

**AGENDA FOR THE BOARD OF TRUSTEES**  
**Tuesday, September 6, 2016, 7:30 P.M.**

Call to Order  
Roll Call  
Pledge of Allegiance  
Promotion of Marci Landy to the Position of Police Sergeant  
Deerfield Road Update  
Minutes of Previous Meeting  
Treasurer's Report  
Bills and Payroll  
Public Comment

**REPORTS**

- 16-96 Report and Recommendation re: Northwest Quadrant Master Plan as an Amendment to the Comprehensive Plan of the Village of Deerfield
- 16-95 Report and Recommendation of Staff re: Increasing the Number of Class C Liquor Licenses from Six (6) to Seven (7) for Roti Mediterranean Grill
- 16-93 Report and Recommendation of the Plan Commission re: Request for Finding of Substantial Conformance for Approval of Changes to the Previously Approved Plans for 3 Parkway North Parking Structure Expansion (Fulcrum Asset Advisors, LLC)

**CONSENT AGENDA**

- 16-84-2 Ordinance Annexing Certain Territory Excluded from the Village of Riverwoods – 2R
- 16-81-2 Ordinance Excluding Certain Territory Commonly Known as 780 Saunders Road from the Village of Deerfield – 2R
- 16-90-2 Ordinance Amending the Wage and Salary Plan – 2R

**OLD BUSINESS**

**NEW BUSINESS**

- 16-91 Authorization to Execute Design Engineering Supplement for Phase II Engineering Consulting Services for the Kates Road Bridge and Roadway Rehabilitation Project
- 16-71 Authorization to Award Contract for Roof Replacement at Metra Train Station
- 16-72 Authorization to Award Contract for Interior Flooring Replacement at Metra Train Station
- 16-94 Authorization to Execute Amendment No. 1 to Metra Agreement for Commuter Parking Operation and Maintenance
- 16-92 Resolution Authorizing the Release and Vacation of a Certain Storm Sewer Easement and the Execution of a Plat of Easement Vacation (Deerbrook Mall)

Items for discussion by Mayor and Board of Trustees  
Reports of the Village Manager  
Adjournment

August 15, 2016

The regular meeting of the Board of Trustees of the Village of Deerfield was called to order by Mayor Harriet Rosenthal in the Council Chambers of the Village Hall on August 15, 2016 at 7:30 p.m. The clerk called the roll and announced that the following were:

Present: Harriet Rosenthal, Mayor  
Alan Farkas  
Robert Nadler  
William Seiden  
Dan Shapiro  
Barbara Struthers

Absent: Thomas Jester

and that a quorum was present and in attendance. Also present were Kent Street, Village Manager and Village Attorney Peter Coblentz.

PLEDGE OF ALLEGIANCE

Chief Sliozis led those in attendance in reciting the Pledge of Allegiance.

DEPARTMENTAL OBJECTIVES -  
POLICE DEPARTMENT

Chief Sliozis presented highlights from the Police Department six-month objectives report. Calls for service are up slightly over the same period last year. The number fluctuates each year. The index crime calls, which are more serious, were down from the previous year, but the numbers were fairly consistent. The number of burglaries is consistent with the four year average. Criminal damage is cyclical, but is consistent with the four-year average. Traffic collisions were slightly higher than the four year average. Lake Cook Road continues to have the highest number of reported accidents. The number of traffic citations and cell phone violations were higher than the same period last year. Chief Sliozis reported the Village is working with the Clerk of the Circuit Court to implement e-tickets, which would eliminate duplicate work. The department is looking to upgrade their computer aided dispatch system within the next few months.

The Village appeared in Springfield regarding the consolidated dispatch. He anticipates the Village will be over 25,000 people, which is the current benchmark for not having to consolidate. Chief Sliozis believes they will have an answer by the end of September.

Trustee Farkas thanked the Department for their professionalism, especially considering recent events. Trustee Farkas asked if Chief Sliozis could report back on medical marijuana in Deerfield. Chief Sliozis stated that they have not received any recent calls. He noted the State has implemented lesser penalties recently.

MINUTES OF PREVIOUS MEETING

Trustee Nadler moved to approve the minutes from the August 1, 2016, Board of Trustees

meeting. Trustee Struthers seconded the motion. The motion passed unanimously on a voice vote.

