURING DEMOLITION AND CLEAN AFTER CONSTRUCTION TO LIKE-NEW CONDITIONS. REPLACE AND REPAIR EXISTING GYP. BD. AS NEEDED TO MAINTAIN FIRE RATING AND INSULATING PROPERTIES.
  - GC TO DEMO EXISTING PARTITION, TYP.
  - GC TO DEMO EXISTING RESTROOMS AND PLUMBING FIXTURES. EXISTING PLUMBING LINES TO BE REUSED PER NEW TENANT PLAN. REFER TO PLUMBING SHEETS.
  - GC TO DEMO EXISTING INTERIOR DOOR AND FRAME.
  - GC TO REMOVE EXISTING EXTERIOR DOOR AND PREP OPENING FOR NEW DOOR AND HARDWARE. REFER TO SHEET A601 FOR FURTHER INFORMATION.
  - EXISTING COLUMNS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
  - GC TO REMOVE EXISTING STOREFRONT DOOR FOR NEW STOREFRONT PER DETAIL 1/A602. NEW STOREFRONT DESIGN AND FINISH TO MATCH EXISTING AND TO ALIGN WITH FRAMING ABOVE.
  - GC TO REMOVE EXISTING FLOOR DRAINS AND FLOOR SINKS PER PLUMBING SHEETS. PATCH AND REPAIR FLOOR SLAB AS REQUIRED. REFER TO SHEET A100 FOR NEW FLOOR DRAINS AND FLOOR SINKS.
  - EXISTING ELECTRICAL PANELS TO BE REMOVED; REFER TO ELECTRICAL SHEETS FOR NEW PANEL LOCATIONS.
  - EXISTING BUILDING GAS SERVICE AND METERS. REFER TO PLUMBING DRAWINGS.
  - GC TO REMOVE EXISTING PLUMBING FIXTURE AND CAP OFF PIPING AS REQUIRED.
  - EXISTING PATIO RAILING TO BE REMOVED. PATCH EXISTING PATIO CONCRETE AS REQUIRED.
  - EXISTING PLANTERS TO BE REMOVED.
  - GC TO REMOVE EXISTING WATER HEATER.

**1**  
**D100**  
1/4" = 1'-0"  
**DEMOLITION FLOOR PLAN & NOTES**



DATE	06/08/26
EXPIRATION DATE	
ARCHITECT	CHIPMAN DESIGN ARCHITECTURE INC. REGISTRATION NO. 184-000711 FIRST FLOOR EAST DESK PLANNING, IL 60018 PHONE: 630.729.9900

ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

**CAVA**

CAVA #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
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ISSUE	DATE
SCHEM. DESIGN	05/01/2026
PERMIT/BID	06/08/2026

DRAWN BY: JC  
CHECKED BY: JM/AV/JF

DEMOLITION FLOOR PLAN & NOTES

**D100**

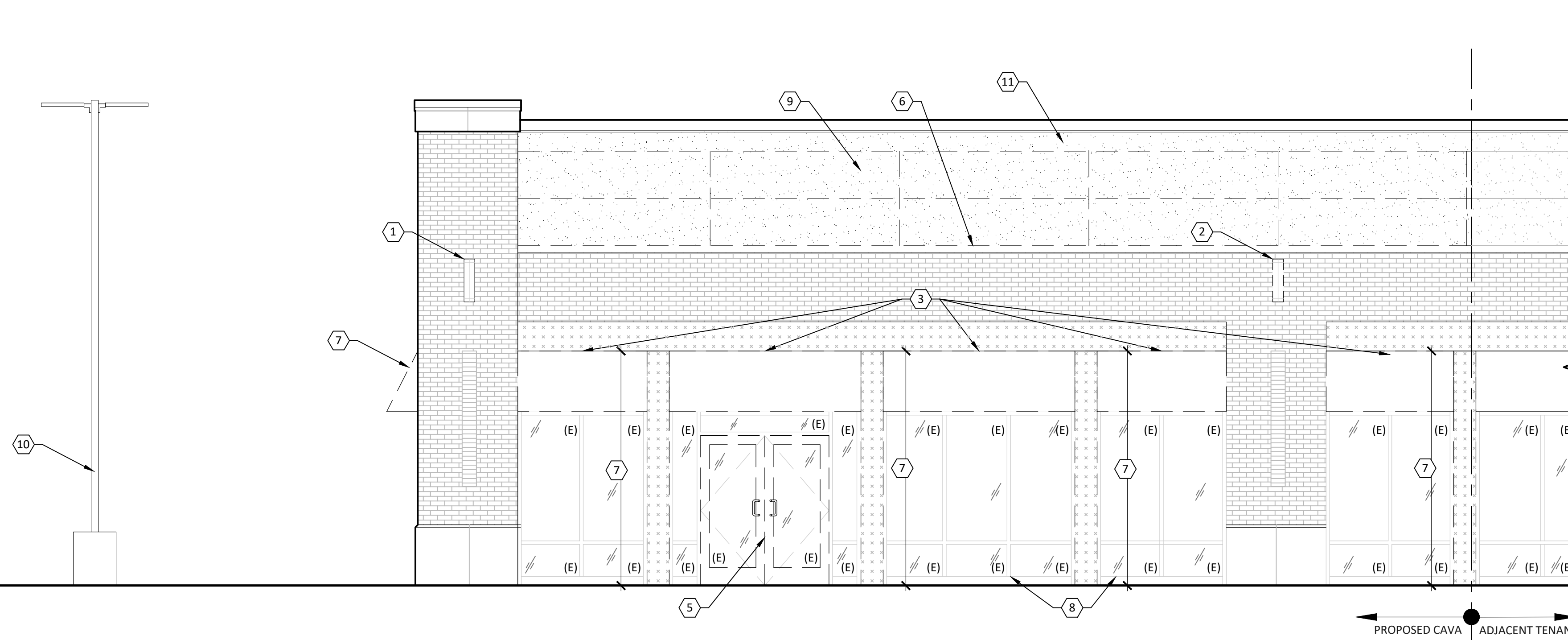
±22'-8"  
T.O. EX. HIGH PARAPET  
±21'-9"  
T.O. EX. LOW PARAPET

±113'-3"  
B.O. EX. SCONCE

±110'-11 1/2"  
T.O. EX. STOREFRONT

±108'-1 1/2"  
B.O. EX. AWNING

±100'-0"  
T.O. EX. SLAB



1  
D210 1/4" = 1'-0"

### DEMO. ELEVATION CODED NOTES

- EXISTING EXTERIOR BUILDING LIGHT FIXTURE TO REMAIN.
- EXISTING EXTERIOR BUILDING LIGHT FIXTURE TO BE REMOVED.
- EXISTING AWNING TO BE REMOVED.
- EXISTING STOREFRONT COLUMN AND FINISHES TO REMAIN. PROTECT DURING CONSTRUCTION.
- GC TO REMOVE EXISTING STOREFRONT DOOR FOR NEW STOREFRONT PER DETAIL 1/A602. NEW STOREFRONT DESIGN AND FINISH TO MATCH EXISTING AND ALIGN WITH FRAMING ABOVE.
- REPAIR AND REPLACE EXISTING METAL FLASHING AND SEALANT AS REQUIRED FOR WATERPROOF CONDITION.
- GC TO REMOVE EXISTING STOREFRONT CLADDING. PROVIDE NEW SEALANT FOR WATER AND WEATHER-PROOF CONDITION AS REQUIRED AND RECOMMENDED BY A CERTIFIED INSTALLER AND MANUFACTURER.
- REMOVE & REPLACE EXISTING STOREFRONT BASE. PROVIDE SEALANT AS REQUIRED.
- EXISTING EIFS FACADE TO BE REMOVED.
- EXISTING LIGHT POLE TO REMAIN. (N.I.C.)
- EXISTING EIFS FASCIA AND FLASHING TO BE REMOVED AND REPLACED.

### EXT. FINISH MATERIAL LEGEND

EXTERIOR FINISH	REMARK
	EXISTING MASONRY FACADE TO REMAIN & BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	EXISTING EIFS TO BE REMOVED
	EXISTING METAL PANEL

### GENERAL NOTES

- ALL WORK INDICATE "BY LANDLORD" TO BE COMPLETED BY LANDLORD UNDER SEPARATE PERMIT.

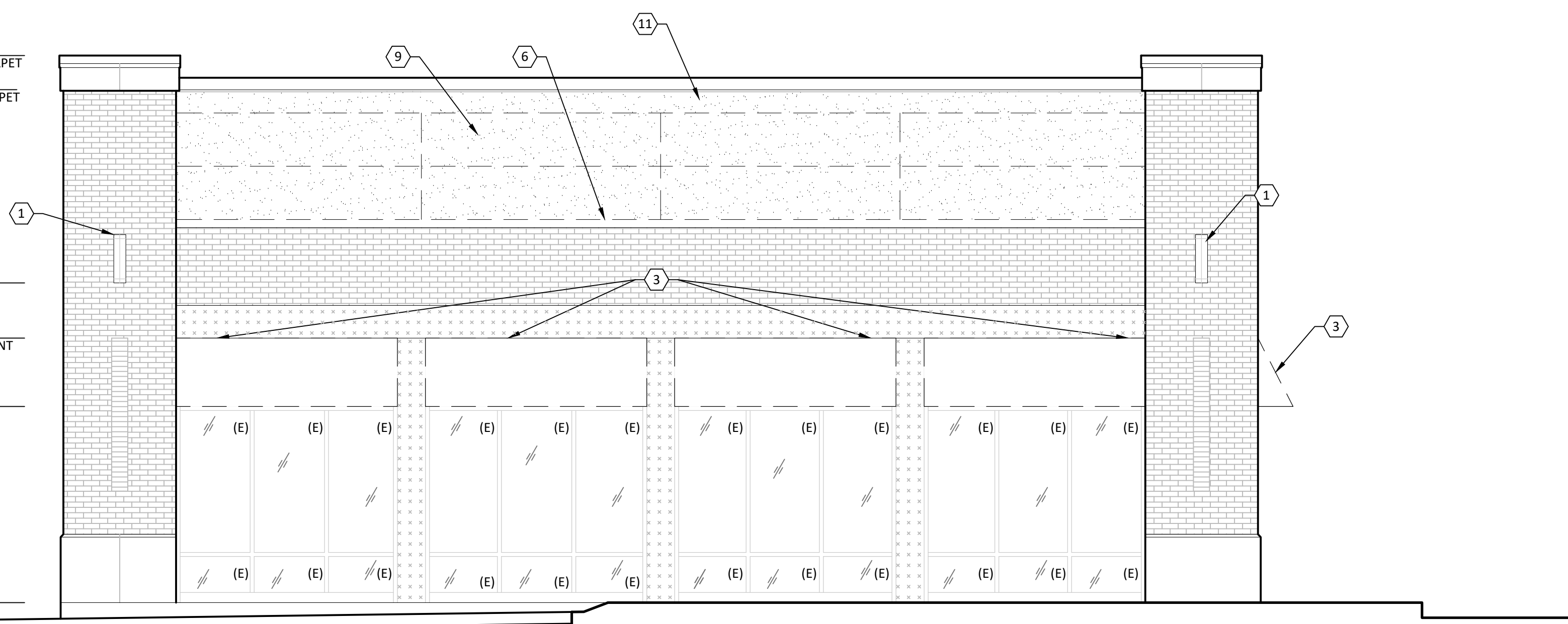
±22'-8"  
T.O. EX. HIGH PARAPET  
±21'-9"  
T.O. EX. LOW PARAPET

±113'-3"  
B.O. EX. SCONCE

±110'-11 1/2"  
T.O. EX. STOREFRONT

±108'-1 1/2"  
B.O. EX. AWNING

±100'-0"  
T.O. EX. SLAB



2  
D210 1/4" = 1'-0"

CHIPMAN DESIGN  
ARCHITECTURE INC.  
REGISTRATION NO. 184-000711  
FIRST FLOOR EAST  
DESIGN PLANES, IL 60018  
PHONE: 647.296.9908



DATE 06/08/26  
EXPIRATION DATE

ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

CAVA #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
70 S WAUKEGAN RD, SUITE B  
DEERFIELD, IL 60015  
FOR CAVA  
14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

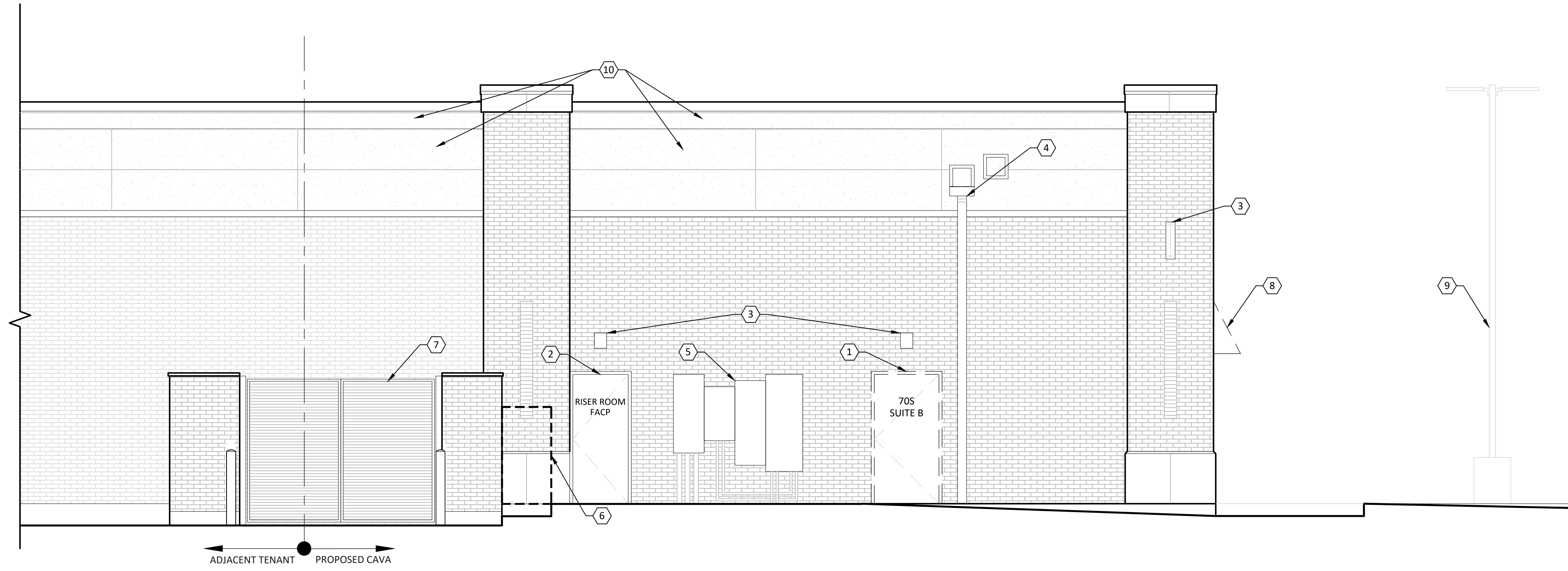
PROJECT NUMBER:  
26-1603.00

ISSUE	DATE
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PERMIT/BID	06/08/2026

DRAWN BY: JC  
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DEMOLITION  
EXTERIOR ELEVATIONS

D210



1 EAST ELEVATION  
D211 1/4" = 1'-0"

- ### DEMO ELEVATION CODED NOTES (#)
- EXISTING REAR SERVICE DOOR TO BE REMOVED AND REPLACED WITH NEW. REFER TO A111 & A601 FOR MORE INFORMATION.
  - EXISTING LANDLORD UTILITY ROOM - ROOF ACCESS.
  - EXISTING EXTERIOR BUILDING LIGHT FIXTURE TO REMAIN.
  - EXISTING DOWNSPOUT TO REMAIN.
  - EXISTING BUILDING GAS SERVICE AND GEAR.
  - EXISTING BUILDING ELECTRICAL SERVICE AND GEAR.
  - EXISTING SHARED TRASH ENCLOSURE.
  - EXISTING AWNING TO BE REMOVED.
  - EXISTING LIGHT POLE TO REMAIN. (N.I.C.)
  - EXISTING EIFS FACADE TO REMAIN.