BILLS AND PAYROLL

Trustee Struthers moved to approve the Bills and Payroll dated August 15, 2016. Trustee Farkas seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

PUBLIC COMMENT

Andrew Marwick, 442 Kelburn, discussed retail trends and how they will effect Deerfield. There is a trend in retail centers to move away from traditional retailers and add service and restaurant uses. Retail is a major source of revenue for a Village like Deerfield, but questioned what will happen in the long-term.

REPORTS

There were no Reports.

CONSENT AGENDA

There were no items on the Consent Agenda.

OLD BUSINESS

ORDINANCE ANNEXING CERTAIN TERRITORY EXCLUDED FROM THE VILLAGE OF RIVERWOODS – 1R

An Ordinance annexing certain territory excluded from the Village of Riverwoods. First Reading.

ORDINANCE EXCLUDING CERTAIN TERRITORY COMMONLY KNOWN AS 780 SAUNDERS ROAD FROM THE VILLAGE OF DEERFIELD - 1R

An Ordinance excluding certain territory commonly known as 780 Saunders Road from the Village of Deerfield. First Reading.

ORDINANCE O-16-16 INCREASING THE NUMBER OF AUTHORIZED CLASS E LIQUOR LICENSES FROM 13 TO 14 FOR DAO SUSHI

An Ordinance increasing the number of authorized Class E liquor licenses from 13 to 14 for DAO Sushi.

Mayor Rosenthal indicated the owners of DAO Sushi requested a waiver of the rules. Trustee Nadler moved to waive the First Reading of the Ordinance. Trustee Shapiro seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)  
NAYS: None (0)

Trustee Nadler moved for Second Reading and adoption of the Ordinance. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)  
NAYS: None (0)

### NEW BUSINESS

APPROVAL OF LOCAL AGENCY AGREEMENT FOR FEDERAL PARTICIPATION AMENDMENT #1 FOR THE DEERFIELD ROAD RECONSTRUCTION PROJECT Director of Public Works and Engineering Barbara Little reported that the Village approved a local agency agreement based on cost estimates. The proposed agreement reflects actual bid prices as well as additional costs for Highland Park bridges, which do not affect the Village of Deerfield. The cost to Deerfield is \$1.8 million rather than \$2.2 million based on the actual bids. Ms. Little requested authorization to execute amendment No. 1 for the Federal participation.

Trustee Nadler moved to approve amendment No. 1 for the Deerfield Road reconstruction project. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)  
NAYS: None (0)

Ms. Little presented an update on the Deerfield Road reconstruction project. She noted Deerfield Road is closed to thru traffic at Wilmot due to the creek bridge closure. She stated the work on the West Fork Bridge has begun and believes it will be open by Labor Day. Ms. Little noted a lot of work has been completed near the viaduct. The utility relocation work, which will take about a week, will begin this week. After the utility reconstruction is complete, the contractor will need three weeks to complete this portion of the roadway. The contractor is getting ready for paving east of Waukegan Road.

Ms. Little reported Kipling Road at Deerfield Road has been closed, but will be open by the start of the school year. She indicated these schedules are weather dependent.

AUTHORIZATION TO AWARD THE CONSTRUCTION CONTRACT FOR THE 2016 UST REPLACEMENT WITH AST PROJECT DEERFIELD ROAD STATION Ms. Little reported the Deerfield Road Lift Station is a critical facility that pumps sewage and discharges excess water flow into the river. This construction contract would replace the

existing underground fuel tank for the generator with an above ground fuel tank. Three bids were received and publicly opened on July 29, 2016. The lowest qualified bidder was Accurate Tank Construction in an amount of \$ 52,200.

Trustee Nadler moved to award the construction contract for the replacement above ground storage tank to Accurate Tank Construction in an amount of \$52,200. Trustee Farkas seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

AUTHORIZATION TO AWARD Assistant Village Manager Andrew Lichterman  
CLEANING SERVICES CONTRACT reported the Village issued an RFP for cleaning services. Nine proposals were received and publicly opened on August 1, 2016. After performing background checks and checking references, staff is recommending awarding the cleaning services contract to ABC Commercial, Inc. from Wheeling in the amount of \$31,440 annually. Staff is recommending a one-year contract with two optional one-year renewals.