### EXT. FINISH MATERIAL LEGEND

EXTERIOR FINISH	REMARK
	EXISTING MASONRY FACADE TO BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	EXISTING EIFS FACADE TO REMAIN AND BE POWER WASHED AS REQUIRED AT CAVA'S SPACE

- ### GENERAL NOTES
- ALL WORK INDICATE "BY LANDLORD" TO BE COMPLETED BY LANDLORD UNDER SEPARATE PERMIT.

CHIPMAN DESIGN ARCHITECTURE INC  
 ARCHITECT  
 REGISTRATION NO. 184-000711  
 170 S. WAUKEGAN RD., SUITE 100  
 DEERFIELD, IL 60015  
 PHONE: 847.296.6908

DATE: 06/08/26  
 EXPIRATION DATE:  
 ARCHITECT  
 I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

CAVA #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
 70 S WAUKEGAN RD, SUITE B  
 DEERFIELD, IL 60015  
 FOR CAVA  
 14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

PROJECT NUMBER:  
26-1603.00

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DRAWN BY: JC  
CHECKED BY: JM/AV/JF

DEMOLITION EXTERIOR ELEVATIONS

D211

### SITE PLAN GENERAL NOTES

1. ANY REMEDIAL SITE WORK NOT NOTED IN THIS SUBMISSION SHALL BE PROVIDED BY THE LANDLORD UNDER SEPARATE PERMIT.

### SITE PLAN CODED NOTES #

1. REPAIR EXISTING CONCRETE SLAB AS REQUIRED AFTER GREASE INTERCEPTOR INSTALLATION.
2. EXISTING ADA RAMP TO REMAIN. (N.I.C.)
3. EXISTING ADA PARKING TO REMAIN. (N.I.C.)
4. EXISTING PARKING/STRIPING. (N.I.C.)
5. EXISTING LANDSCAPING. (N.I.C.)
6. EXISTING SIDEWALK. (N.I.C.)
7. EXISTING DEMISING WALL. (N.I.C.)
8. NEW DOUBLE DOOR ENTRY.
9. NEW REAR SERVICE DOOR.
10. EXISTING LANDLORD UTILITY ROOM - ROOF ACCESS.
11. EXISTING PATIO WITH NEW BREEZE BLOCK AND BOLLARDS. REFER TO SHEET A111 AND A130. SEE 2/A011 FOR NEW BOLLARD DETAILS.
12. EXISTING BUILDING GAS SERVICE AND GEAR.
13. EXISTING BUILDING ELECTRICAL SERVICE AND GEAR.
14. DEDICATED CARRYOUT PARKING SPACES. REFER TO 1/A011 FOR CARRY OUT SIGNAGE DETAILS.
15. EXISTING LIGHT POLE TO REMAIN. (N.I.C.)
16. EXISTING ADJACENT TENANT GREASE INTERCEPTOR TO REMAIN.
17. EXISTING SANITARY COVER.
18. NEW 500 GALLON EXTERIOR GREASE INTERCEPTOR. REFER TO PLUMBING DRAWINGS.
19. EXISTING PATIO FURNITURE TO REMAIN.
20. REPLACE EXISTING CONCRETE SLAB.



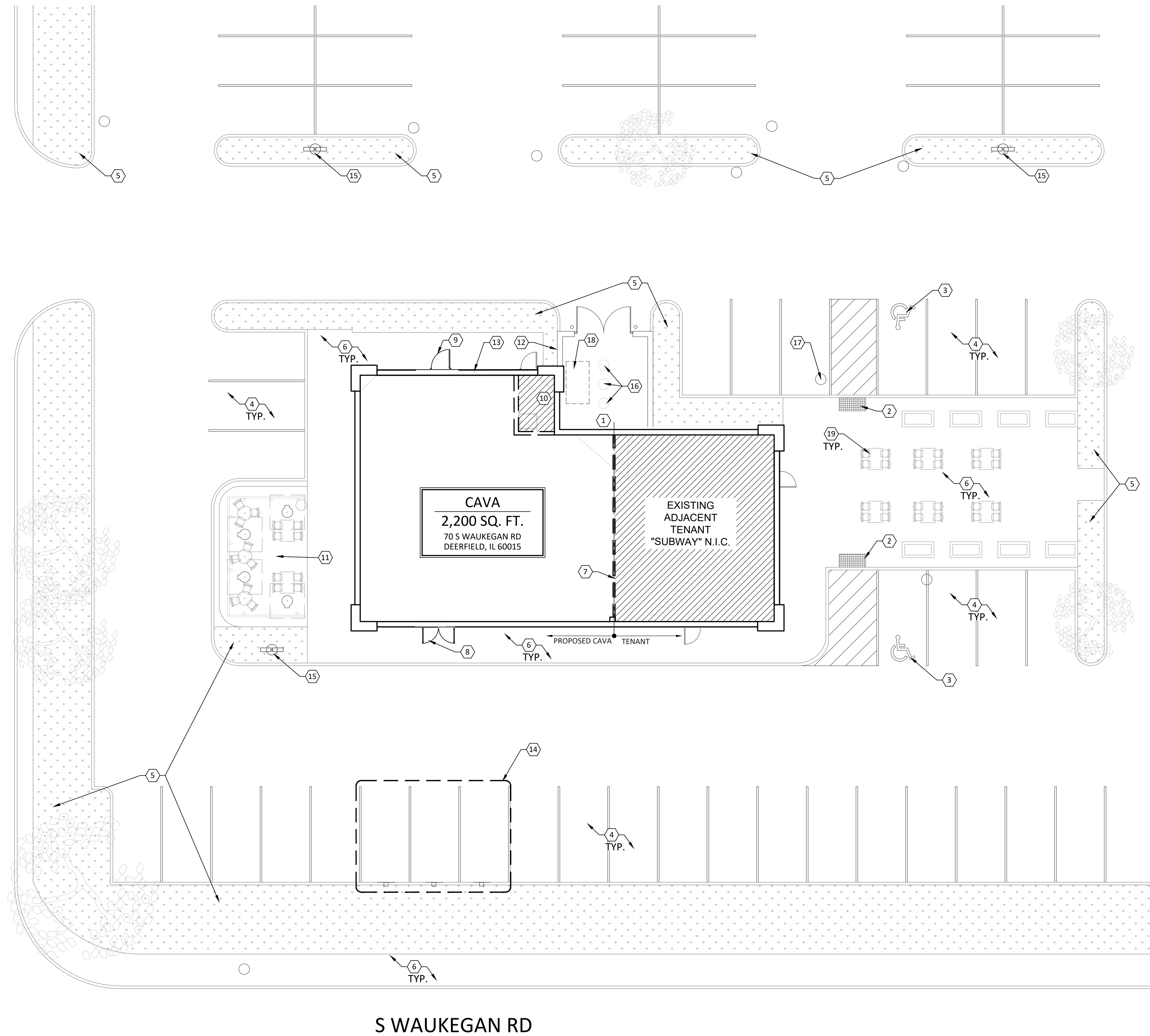
**2 AERIAL PLAN**  
A010 N.T.S.

#### IBC 1104.1 - SITE ARRIVAL POINTS

AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE SERVED.

#### IBC 1104.2 - WITHIN A SITE

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.



**1 SITE PLAN**  
A010 3/32" = 1'-0"

DATE: 06/08/26  
EXPIRATION DATE:

ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

PROJECT NUMBER:  
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DRAWN BY: JC  
CHECKED BY: JM/AV/JF

SITE PLAN

**A010**

**GENERAL NOTES**

A. THESE ARE TYPICAL SITE DETAILS. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.

B. BREEZE BLOCK REINFORCEMENT IS PER BREEZE BLOCK MANUFACTURER.

DATE: 06/08/26  
 EXPIRATION DATE:  
 ARCHITECT  
 I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

**CAVA**  
 PROJECT #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
 70 S WAUKEGAN RD, SUITE B  
 DEERFIELD, IL 60015  
 FOR CAVA  
 14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

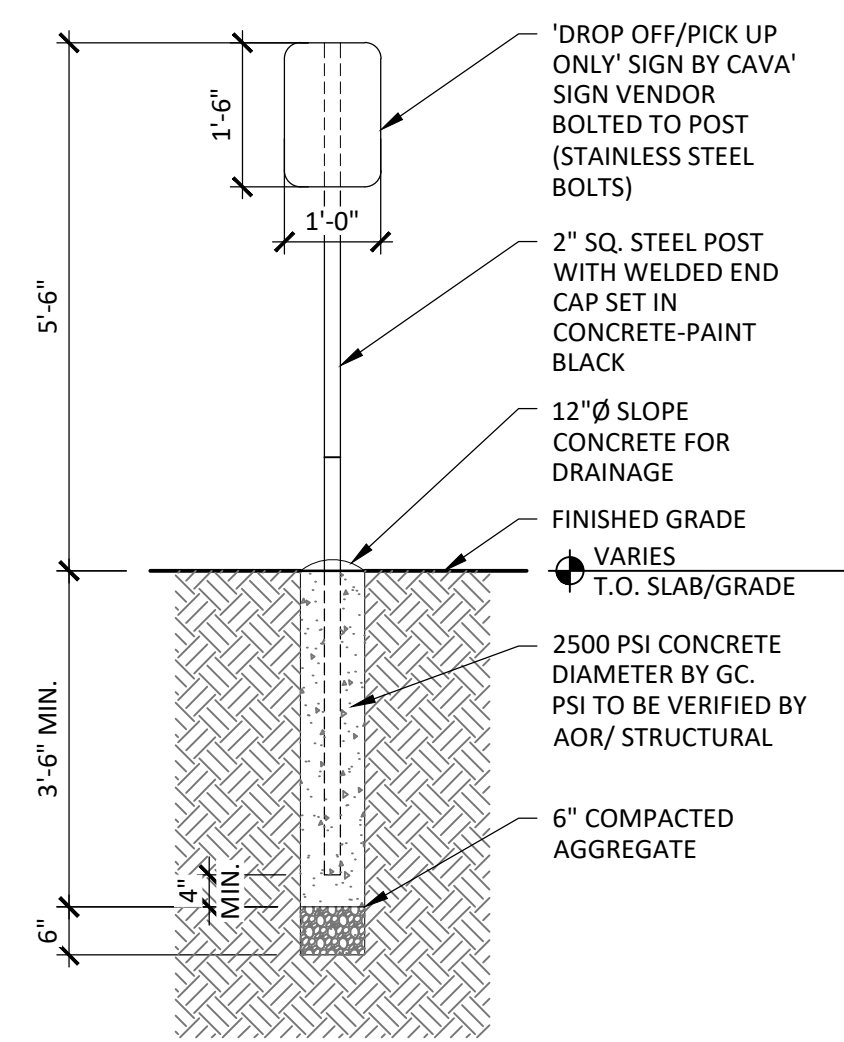
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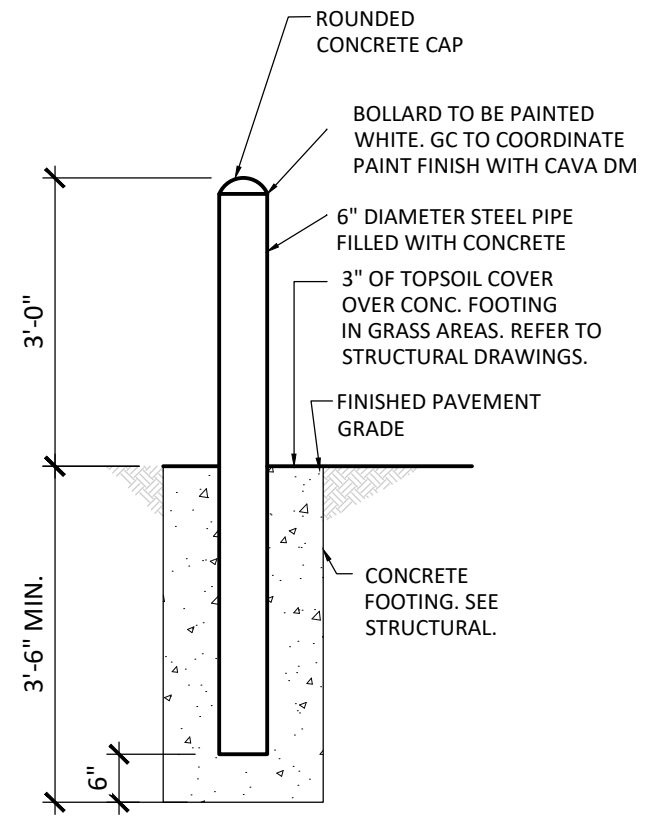
DRAWN BY: JC  
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SITE DETAILS