Trustee Nadler moved to award a one-year cleaning services contract to ABC Commercial, Inc. in an amount not to exceed \$31,440. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

RESOLUTION R-16-12 APPROVING AN Mr. Lichterman reported many of the proposed  
AMENDMENT TO THE PERSONNEL changes stipulate terms that are consistent with the  
POLICIES AND PROCEDURES most recent versions of the Police and Public Works  
MANUAL OF THE VILLAGE OF collective bargaining agreements. The major  
DEERFIELD revisions include changes to the nepotism policy,  
the addition of a health insurance opt-out provision,  
a change from a one-year to a two-year vacation buyback program, revisions to timing sick leave  
payout at retirement, updates to the harassment policy and simplification of the tuition  
reimbursement program.

Trustee Seiden moved to adopt the Resolution. Trustee Farkas seconded the motion. The motion passed by the following vote:

AYES: Farkas, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

ORDINANCE AMENDING THE WAGE An Ordinance amending the wage and salary plan.  
AND SALARY PLAN – 1R First Reading. This will stand as a First Reading of  
the Ordinance.

DISCUSSION

TRUSTEE IN THE TOWN

questions at the Farmers Market on Saturday from 9 a.m. to noon.

Trustee Seiden reported Trustee Farkas and Trustee Struthers would be available to answer

TOP TEN

successful cities in Illinois.

Mayor Rosenthal reported career website Zippia.com ranked Deerfield as one of the 10 most

JOINT CHAMBER OF COMMERCE

hear Congressman Dold speak. She asked him about railroad safety.

Mayor Rosenthal and Mr. Street attended a joint Chamber of Commerce meeting with Northbrook to

NEXT MEETING

September 6, 2016, due to the Labor Day holiday.

Mr. Street reported the next regular Board of Trustees meeting will take place on Tuesday,

ADJOURNMENT

meeting. Trustee Shapiro seconded the motion. The motion passed unanimously. The meeting was adjourned at 8:23 p.m.

There being no further business or discussion, Trustee Farkas made a motion to adjourn the

APPROVED:

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Mayor

ATTEST:

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Village Clerk

**TREASURER'S REPORT**  
**July 31, 2016**

**HIGHLIGHT REPORT**  
July 31, 2016

**SALES TAX (non home-rule)\***

SALES MONTH	RECEIPT MONTH	2014 ACTUAL	2015 ACTUAL	2016 ACTUAL	% CHANGE PRIOR YR. PERIOD	TOTAL 12 MONTHS RUNNING	% CHANGE ANNUAL TOTALS
						3,851,200	
October	January	331,326	371,192	278,067	-25.1%	3,836,803	-0.4%
November	February	268,123	270,906	315,746	16.6%	3,877,603	1.1%
December	March	290,046	351,164	287,077	-18.2%	3,822,491	-1.4%
January	April	255,689	282,558	330,267	16.9%	3,720,354	-2.7%
February	May	238,998	218,180	256,915	17.8%	3,692,259	-0.8%
March	June	304,788	283,631	248,202	-12.5%	3,599,134	-2.5%
<b>April</b>	<b>July</b>	<b>298,666</b>	<b>301,171</b>	<b>271,834</b>	<b>-9.7%</b>	3,643,974	1.2%
May	August	311,357	296,960		-4.6%	3,579,887	-1.8%
June	September	335,985	376,785		12.1%	3,627,596	1.3%
July	October	348,688	293,576		-15.8%	3,666,331	1.1%
August	November	431,169	329,032		-23.7%	3,630,902	-1.0%
September	December	345,199	317,104		-8.1%	3,601,565	-0.8%
<b>TOTAL</b>		<b>3,760,034</b>	<b>3,692,259</b>	<b>1,988,108</b>			<b>-6.6%</b>
YTD Subtotal		1,987,636	2,078,802	1,988,108			

**MAJOR REVENUE SOURCES**

Revenue Items	July	Fiscal YTD	Projected YTD	Variance	FY Budget	Current FY Projection
Sales Tax (non-HR)	350,371	2,943,059	2,916,667	26,392	5,000,000	5,000,000
Home Rule Sales Tax	289,076	2,476,100	2,420,833	55,267	4,150,000	4,150,000
Water Sales	368,580	1,912,953	2,473,333	(560,380)	4,240,000	4,240,000
Interest*	11,898	130,776	107,917	22,859	185,000	185,000
Sewer Use Charge	249,650	1,419,261	1,674,167	(254,906)	2,870,000	2,870,000
Hotel Tax	214,733	1,163,660	1,108,333	55,327	1,900,000	1,900,000
Electric Utility Tax	126,763	717,210	729,167	(11,957)	1,250,000	1,250,000
State Income Tax	118,826	1,253,067	991,667	261,400	1,700,000	1,700,000
Building Permits	119,203	669,810	539,583	130,227	925,000	925,000

\*All budgeted funds (excluding police pension)

**OPERATING FUNDS (GENERAL, WATER, SEWER, GARAGE) SUMMARY**

Revenues	2,388,257	17,249,681	17,179,678	70,003	29,444,253	29,444,253
Expenditures	4,133,493	17,397,646	17,786,087	(388,441)	32,126,113	32,126,113

**REVENUES AND EXPENDITURES**

Sales tax net of rebate increased from last month. The YTD amount is consistent with the total from two years ago. The decrease from the prior year is due to unusual activity in the prior year. Water and Sewer billings increased from last month as expected. Hotel tax increased from last month. Telecom tax increased from last month and YTD. Electric Utility tax increased from the same period of last year, but continues to be lower than prior YTD amount. State Income tax is a month ahead for the year. Large expenditures during the month include engineering & construction costs for infrastructure projects, VERF equipment purchases and budgeted general fund transfers to Infrastructure Replacement Fund & the Refuse Fund.

**CASH AND INVESTMENTS**

As of July 31, 2016, 100% of available cash was invested at an estimated average annualized interest rate of 0.52 compared to an average rate of 0.30% for the 90-day Treasury bill.

**CASH POSITION ANALYSIS**

July 31, 2016

**TOTAL CASH AND INVESTMENTS**

	<b>CURRENT MONTH</b>	<b>PRIOR MONTH</b>	<b>CHANGE</b>	<b>EXPLANATION</b>
<b>OPERATING FUNDS</b>				
GENERAL	17,913,843	19,952,869	(2,039,027)	Transfer to IRF and refuse
ENHANCED 911	1,080,255	1,085,566	(5,311)	
WATER	(1,523,291)	(1,533,242)	9,951	
SEWER	343,094	394,745	(51,651)	
REFUSE	467,344	55,544	411,800	Transfer from General Fund
PARKING LOTS	271,778	276,749	(4,971)	
GARAGE	(10,665)	(3,730)	(6,935)	
VEH & EQUIP	5,116,089	5,053,520	62,569	
DEBT SERVICE	1,397,462	1,296,734	100,728	
<b>TOTAL ALL OPERATING</b>	<b>25,055,909</b>	<b>26,578,755</b>	<b>(1,522,847)</b>	
<b>CAPITAL FUNDS</b>				
INFRASTRUCT REPLACE.	8,560,834	8,315,259	245,575	Transfer from General Fund, project costs
MOTOR FUEL TAX	612,339	586,179	26,160	
<b>TOTAL ALL CAPITAL</b>	<b>9,173,173</b>	<b>8,901,438</b>	<b>271,735</b>	
<b>TOTAL CAP. AND OPER.</b>	<b>34,229,081</b>	<b>35,480,193</b>	<b>(1,251,112)</b>	
<b>OTHER FUNDS</b>				
POLICE PENSION	42,250,398	41,196,851	1,053,547	Mkt value change
EAST SHORE RADIO	102,735	41,358	61,377	
2011 B SINKING FUND *	2,943,813	2,943,063	750	
IMET LIQUIDATING TRUST	651,616	651,616	0	