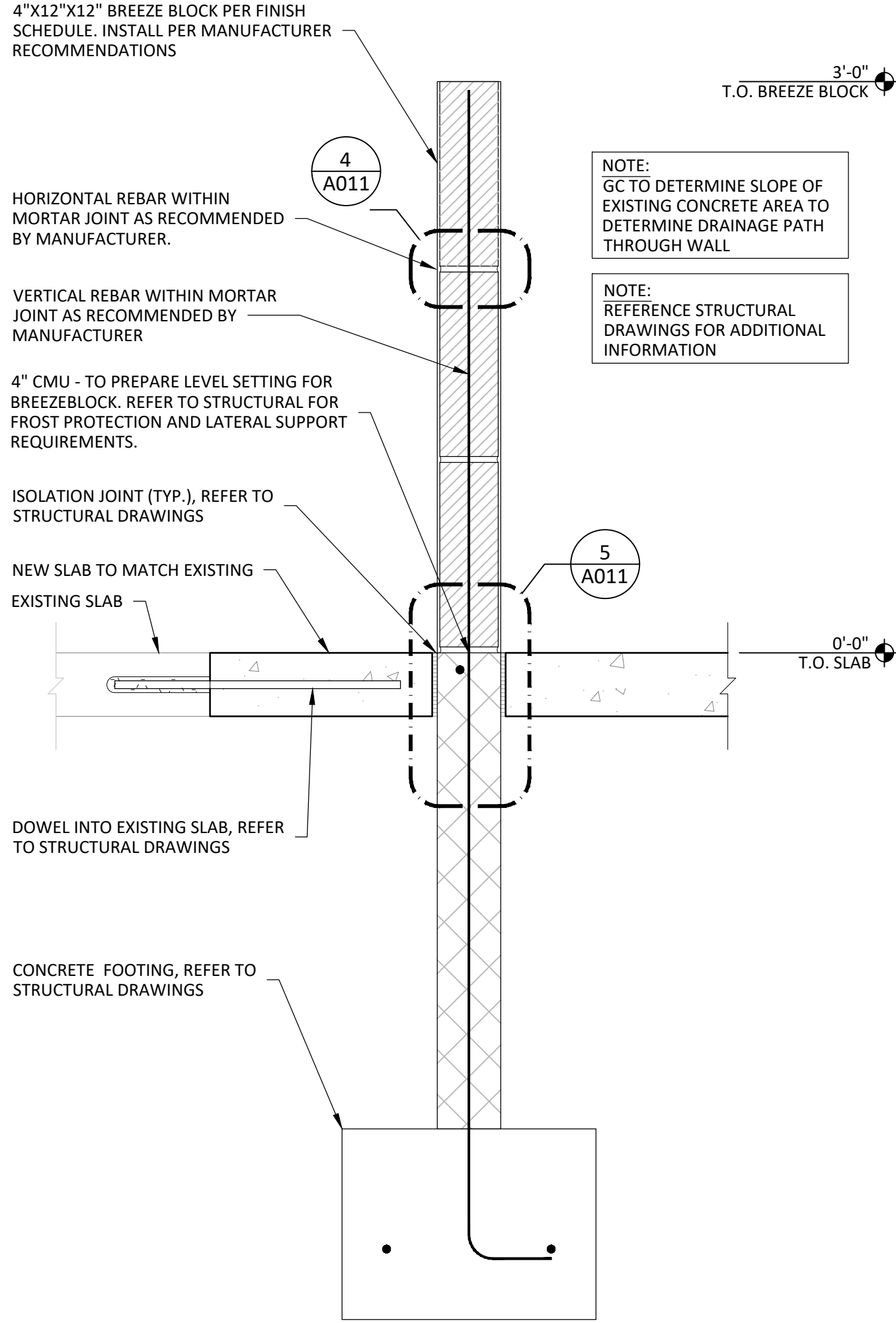
**A011**



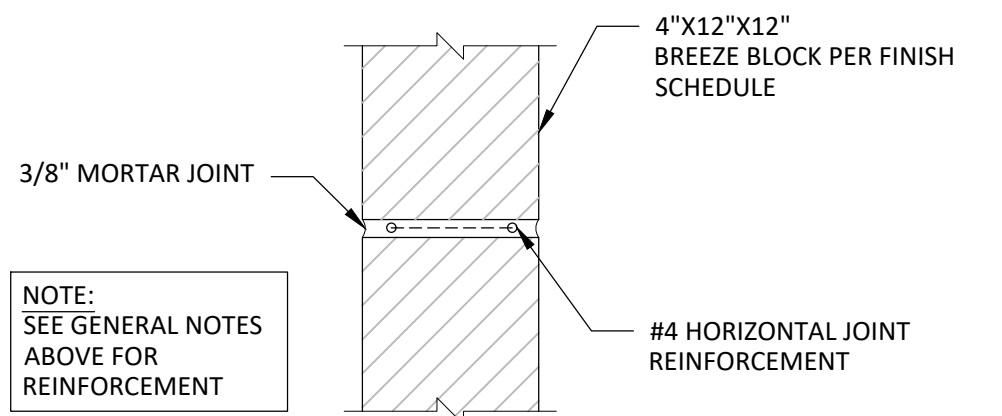
**1** CARRY OUT PARKING SIGN DETAIL  
 A011 1/2" = 1'-0"



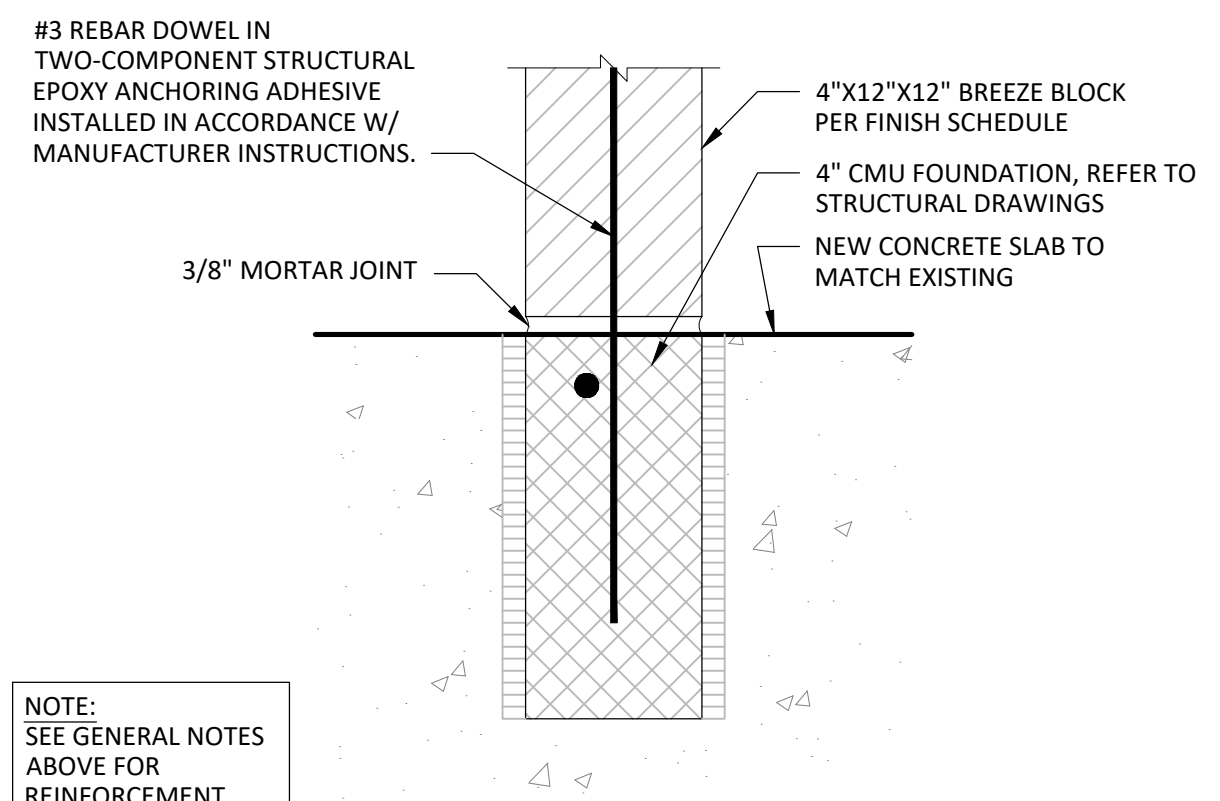
**2** BOLLARD DETAIL  
 A011 1/2" = 1'-0"



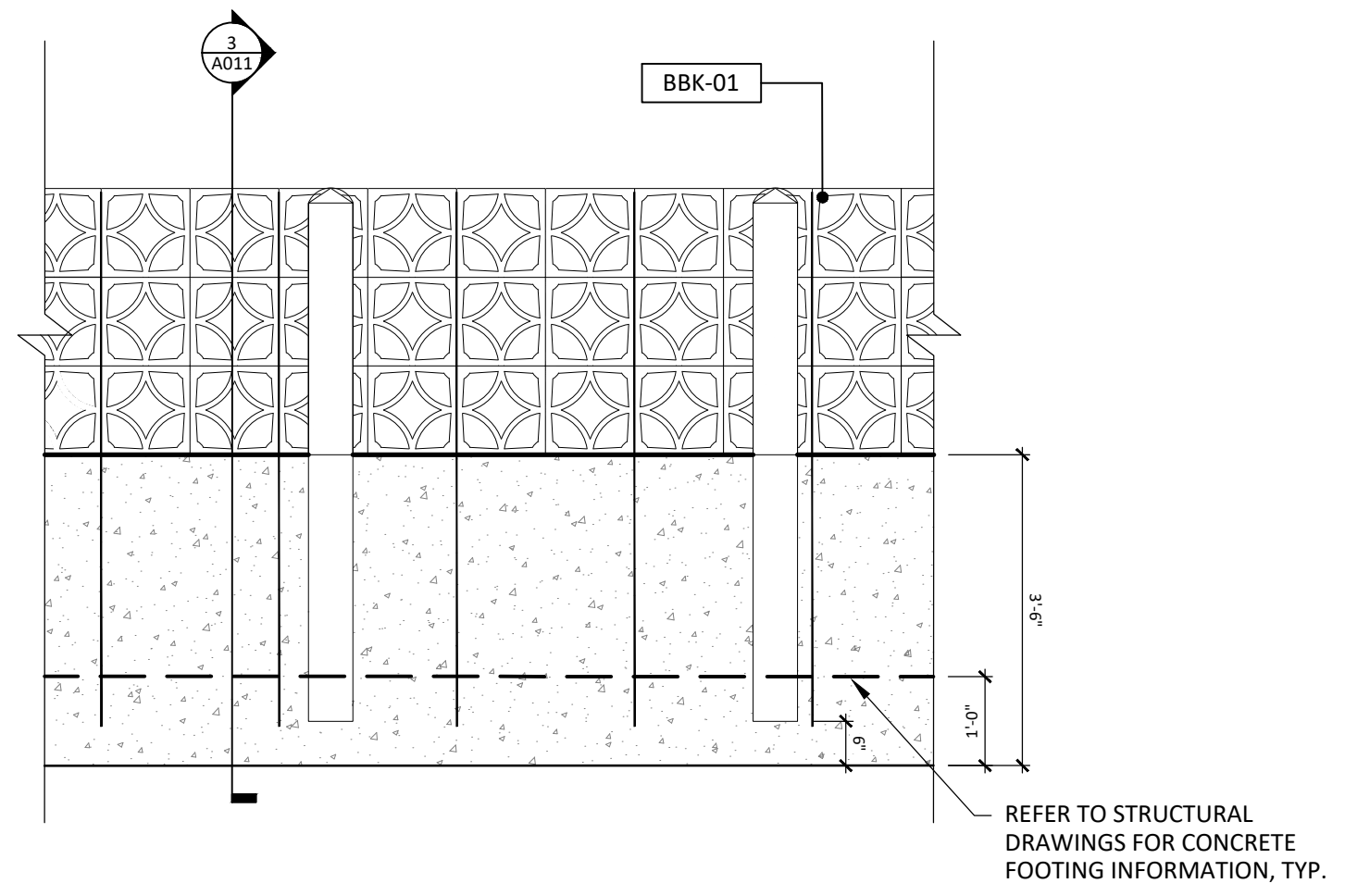
**3** BREEZE BLOCK WALL SECTION  
 A011 1/2" = 1'-0"



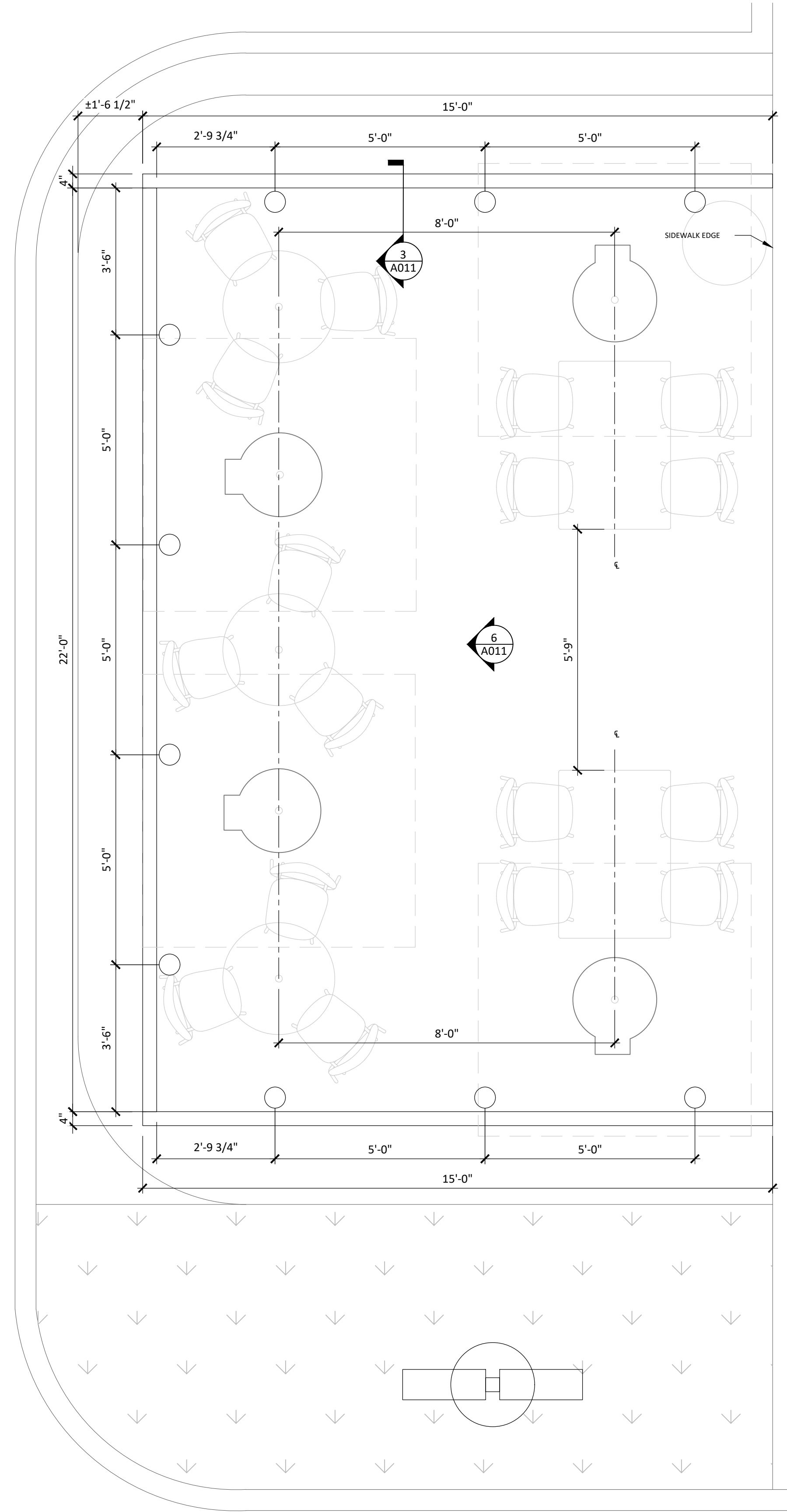
**4** BREEZE BLOCK DETAIL (TYP.)  
 A011 3" = 1'-0"