\* Restricted for payment of 2011B bonds in 2028

**Village of Deerfield**  
**Expenditure Report - July 31, 2016 - 58% of Year**

FUND/DEPARTMENT (function)	July Expenditures	Projected Y-T-D	Actual Y-T-D	Variance	Budget 2016	% of Budget	Prior Year %
10 GENERAL FUND							
Finance	2,474,858	4,650,318	5,085,520	(435,202)	8,607,652	59.1%	64.7%
Administration	139,802	985,930	937,711	48,219	1,690,166	55.5%	52.3%
Comm. Development	84,252	732,667	650,980	81,687	1,256,000	51.8%	53.6%
Engineering	40,602	384,201	316,968	67,233	658,630	48.1%	43.5%
Street	214,702	1,630,355	1,762,781	(132,426)	2,794,894	63.1%	61.6%
Police	605,858	5,073,194	4,625,984	447,210	9,696,904	47.7%	47.3%
TOTAL GENERAL	3,560,074	13,456,665	13,379,944	76,721	24,704,246	54.2%	54.1%
54 SEWER							
Administration	27,370	330,843	383,173	(52,330)	567,159	67.6%	64.2%
Cleaning & Maint.	41,024	176,458	192,238	(15,780)	302,500	63.5%	54.5%
Construction	32,885	217,700	217,581	119	373,200	58.3%	44.9%
Treatment Plant	140,938	962,025	874,916	87,109	1,649,186	53.1%	54.9%
TOTAL SEWER	242,217	1,687,026	1,667,908	19,118	2,892,045	57.7%	55.5%
50 WATER							
Administration	35,970	365,685	405,733	(40,048)	626,888	64.7%	58.9%
Main & Hydrant Maint.	38,760	345,742	350,687	(4,945)	592,700	59.2%	64.7%
Distribution	220,122	1,609,825	1,309,725	300,100	2,759,700	47.5%	51.6%
Meter Maintenance	8,126	82,775	87,179	(4,404)	141,900	61.4%	38.8%
TOTAL WATER	302,978	2,404,026	2,153,324	250,702	4,121,188	52.3%	51.8%
70 GARAGE	28,224	238,370	196,470	41,900	408,634	48.1%	47.7%
TOTAL PUBLIC WORKS	788,121	5,959,777	5,780,483	179,294	10,216,761	56.6%	55.1%
17 ENHANCED 9-1-1	66,232	267,101	168,887	98,214	457,887	36.9%	36.0%
58 REFUSE	111,179	862,282	772,067	90,215	1,478,198	52.2%	49.9%
60 PARKING LOT (village)	8,989	83,767	70,254	13,513	143,600	48.9%	42.5%
60 PARKING LOT (combined)	11,069	104,096	82,771	21,325	178,450	46.4%	39.2%
22 INFRAS. REPLACE.	1,623,485	8,024,119	3,386,054	4,638,065	13,755,632	24.6%	47.7%
14 MFT	0	288,167	0	288,167	494,000	0.0%	11.4%
80 POLICE PENSION	219,456	1,622,425	1,519,011	103,414	2,781,300	54.6%	55.0%
21 VEH/EQUIP REPLACE.	143,405	358,366	324,445	33,921	614,342	52.8%	41.1%
35 DEBT SERVICE	0	988,837	988,837	0	4,130,774	23.9%	25.0%