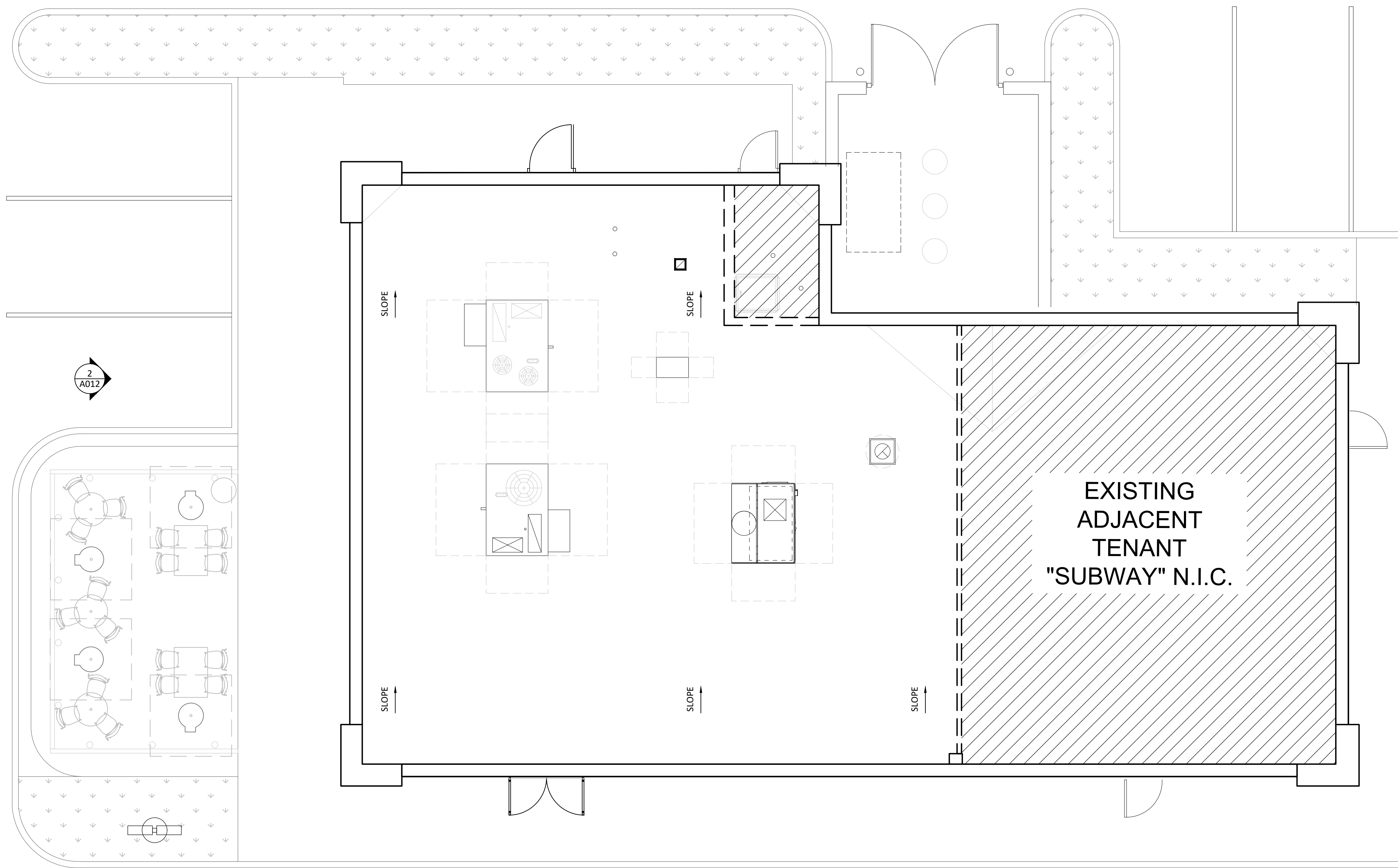
**5** BREEZE BLOCK DETAIL (TYP.)  
 A011 3" = 1'-0"



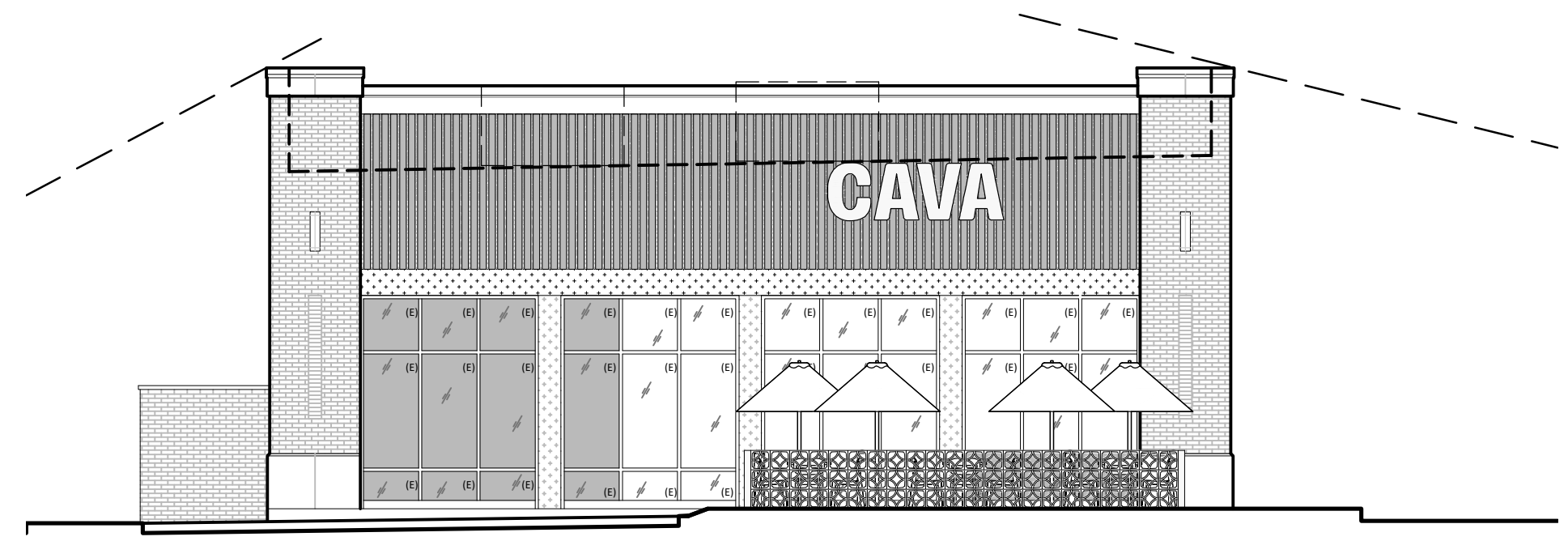
**6** TYPICAL BREEZE BLOCK WALL ELEVATION  
 A011 1/2" = 1'-0"



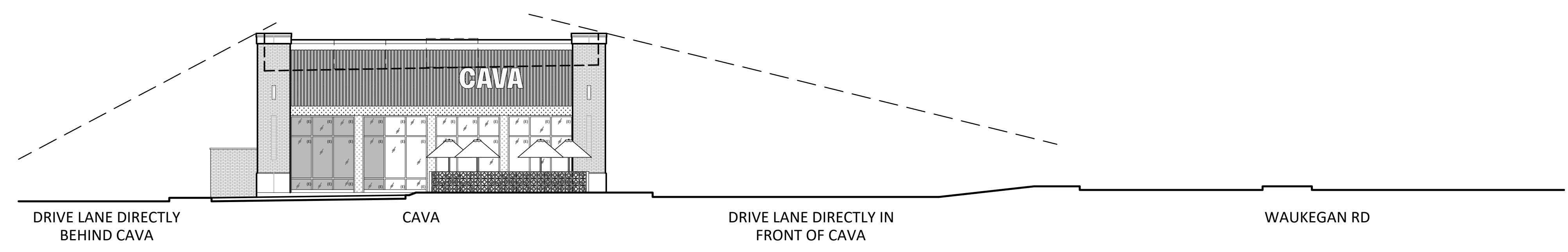
**7** ENLARGED PATIO PLAN  
 A011 1/2" = 1'-0"



**1**  
A012  
**ROOF PLAN**  
3/16" = 1'-0"



**3**  
A012  
**ENLARGED LINE OF SIGHT**  
1/8" = 1'-0"



**2**  
A012  
**LINE OF SIGHT**  
3/32" = 1'-0"

DATE	06/08/26
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<small>ARCHITECT I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.</small>	

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FOR  
CAVA  
14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

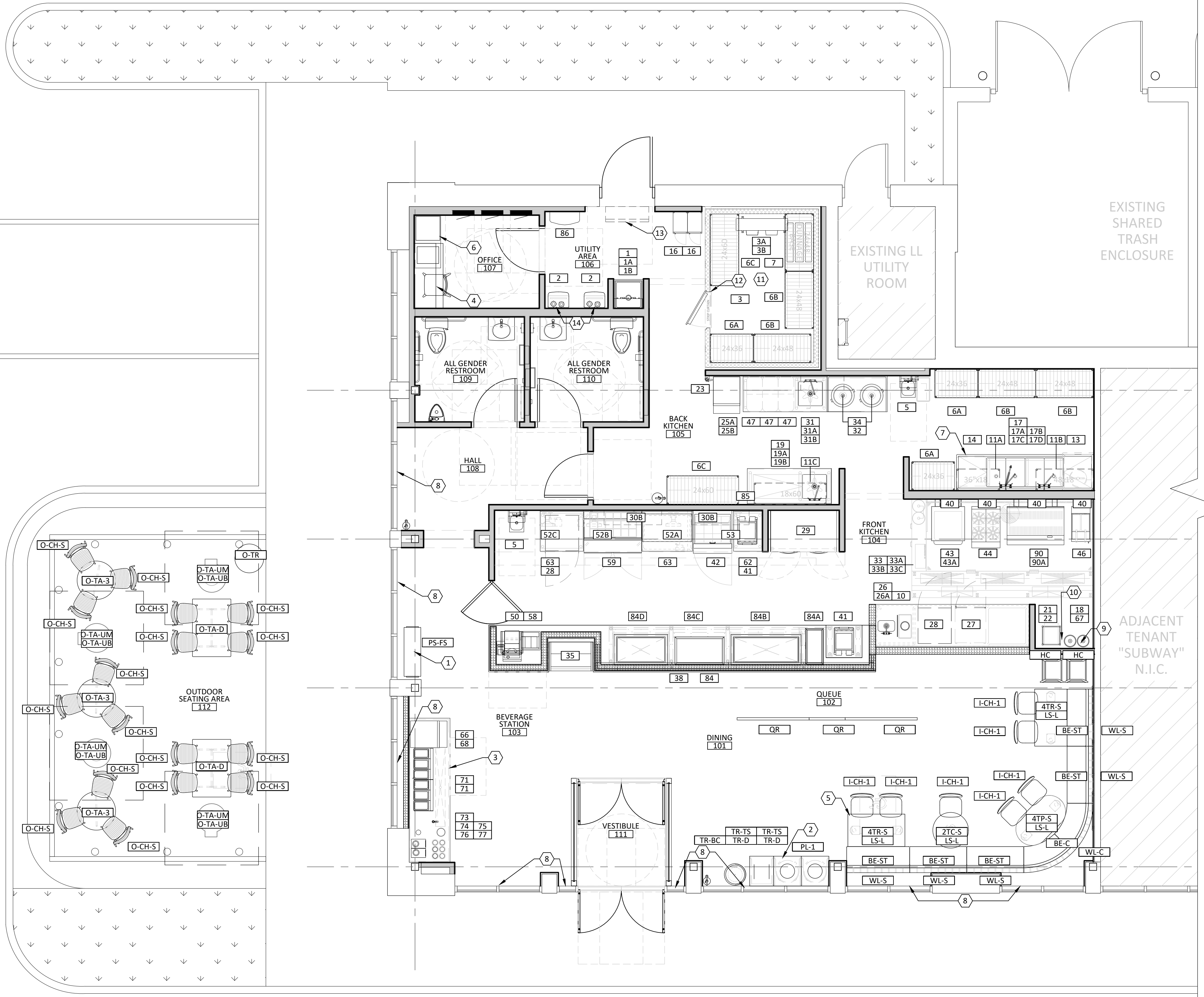
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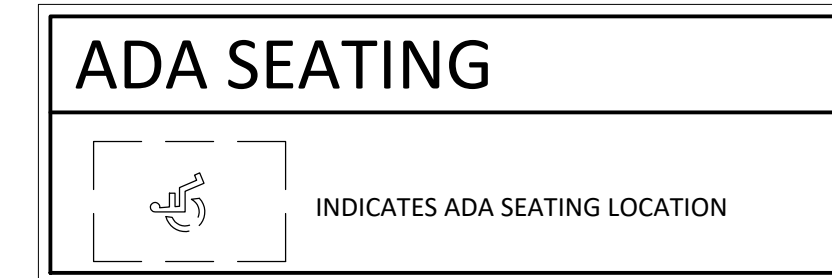
DRAWN BY: JC  
CHECKED BY: JM/AV/JF

LINE OF SIGHT PLAN AND ELEVATIONS

**A012**



- ### FF&E PLAN CODED NOTES
- TO-GO PICK-UP SHELVING UNIT BY MILLWORKER. ONE SHELF MINIMUM TO BE AT ADA COMPLIANT HEIGHT (BETWEEN 9" MIN. TO 48" MAX. A.F.F.).
  - TRASH COUNTER BY MILLWORKER, MAX HEIGHT IS 34" A.F.F.
  - CONDIMENT STATION BY FOOD SERVICE CONSULTANT. MAX HEIGHT IS 34" A.F.F.
  - MANAGER'S DESK AND WALL SHELF. REFER TO SHEET A503 FOR ADDITIONAL INFORMATION.
  - ADA COMPLIANT TABLE OR COUNTER 34" MAX. TYP.
  - LOCATION OF NEW SAFE MOUNTED TO CONCRETE CURB BELOW.
  - PROVIDE 2" CASTER @ DISHWASHER. DISHWASHER CAN ROLL OUT FOR CLEANING.
  - ROLLER SHADE AT WINDOWS. (TYP.)
  - CO2 TANKS TO BE CHAINED TO WALL BY GC WITH VENDOR SUPPLIED BRACKET.
  - 6" PVC FROM BAG N BOX TO BEVERAGE STATION. REFER TO PLUMBING SHEETS FOR LOCATIONS
  - WALK-IN COOLER PROVIDED BY KES. INSTALLED BY GC. WIC DISPLAY DOORS PROVIDED & INSTALLED BY KES. LIGHTING CONNECTION BY GC.
  - GC TO LOCATE TEMP SENSOR ON OPPOSITE SIDE OF DOOR OPENING.
  - AIR CURTAIN. REFER TO MECHANICAL DRAWINGS. SEE 3/A502.
  - TANKLESS HOT WATER HEATERS. REFER TO MECHANICAL DETAIL 1/A502 AND PLUMBING SHEETS.



- ### FF&E PLAN GENERAL NOTES
- ALL FURNITURE AND FURNISHINGS SHALL BE OWNER FURNISHED AND INSTALLED PER RESPONSIBILITY MATRIX. G.C. TO COORDINATE BLOCKING LOCATIONS WITH FURNITURE AND MILLWORK.
  - MEP-SHEETS FOR EQUIPMENT TYPES AND SCHEDULES.
  - ALL FURNITURE, FURNISHINGS, AND MILLWORK DIMENSIONS TO BE VERIFIED IN FIELD BY G.C. PRIOR TO PURCHASE OR CONSTRUCTION ESPECIALLY WHERE SUCH DIMENSIONS ARE SET OR INFLUENCED BY BUILT ELEMENTS SUCH AS WALLS, CEILINGS, COLUMNS, LIGHT FIXTURES, ETC.
  - THE METHOD OF MANUFACTURING, FABRICATING, AND INSTALLING MILLWORK AND ITS STRUCTURAL COMPONENTS DEFINED IN THE CONTRACT DOCUMENTS IS REPRESENTATIVE AND INDICATES DESIGN INTENT ONLY. IF THE MATERIALS, DETAILS, OR DIMENSIONAL PROPERTIES ARE AT VARIANCE WITH THE SUB-CONTRACTOR'S OR MANUFACTURER'S RECOMMENDATIONS, ALTERNATE DETAILS WILL BE CONSIDERED FOR REVIEW WHEN SHOP DRAWINGS ARE SUBMITTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE G.C. TO GUARANTEE THAT THE MILLWORK WILL HAVE PROPER SUPPORT, STABILITY, AND FAULT-FREE PERFORMANCE.
  - SUB-CONTRACTOR TO SUBMIT SHOP DRAWINGS AND HARDWARE CATALOGUE CUT SHEETS OF MILLWORK FOR REVIEW BY ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL SHOW THE DESIGN AND DIMENSIONS AND CLEARLY INDICATE IN LARGE SCALE THE CONSTRUCTION OF THE VARIOUS COMPONENTS, REINFORCEMENTS, AND ALL OTHER PERTINENT INFORMATION REQUIRED FOR CONSTRUCTION. ANY VARIATION FROM THE DRAWINGS MUST BE CLEARLY NOTED AS A VARIATION FROM THE REQUIREMENTS. FABRICATION OF MILLWORK SHALL NOT PROCEED UNTIL THE ARCHITECT HAS APPROVED SHOP DRAWINGS.
  - G.C. TO BE RESPONSIBLE FOR MAKING CERTAIN THAT MILLWORK ITEMS ARE NOT DELIVERED UNTIL AREAS ARE SUFFICIENTLY DRY SO THAT THE MILLWORK WILL NOT BE DAMAGED BY EXCESSIVE CHANGES IN ATMOSPHERIC MOISTURE.
  - SUB-CONTRACTORS ARE RESPONSIBLE FOR OBTAINING FIELD MEASUREMENTS AND VERIFYING DIMENSIONS OF MILLWORK INSTALLATION LOCATIONS PRIOR TO PROCEEDING WITH MILLWORK FABRICATION. ARCHITECT SHALL BE NOTIFIED OF ANY VARIANCE FOUND BETWEEN FIELD AND SPECIFIED DIMENSIONS.
  - SCRIBE AND CUT MILLWORK TO FIT ADJOINING CONSTRUCTION. REFINISH CUT SURFACES OR REPAIR DAMAGED FINISH AT CUTS. PROVIDE SEALANT AT ALL JOINTS.
  - MILLWORK TO BE ANCHORED TO BUILT-IN BLOCKING OR DIRECTLY ATTACHED TO SUBSTRATE. SECURE TO GROUND. STRAPPING AND BLOCKING WITH COUNTER-SUNK, CONCEALED FASTENERS AND BLIND NAILING AS REQUIRED FOR A COMPLETE INSTALLATION. GC TO USE BLACK FASTENERS OR PAINT BLACK AFTER INSTALLATION.
  - ALL DIMENSIONS ARE TO FACE OF FINISH SHEATHING OR CENTERLINE OF EQUIPMENT UNLESS NOTED OTHERWISE.
  - G.C. RESPONSIBLE FOR MOUNTING FIXED TABLES IN PLACE. GC TO USE BLACK FASTENERS OR PAINT BLACK AFTER INSTALLATION.
  - REFER TO AOR ELEVATION DRAWINGS FOR IN WALL BLOCKING.
  - G.C. TO PROVIDE CLEAR SILICON FOR KITCHEN EQUIPMENT INSTALLATION AT ALL SEAMS.

1 A130 1/4" = 1'-0"

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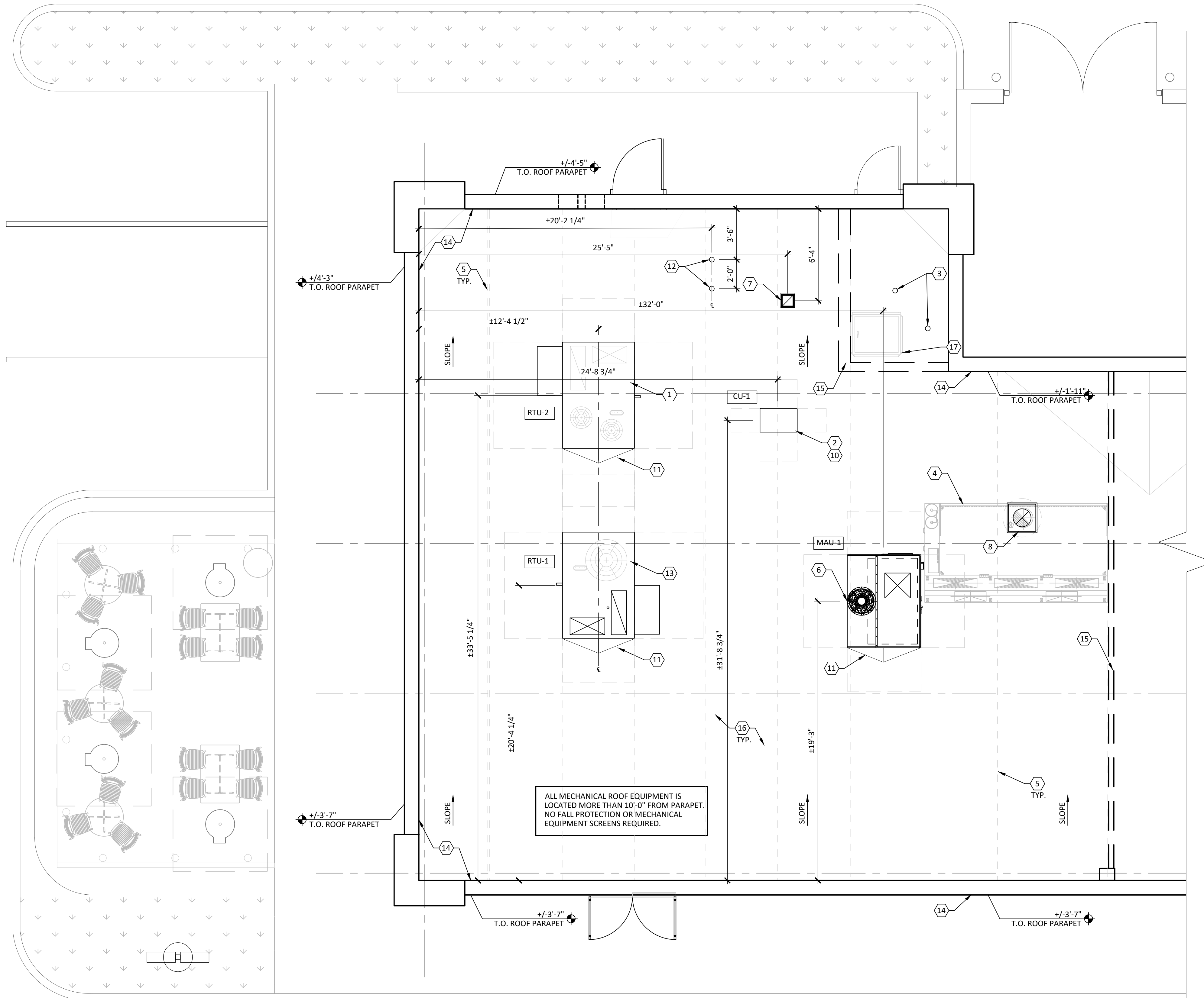
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DRAWN BY: JC CHECKED BY: JM/AV/JF

FIXTURE, FURNITURE & EQUIPMENT PLAN

**A130**



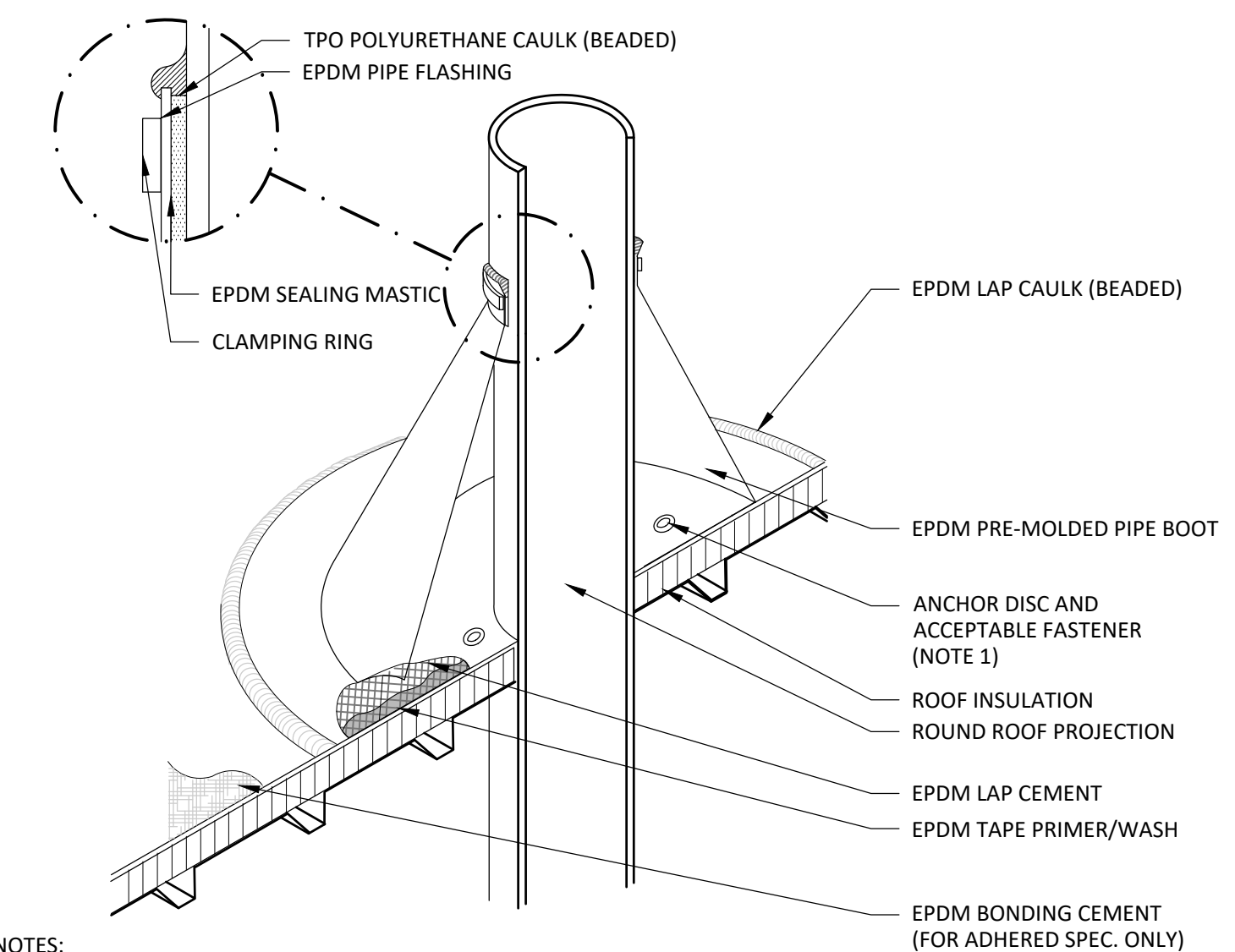
ALL MECHANICAL ROOF EQUIPMENT IS LOCATED MORE THAN 10'-0" FROM PARAPET. NO FALL PROTECTION OR MECHANICAL EQUIPMENT SCREENS REQUIRED.

### ROOF PLAN GENERAL NOTES

- GC TO CONFIRM IF LANDLORD ROOFING SUBCONTRACTOR REQUIRED.
- EXISTING ROOFTOP EXHAUST, PIPES, PENETRATIONS, CURBS & OTHER EQUIPMENT NOT REQUIRED BY CAVA/IMPEDING WORK TO BE REMOVED/RELOCATED BY LANDLORD, TYP. LANDLORD TO PATCH/CA/REPAIR/REPLACE AS REQUIRED.
- IF WORK AFFECTS OTHER TENANTS, GC TO COORDINATE WORK IN OTHER TENANT SPACES WITH LANDLORD & TENANTS. WORK TO BE DONE AFTER HOURS/BEFORE HOURS. GC TO COORDINATE TIME OF OPERATION FOR TENANT SPACES. SOME TENANTS MAY HAVE EVENING HOURS.
- GC TO SEAL ALL NEW OPENINGS PER MANUFACTURER RECOMMENDATION, TYP. (VENTS, ETC). SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- GC SHALL REPAIR/ REPLACE DAMAGED INSULATION SYSTEM DUE TO NEW WORK. REPAIR/REPLACEMENT WORK SHALL BE COMPLETED WITH NEW MATERIALS TO MATCH EXISTING.
- ALL ROOF TOP EQUIPMENT TO HAVE VISIBLE MIN. 1" TALL BLACK LETTERS IDENTIFYING SPACE NUMBER, TENANT'S TRADE NAME AND EQUIPMENT DESCRIPTION.
- GC SHALL REPAIR/ REPLACE DAMAGE ROOF DUE TO NEW WORK. REPAIR/REPLACE WORK SHALL BE COMPLETED W/ NEW MATERIALS TO MATCH EXISTING.
- GC TO PROVIDE AND INSTALL CRICKET AT NEW ROOF TOP EQUIPMENT AS NECESSARY FOR POSITIVE DRAINAGE AROUND EQUIPMENT. G.C. TO USE ROOF MATERIAL TO MATCH EXISTING, TYP.
- GC TO VERIFY & DOCUMENT CONDITION OF ROOF AND REPORT ANY EXISTING DAMAGES TO CAVA PM & LANDLORD REPRESENTATIVE PRIOR TO COMMENCING ANY WORK.
- REFER TO PLUMBING DRAWINGS FOR THRU PIPE PENETRATION DETAILS.
- DO NOT PENETRATE ROOF DECK UNLESS NECESSARY. ATTACH ALL FRAMING, EQUIPMENT, SUPPORTS, ETC TO BUILDING STRUCTURE BELOW ROOF DECK.
- DIMENSIONS ARE TO THE CENTER OF UNIT, TYP.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO TAKE FULL RESPONSIBILITY OF CURB CUTS AND CURB INSTALLATIONS. DIMENSIONS PROVIDED ARE NOT FIELD MEASUREMENTS; NO SITE OBSERVATIONS HAVE BEEN PERFORMED. FIELD VERIFY LOCATION OF EXISTING SLOPE, ROOF EQUIPMENT OPENINGS WITH MANUFACTURER AND LOCATIONS OF JOISTS/STRUCTURE/SPRINKLER LINE/ETC. BELOW. MECHANICAL EQUIPMENT TO MAINTAIN 10'-0" CLEARANCE FROM PARAPET IF HEIGHT OF PARAPET IS LESS THAN 3'-6". REFER TO 2020 MINNESOTA MECHANICAL CODE SECTION 304.11 FOR GUARD PROTECTION REQUIREMENTS IF APPLICABLE.
- G.C. TO PROVIDE NECESSARY PADS/PROTECTION BELOW EQUIPMENT/PIPING STANDS TO PREVENT PUNCTURE OF THE EXISTING STANDING SEAM METAL ROOF PEMB CONSTRUCTION.
- PROVIDE HAIL GUARDS FOR CONDENSING UNITS PER CAVA C.M. DIRECTION.
- EXISTING ROOF HATCH AND LADDER BY LANDLORD.

### CODED NOTES #

- NEW ROOF TOP UNIT AND CURB IN EXISTING LOCATION. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS.
- GC TO PROVIDE AND ASSEMBLE EQUIPMENT RAIL PRIOR TO MOUNTING CONDENSING UNITS. MAINTAIN CONTINUOUS FLASHING AND ROOF INTEGRITY THROUGHOUT.
- EXISTING 4" VENT TO REMAIN. REFER TO MECHANICAL DRAWINGS
- OUTLINE OF HOOD BELOW.
- LINE OF ROOF JOISTS BELOW
- NEW MAKEUP AIR UNIT AND OPENING. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS.
- NEW LOCATION FOR EXHAUST DUCT. REFER TO MECHANICAL DRAWINGS.
- NEW EXHAUST FAN. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS.
- EXISTING ROOF HATCH AND LADDER TO REMAIN. ROOF HATCH GUARD/FALL PROTECTION TO BE PROVIDED BY LANDLORD UNDER SEPARATE PERMIT.
- NEW REMOTE WALK-IN COOLER CONDENSING UNIT BY KES.
- PROVIDE TAPERED INSULATION AND CRICKETS AT ALL EQUIPMENT CURBS TO ALLOW FOR POSITIVE DRAINAGE.
- NEW COMBINATION AIR INTAKE AND FLUE EXHAUST FOR WATER HEATER. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- NEW ROOF TOP UNIT IN NEW LOCATION. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS.
- EXISTING PARAPET TO REMAIN.
- LINE OF EXISTING DEMISING WALLS BELOW.
- EXISTING ROOF AND INSULATION TO REMAIN.
- EXISTING ROOF HATCH TO REMAIN.



NOTES:

- WITH MECHANICALLY FASTENED OR BALLASTED SPECIFICATIONS, MEMBRANE MUST BE MECHANICALLY ATTACHED WITH 2" (50 mm) ANCHOR DISC AND ACCEPTABLE FASTENERS (MINIMUM OF 4 PER PIPE).
- DO NOT OVERLAP THE FLANGES FROM ADJACENT PIPE FLASHINGS.
- ANY SEAM UNDER BOOT FLANGE TO BE TREATED AS T-JOINT.
- BOTH SURFACES TO BE MATED MUST BE CLEANED WITH TAPE PRIMER/WASH. EPDM TAPE PRIMER/WASH MUST BE COMPLETELY DRY AND TACK FREE BEFORE APPLYING EPDM LAP CEMENT.

### 2 BOOT DETAIL

1/4" = 1'-0"

### 1 ROOF PLAN

A150 1/4" = 1'-0"

DATE: 06/08/26  
EXPIRATION DATE:

ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

CAVA #10735-001 - DEERFIELD, IL - WAUKEGAN RD  
70 S WAUKEGAN RD, SUITE B  
DEERFIELD, IL 60015  
FOR CAVA  
14 RIDGE SQUARE NW #500, WASHINGTON, DC 20016

PROJECT NUMBER:  
26-1603.00

ISSUE	DATE
SCHEM. DESIGN PERMIT/BID	05/01/2026 06/08/2026

DRAWN BY: JC  
CHECKED BY: JM/AV/JF

ROOF PLAN

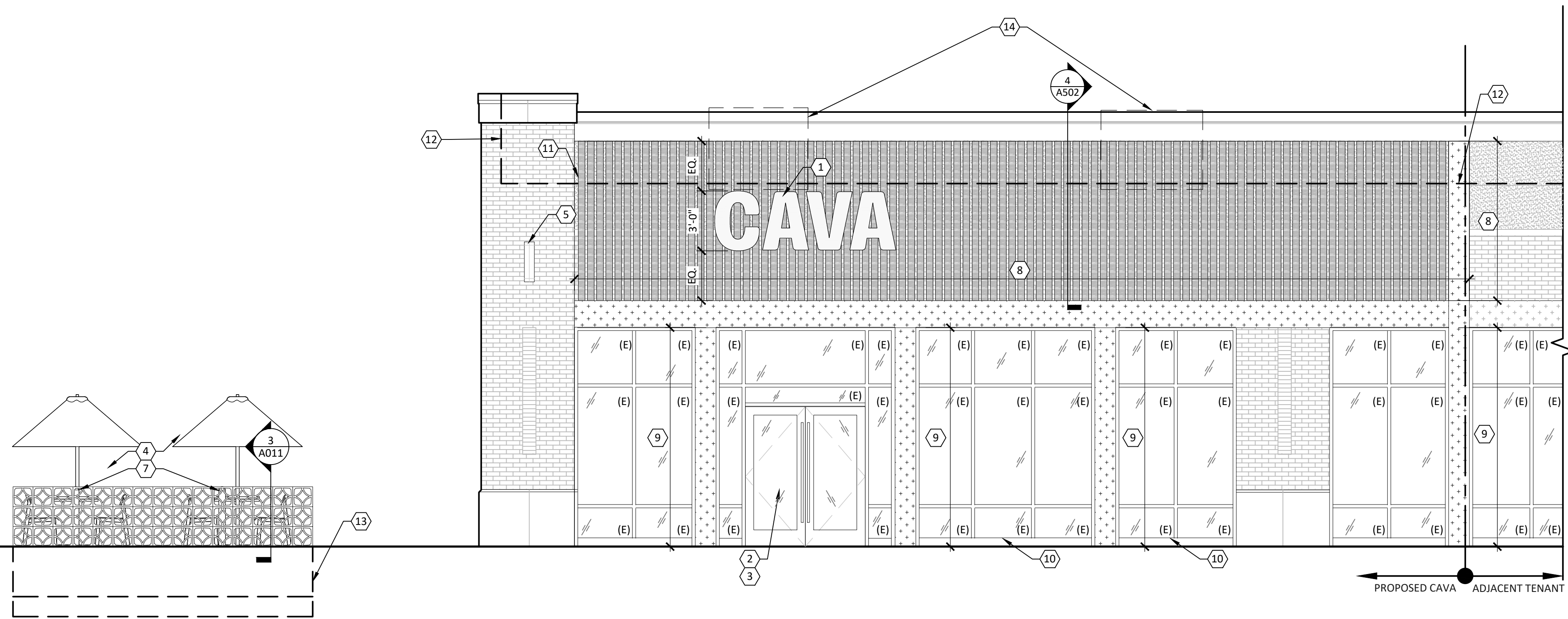
A150

±22'-8"  
T.O. EX. HIGH PARAPET  
±21'-9"  
T.O. EX. LOW PARAPET

±113'-3"  
B.O. EX. SCENCE

±110'-11 1/2"  
T.O. EX. STOREFRONT

±100'-0"  
T.O. EX. SLAB



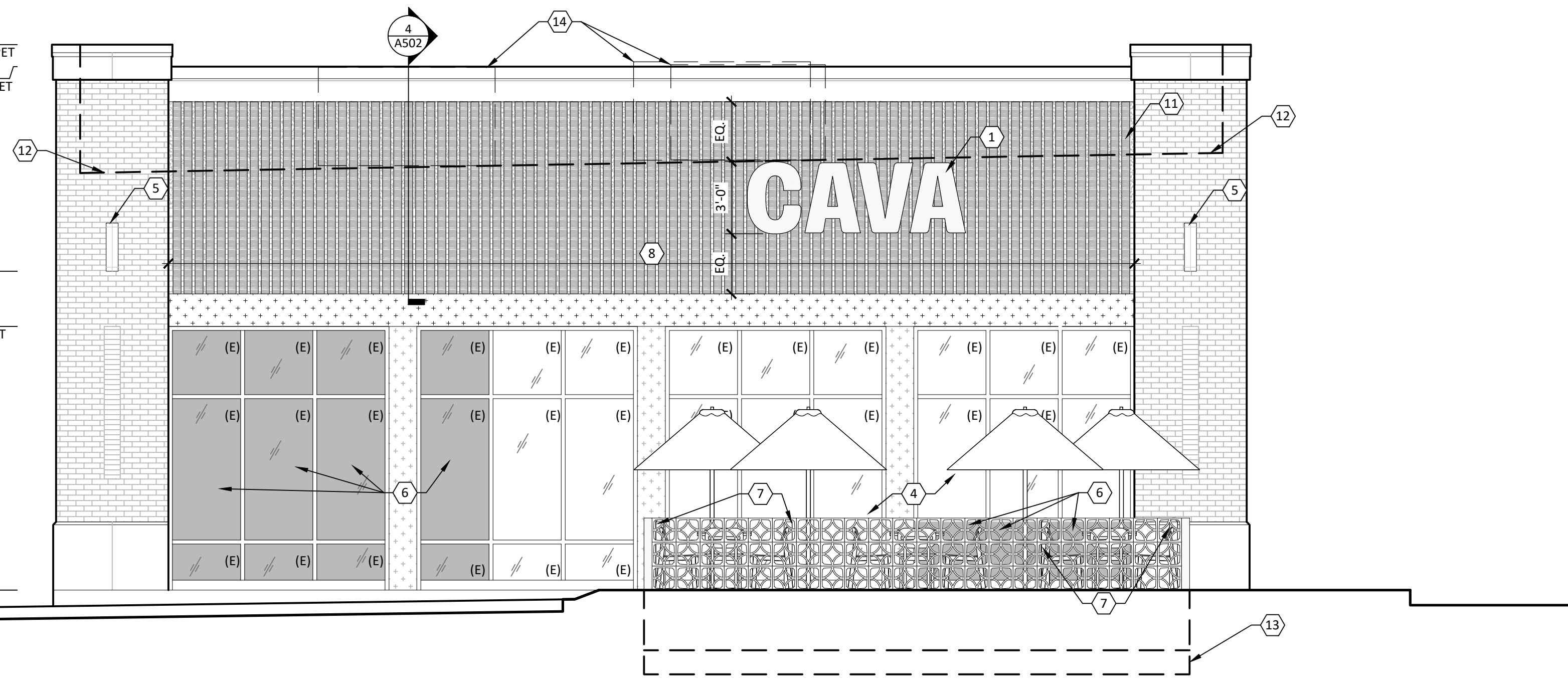
1 EAST ELEVATION  
A210 1/4" = 1'-0"

±22'-8"  
T.O. EX. HIGH PARAPET  
±21'-9"  
T.O. EX. LOW PARAPET

±113'-3"  
B.O. EX. SCENCE

±110'-11 1/2"  
T.O. EX. STOREFRONT

±100'-0"  
T.O. EX. SLAB



2 SOUTH ELEVATION  
A210 1/4" = 1'-0"

EXT. ELEVATION CODED NOTES

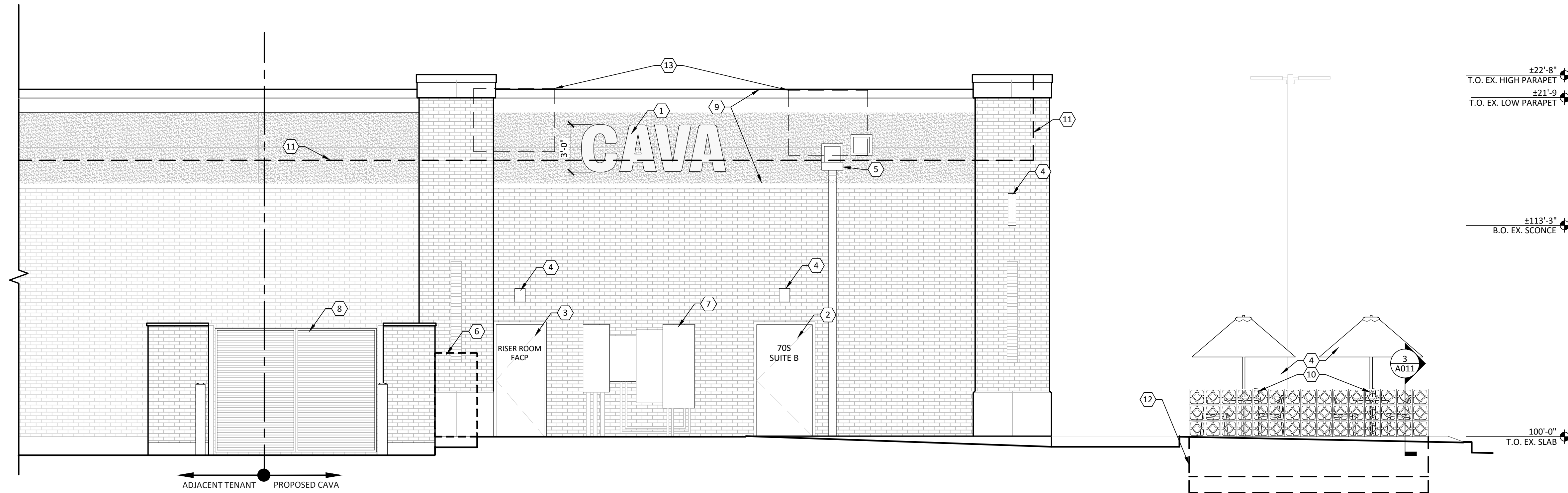
1. REFERENCE SIGN SHOP DRAWINGS FOR LOCATION AND SIZE OF NEW SIGN. SIGNAGE UNDER SEPARATE PERMIT, GC TO PROVIDE BLOCKING AS NEEDED AND PULL POWER.
2. NEW DOOR VINYL BY SIGN VENDOR AT NEW STOREFRONT DOOR.
3. NEW DOBULE DOOR MAIN ENTRY.
4. EXISTING PATIO SPACE WITH NEW BREEZE BLOCK AND BOLLARDS.
5. EXISTING EXTERIOR BUILDING LIGHT FIXTURE TO REMAIN.
6. NEW MIRROR FILM APPLIED OVER INTERIOR FACE OF SPECIFIED GLAZING BY CAVA TO SCREEN BACKSIDE OF AIR CURTAINS. REFER TO SHEETS A111 & A220.
7. NEW BOLLARD ON INTERIOR SIDE BREEZE BLOCK WALL. SEE 2/A011.
8. NEW METAL STOREFRONT PANEL BY GC. FINISHES TO MATCH EXISTING. ADHERE TO EXISTING FACADE PER MANUFACTURER'S RECOMMENDATIONS.
9. GC TO REPLACE EXISTING STOREFRONT CLADDING TO MATCH EXISTING. PROVIDE NEW SEALANT FOR WATER AND WEATHER PROOF CONDITIONS AS REQUIRED AND RECOMMENDED BY A CERTIFIED INSTALLER AND MANUFACTURER.
10. REPLACE EXISTING STOREFRONT BASE & PROVIDE WINDOW SEALANT AS REQUIRED.
11. NEW RAIN SCREEN TO OVER EXISTING FACADE. SEE 4/A502 & STRUCTURAL DRAWINGS FOR MORE INFORMATION.
12. ROOF LINE BEYOND.
13. BREEZE BLOCK WALL FOUNDATION. SEE A011 & STRUCTURAL DRAWINGS FOR MORE INFORMATION.
14. NEW ROOFTOP EQUIPMENT BEYOND.

EXT. FINISH MATERIAL LEGEND

EXTERIOR FINISH	REMARK
	EXISTING MASONRY FACADE TO REMAIN & BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	EXISTING EIFS FACADE TO REMAIN & BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	EXISTING METAL PANEL TO BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	NEW METAL PANEL BY GC.

GENERAL NOTES

1. ALL WORK INDICATE "BY LANDLORD" TO BE COMPLETED BY LANDLORD UNDER SEPARATE PERMIT.



1 WEST ELEVATION  
A211 1/4" = 1'-0"

- ### EXT. ELEVATION CODED NOTES
1. REFERENCE SIGN SHOP DRAWINGS FOR LOCATION AND SIZE OF NEW SIGN. SIGNAGE UNDER SEPARATE PERMIT, GC TO PROVIDE BLOCKING AS NEEDED AND PULL POWER.
  2. NEW REAR SERVICE DOOR AT EXISTING OPENING.
  3. EXISTING LANDLORD UTILITY ROOM - ROOF ACCESS.
  4. EXISTING EXTERIOR BUILDING LIGHT FIXTURE TO REMAIN. (TYP.)
  5. EXISTING DOWNSPOUT TO REMAIN.
  6. EXISTING BUILDING GAS SERVICE AND GEAR.
  7. EXISTING BUILDING ELECTRICAL SERVICE AND GEAR.
  8. EXISTING SHARED TRASH ENCLOSURE.
  9. REPAIR AND REPLACE EXISTING METAL FLASHING AND SEALANT AS REQUIRED FOR WATERPROOF CONDITION.
  10. NEW BOLLARD ON INTERIOR SIDE OF BREEZE BLOCK WALL.
  11. ROOF LINE BEYOND.
  12. BREEZE BLOCK WALL FOUNDATION. SEE A011 & STRUCTURAL DRAWINGS FOR MORE INFORMATION.
  13. NEW ROOFTOP EQUIPMENT BEYOND.

### EXT. FINISH MATERIAL LEGEND

EXTERIOR FINISH	REMARK
	EXISTING MASONRY FACADE TO BE POWER WASHED AS REQUIRED AT CAVA'S SPACE
	EXISTING EIFS FACADE TO BE POWER WASHED AS REQUIRED AT CAVA'S SPACE

- ### GENERAL NOTES
1. ALL WORK INDICATE "BY LANDLORD" TO BE COMPLETED BY LANDLORD UNDER SEPARATE PERMIT.

CHIPMAN DESIGN ARCHITECTURE INC  
REGISTRATION NO. 184-000711  
FIRST FLOOR EAST  
DESIGN PLAINES, IL 60018  
PHONE: 647.296.9908

**CAVA**

DATE: 06/08/26  
EXPIRATION DATE:  
ARCHITECT  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

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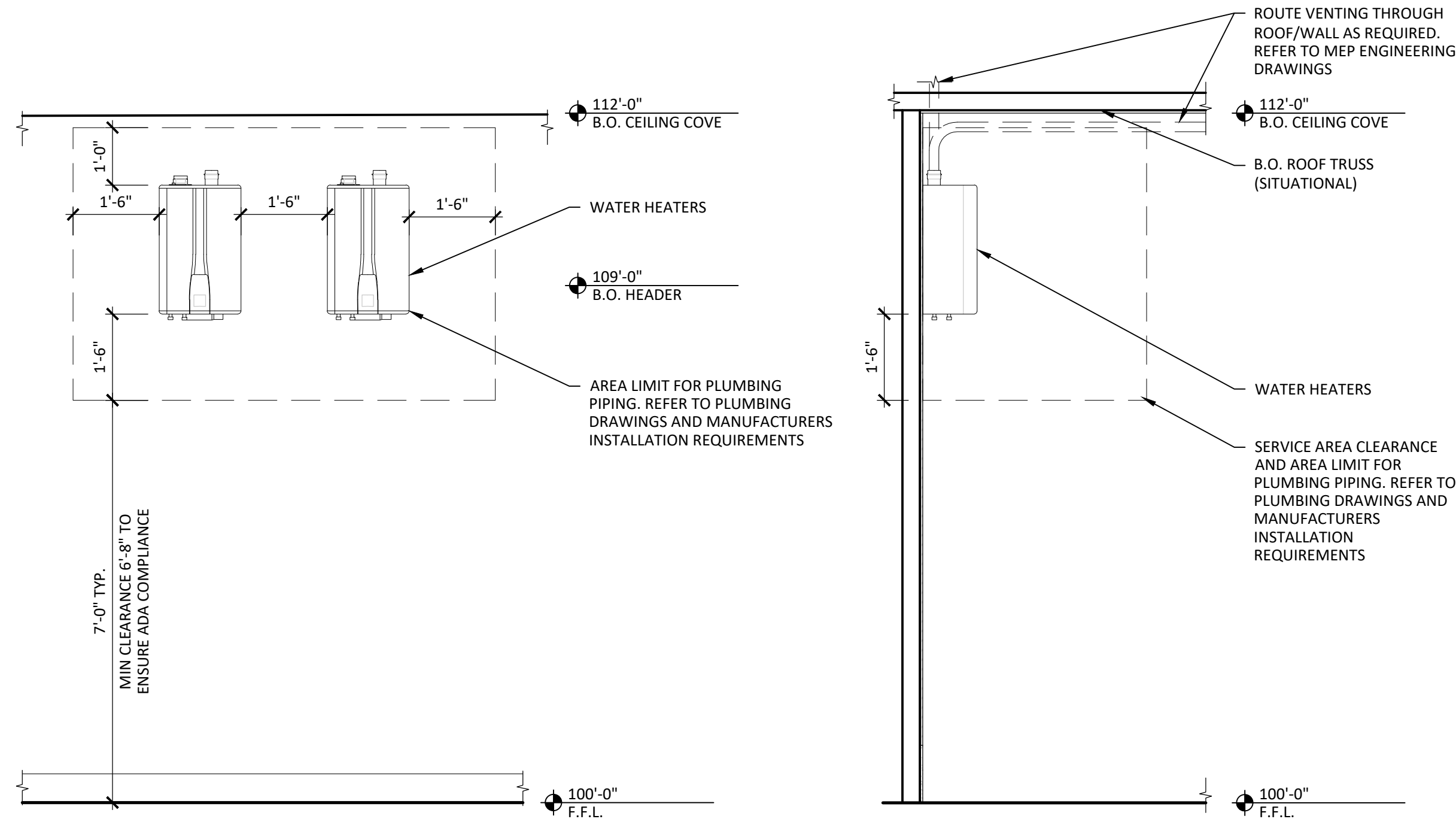
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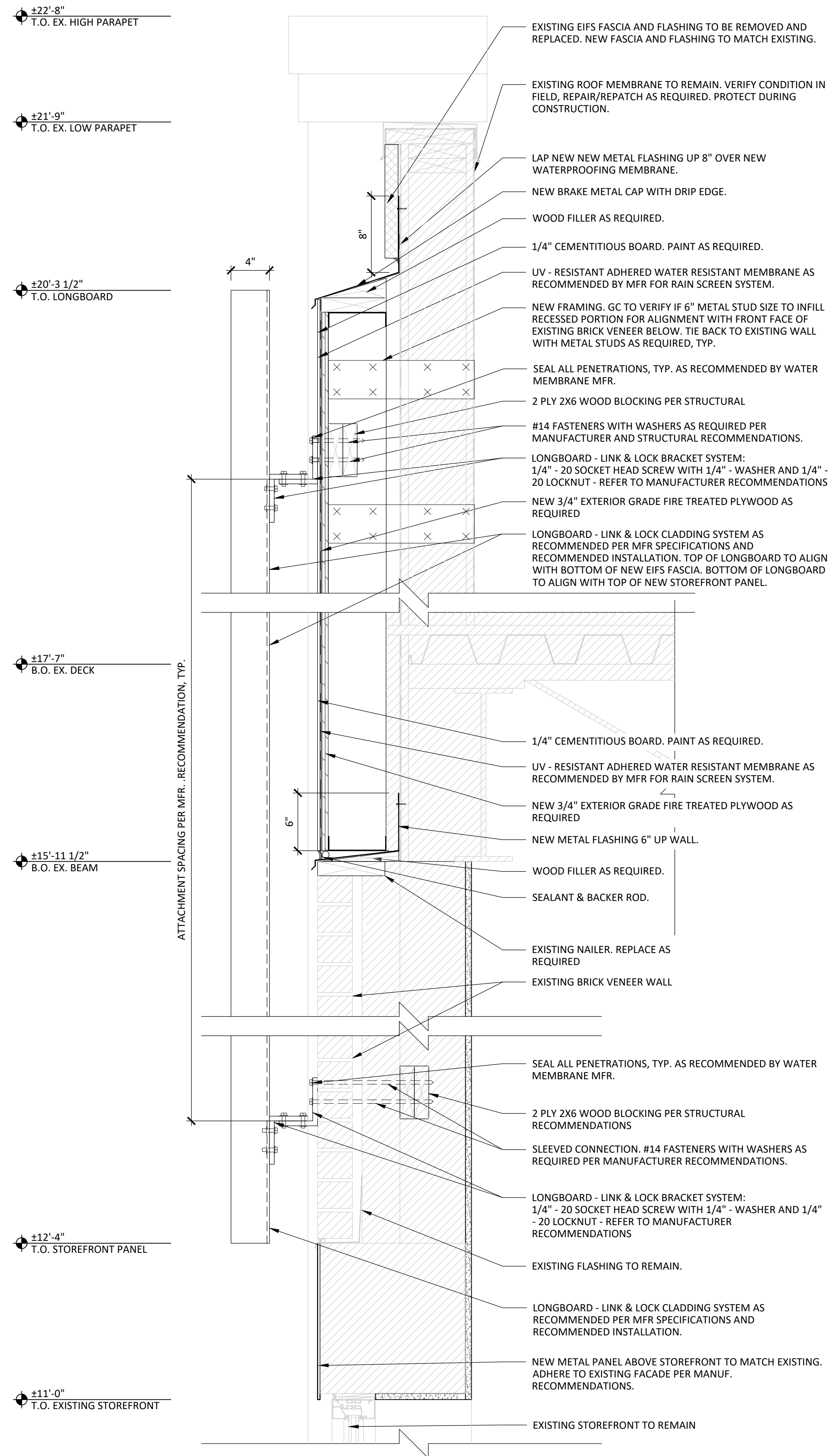
DRAWN BY: JC  
CHECKED BY: JM/AV/JF

EXTERIOR ELEVATIONS

A211



1  
A502 WATER HEATER COVE ELEVATIONS  
1/2" = 1'-0"



4  
A502 LONGBOARD SECTION DETAIL  
3" = 1'-0"

2  
A502 NOT USED  
1/2" = 1'-0"

3  
A502 NOT USED  
1 1/2" = 1'-0"

DATE	06/08/26
EXPIRATION DATE	
ARCHITECT	HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

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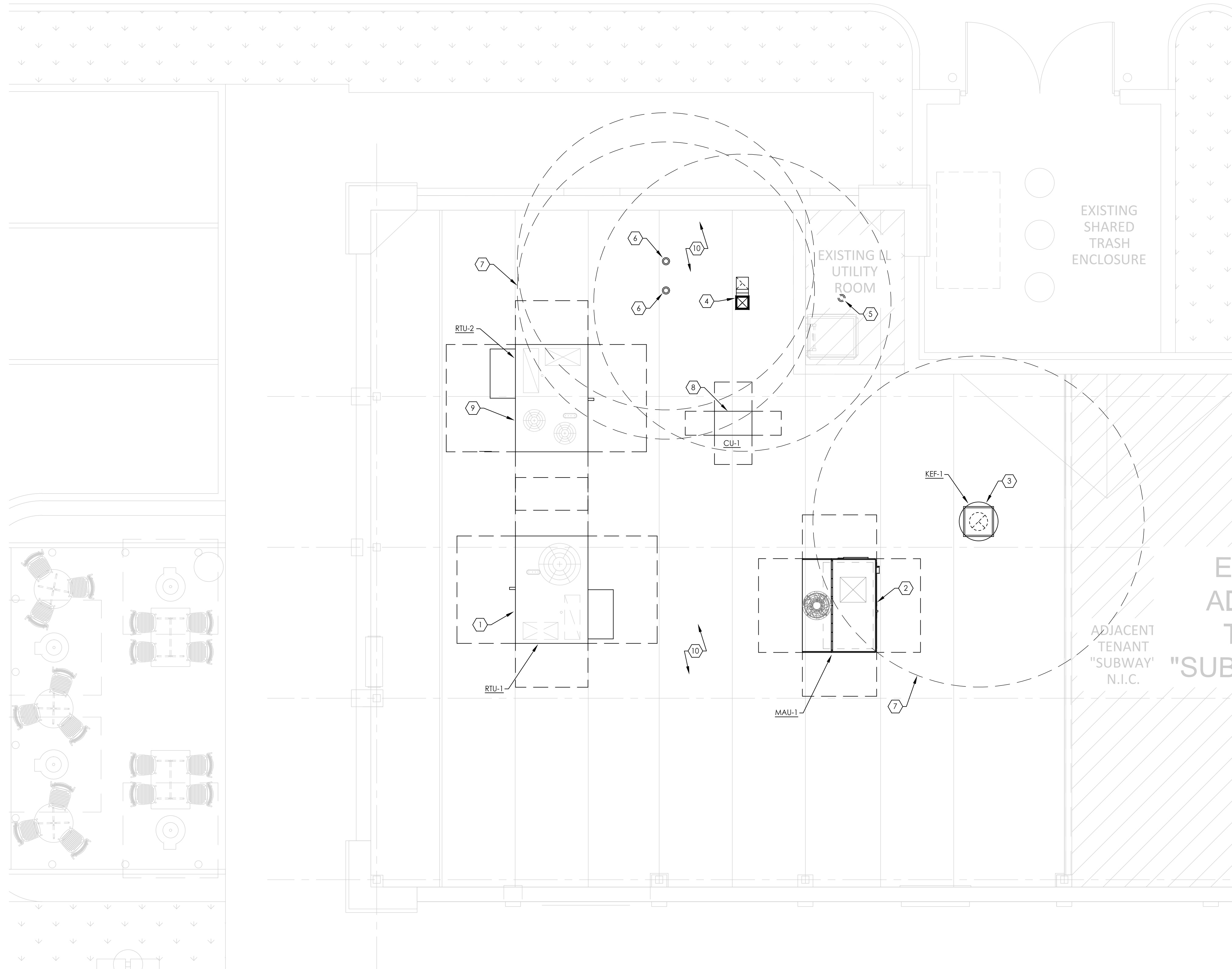
ISSUE	DATE
SCHEM. DESIGN	05/01/2026
PERMIT/BID	06/08/2026

DRAWN BY:	CHECKED BY:
JC	JM/AV/JF

DETAILS

A502

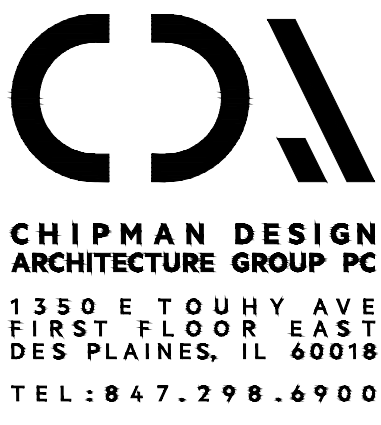
H:\26048\dwg\CD\26048\_M201\_mechanical roof plan.dwg, M201, 6/5/2026 12:52:28 PM, 1:1



**MECHANICAL ROOF PLAN**  
1/4" = 1'-0"

- GENERAL NOTES:**
- MOUNT ALL HVAC EQUIPMENT ON ROOF. REFER TO DETAILS AND SCHEDULES ON SHEET M401/M501.
  - CONTRACTOR TO MAINTAIN MINIMUM MANUFACTURER RECOMMENDED SERVICE CLEARANCE AROUND EACH PIECE OF EQUIPMENT.
  - CONTRACTOR TO ENSURE A MINIMUM OF 10'-0" CLEARANCE BETWEEN ALL OUTSIDE AIR INTAKES AND ANY EXHAUST FANS, VENTS, FLUES, ETC.
  - PROVIDE 1" TALL BLACK LETTERING ON ALL HVAC EQUIPMENT INDICATING TAG NUMBER AND TENANT.
  - IF BUILDING DOES NOT HAVE A MINIMUM 42" TALL ROOF PARAPET, CONTRACTOR SHALL ENSURE A MINIMUM OF 10'-0" CLEARANCE AWAY FROM THE EDGE OF ROOF FOR ALL EXHAUST FANS, ROOFTOP AIR HANDLING UNITS, CONDENSING UNITS, AND MAKE-UP AIR HANDLING UNITS OR COORDINATE WITH ARCHITECT TO PROVIDE ROOF RAILS.

- CODED NOTES:** (#)
- INSTALL NEW ROOFTOP UNIT ON NEW MANUFACTURERS ROOF CURB. CONTRACTOR SHALL CUT, PATCH, FLASH, AND AND COUNTER FLASH AROUND ROOF CURB TO MAINTAIN ANY APPLICABLE ROOF WARRANTY. PRIOR TO ANY ROOF CURB WORK, CONTRACTOR TO COORDINATE WITH CAVA'S PROJECT MANAGER THE EXTENT OF ROOF CURB WORK.
  - INSTALL NEW MAKE-UP AIR UNIT ON NEW MANUFACTURERS ROOF CURB. LOCATE NEW UNIT AT PREVIOUS UNIT LOCATION AS MUCH AS POSSIBLE. CONTRACTOR SHALL CUT, PATCH, FLASH, AND AND COUNTER FLASH AROUND NEW ROOF CURB TO MAINTAIN ANY APPLICABLE ROOF WARRANTY. FIELD VERIFY EXISTING SITE CONDITIONS AS TO HAVE THE NEW DUCT DROP FALL IN BETWEEN EXISTING JOIST SPACING.
  - INSTALL HOOD EXHAUST FAN ON MANUFACTURERS ROOF CURB, ENSURE LOCATION IS A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKES. CONTRACTOR SHALL CUT, PATCH, FLASH, AND AND COUNTER FLASH AROUND ROOF CURB TO MAINTAIN ANY APPLICABLE ROOF WARRANTY.
  - INSTALL 10"x10" EXHAUST DUCT WITH GOOSENECK AND BIRDSCREEN, ENSURE LOCATION IS A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKES. CONTRACTOR SHALL CUT, PATCH, FLASH, AND AND COUNTER FLASH AROUND ROOF PENETRATION TO MAINTAIN ANY APPLICABLE ROOF WARRANTY.
  - EXISTING 4" VENT THROUGH ROOF. CONTRACTOR SHALL ENSURE LOCATION IS A MINIMUM OF 10' - 0" FROM ANY OUTSIDE AIR INTAKES.
  - COMBINATION AIR INTAKE AND FLUE EXHAUST FOR WATER HEATER, INSTALL PER MANUFACTURERS RECOMMENDATIONS. CONTRACTOR SHALL ENSURE LOCATION IS A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKES.
  - ENSURE TO MAINTAIN 10'-0" CLEARANCE TO OUTSIDE AIR INTAKES.
  - GC TO INSTALL WALK-IN COOLER CONDENSER ON ROOF PER MANUFACTURER'S RECOMMENDATIONS.
  - INSTALL NEW ROOFTOP UNIT ON NEW MANUFACTURERS ROOF CURB. LOCATE NEW UNIT AT PREVIOUS UNIT LOCATION AS MUCH AS POSSIBLE. CONTRACTOR SHALL CUT, PATCH, FLASH, AND AND COUNTER FLASH AROUND NEW ROOF CURB TO MAINTAIN ANY APPLICABLE ROOF WARRANTY. FIELD VERIFY EXISTING SITE CONDITIONS AS TO HAVE THE NEW DUCT DROPS FALL IN BETWEEN EXISTING JOIST SPACING.
  - CONTRACTOR SHALL PROVIDE MECHANICAL EQUIPMENT, DUCTWORK, DIFFUSERS, HANGERS, ETC. DEMOLITION AS REQUIRED TO ACHIEVE NEW CAVA'S MECHANICAL LAYOUT AND THAT IS NO LONGER REQUIRED. FIELD VERIFY ALL EXISTING SIZES AND LOCATIONS PRIOR TO CONSTRUCTION AND ADJUST NEW MECHANICAL AS REQUIRED TO ACHIEVE INSTALLATION. PROPERLY DISPOSE OF ANY UNUSED EXISTING MECHANICAL ITEMS FROM THE PREMISES. PATCH AND REPAIR ANY FLOOR, WALL AND CEILING WORK TO MATCH EXISTING CONDITIONS.



ENGINEER  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES OF DEERFIELD, IL RELATING TO STRUCTURES AND BUILDINGS.

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ISSUE	DATE
SCHEM. DESIGN	05/01/2026
PERMIT/BID	06/08/2026

DRAWN BY: SC / LR      CHECKED BY: SK

MECHANICAL ROOF PLAN

**M201**



# Exterior Furniture



O-CH-S  
EMU E639 Mom Chair  
Color: Curry Yellow 62



O-TA-3  
EMU E803  
Cambi Table - 2/3-top  
Color: Cement 73



O-TA-D  
EMU E836  
Cambi ADA Table - 4-top  
Color: Cement 73



O-TA-UM  
Frankford Market Umbrella  
Square - 6.5 ft  
Color: yellow (primary),  
black (secondary)



O-TA-UB  
Frankford Market  
Umbrella Base  
100lbs. Aluminum Shell,  
Concrete Infill  
Color: Silver Mist



O-TR  
Toledo Trash



# Deerfield Appearance Code

## Building Design

1. *Architectural Style*: The evaluation of the appearance of a project shall be based on the logic of its design, architectural character and relationship to the surrounding area and community. Monotony of design in single or multiple structure projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. Architectural style is unrestricted; however, inappropriate and incompatible designs or concepts shall be avoided.
2. *Large Structures*: Flat facades, vertical and horizontal, shall be avoided in larger buildings. Varying the parapet and providing articulation and modulation in the facade will reduce the visual expanse of the structure. This will also add visual interest creating an aesthetically pleasing structure.
  - a. Consideration should be given to larger buildings being broken into multiple buildings if possible, or into smaller building mass elements through varied rooflines, varied façade planes, upper story setbacks, front elevation windows, etc.
  - b. In the Village Center, the design of the façade should be in keeping with the historic lot size. Deerfield's historic lot sizes were approximately 50 feet wide. The parapet height, recesses and materials should vary accordingly.
3. *Scale*: Structures shall be of an appropriate scale and mass to be harmonious with their sites, neighboring buildings and developments, and the community.
4. *Materials*:
  - a. Building materials shall be durable and conducive to easy maintenance and upkeep.
  - b. Materials shall be selected and scaled for suitability to the type of structure and design in which they are used.
  - c. Structures shall have the same harmonious materials used on all elevations that are wholly or partly visible to the public from a public or private street, place, way or adjacent property.
  - d. In choosing exterior materials and finishes for new construction, additions, alterations and renovations, the following shall be considered:
    - (1) EIFS (such as Dryvit) material, and stucco are not to be used as a primary material, and should be limited to applications above the pedestrian level (approximately 10 feet above the ground).
    - (2) Aluminum and vinyl siding (residential type) shall not be used on commercial buildings.
    - (3) Metal panels shall be installed with an appropriate gauge thickness so as to avoid the oil-canning effect (buckling or waviness of the metal).

- (4) Panel finishes shall not show blistering, pimpling or delamination.
  - (5) Painting of masonry materials, including stone, brick and certain block, is strongly discouraged.
  - (6) Mirrored, reflective or dark tinted glass is discouraged, especially at the pedestrian and grade level. Also, applied glass films may be granted, if an unsightly view exists – see Window Sign Regulations (Deerfield Zoning Ordinance, Article 9.02-B, 13).
  - (7) Brick and stone convey permanence and are preferred building materials.
5. *Primary Entrance:* The main entrances shall be oriented to a public street or prominent public area, and should be a clearly defined architectural feature of the building.
- a. Every building shall incorporate building address numerals that shall be a minimum of three inches in height, a contrasting color to the mounting surface, and placed on the building facing the public street for which the address is given, or if not possible, a public way.
6. *Components:* Building components such as windows, doors, eaves, and parapets shall have appropriate proportions and relationships to one another and to the building as a whole. A façade that includes non-structural and non-functional elements designed to attract attention is not appropriate, and may be considered signage. Some examples may include murals, ghost signs and images.
- a. Art objects are a component of building/site design and shall be reviewed for their scale, placement and appropriateness.
  - b. When designing a commercial building or structure, consideration shall be given to the placement of future tenant signs.
7. *Colors:* Colors shall be harmonious. Bright or brilliant colors should be minimized and may be used only for accents and must be compatible with the overall color scheme. Large expanses of a single color are discouraged.
8. *Appurtenances:* All gas and electric meters, downspouts, and other appurtenances shall either be incorporated internally into the structure or be of similar color and/or materials to the principal structure. Outside remote utility readers shall be placed or screened in such a manner as not to be seen from a public way.
9. *Roofs:*
- a. Visible and pitched roofs should be of a material, color and texture appropriate to the building design character and use.
  - b. Pitched roofs should have overhangs which define the roof/wall interface.
  - c. Gable and pitched roofs should be scaled to the face of the building so as not to dominate the elevation nor be so small as to lack a feeling of closure and protection.

- d. In the Village Center, consider pitched, sloped or gable roofs in keeping with Deerfield's historic character and development.
- e. Perimeter lighting that outlines the expanse of the building or a specific building feature/element that is meant to draw attention to the structure, such as signage is meant to do, will not be allowed. Exemption: Holiday Decorations (Zoning Ordinance 9.01-A,3).

10. *Awnings & Canopies:*

- a. The lowest point of a canopy or an awning's framework shall be a minimum of eight (8) feet above the ground, with a canvas valance having a minimum clearance of seven (7) feet, two (2) inches above the ground.
- b. Awnings shall be designed to project over individual window and door openings. Long expanses of awnings are discouraged.
- c. Awnings and canopies should be an enhancement to the building and shall be mounted in such a way as to not cover any ornamental feature of the building.
- d. In multi-tenant/multi-unit buildings, awnings/canopies should be coordinated to complement the overall architecture of the center.
- e. Awning/canopy colors should enhance and complement the building and any adjacent awnings.
- f. An awning/canopy may be used as a background for an allowed wall sign, in lieu of a sign mounted directly to the building wall. If the valance is used for the sign, a margin must be provided at the top and bottom of the valance as well as either end, providing negative space around the sign.
- g. No part of an awning shall be made of a translucent material that would allow light from the interior of the awning to illuminate through the awning material.
- h. Awnings shall be well maintained and replaced when necessary. Torn, frayed, damaged, faded, stained, or dirty awnings must be cleaned, repaired or replaced with the same approved material and color.

11. *Upper Level Decks and Balconies:*

- a. Decks and balconies above the first floor should be screened from public view with materials harmonious to the building; or
- b. Located so as not to be visible from the adjacent public street(s).
- c. In the Village Center, decks and balconies for office or residential use (private use) should not face a major arterial street, Waukegan or Deerfield Roads. For patio and grade level decks see: Relationship of Building(s) to site and adjacent areas.

12. *Mechanical Equipment:* Mechanical and utility equipment located on the roof or exterior of a building shall either be:

- a. Screened from public view with materials harmonious to the building; or
- b. Located so as not to be visible from a public way.

13. *Sustainable Design*: Sustainable design is encouraged, and any exterior feature of such system and/or material(s) shall be integrated into the building's overall architectural design. When feasible consider proven sustainable design, including but not limited to active and passive solar and geo-thermal. Use of locally-produced building materials is encouraged. For "green" ideas go to the U.S. Green Building Council website, or other "green" websites.  
Any solar panels or wind energy systems must meet the regulations described in Deerfield Zoning Ordinance, Article 2.10: Alternative Energy Systems.

## Deerfield Zoning Ordinance (O-07-26)

15% of the window area (section or bay) and shall not be internally illuminated.

f. Window Business Sign, subject to the following regulations:

- (1) Instead of a Business Wall Sign attached to a building's exterior, a business may apply to the Department of Building and Zoning for a Window Business Sign (company name) permit, in which case a greater percentage of window coverage may be allowed than under the 20% window coverage regulation. The same regulations and procedures as for approval of a Commercial Business Wall Sign shall apply, including ARC review and approval.

g. Opaque Windows, subject to the following regulations:

- (1) It may be necessary to cover an entire window due to unsightly views such as storage rooms. In this case, the window shall be considered to be part of the wall of the building and shall be regulated as such by the Appearance Code, including ARC review and approval.
- (2) Boxes and supplies stacked against a window will not be considered a window display and the items must be relocated or the window covered.

h. Modifications.

- (1) Unusual conditions may require modification of the window signage requirements pursuant to Article 13.08. In addition to a public hearing with the Board of Zoning Appeals, an application to and hearing before the Appearance Review Commission will be required in order to have the Board of Trustees consider a modification to the window signage regulations.
- (2) Any modification to the illumination requirements for window signs may not be accompanied by a modification to other window sign regulations.
- (3) An order of the Board of Trustees approving a modification shall expire on removal, replacement or material alteration of such sign.

i. Non-conforming Signs.