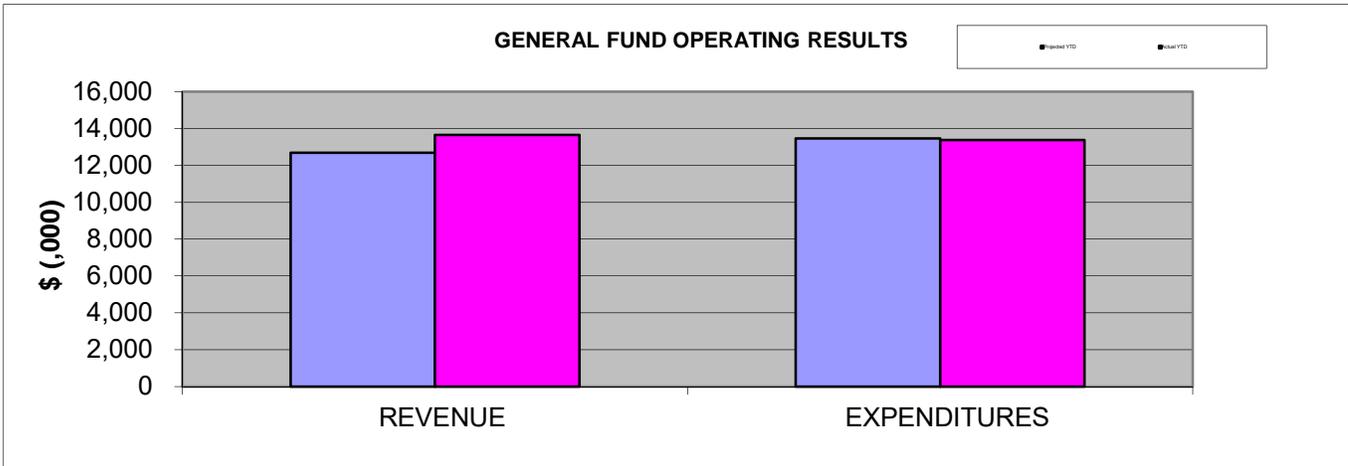
**Village of Deerfield  
Revenues vs Expenditures**

**July 31, 2016**

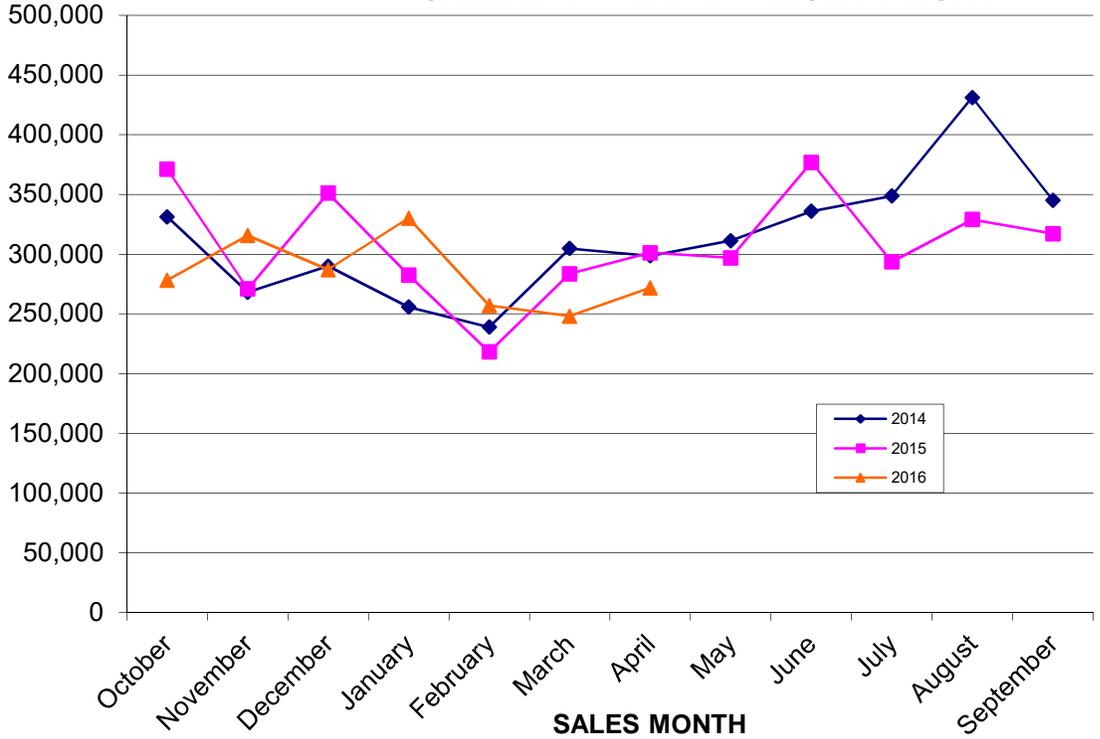
(Amounts x 1,000)

FUND:	2016		2015	
	ACTUAL Month	PROJECTED Y-T-D	ACTUAL Y-T-D	ACTUAL Y-T-D
<b>10 GENERAL</b>				
Revenues:				
Property Taxes	95	1,875	1,875	0
St Income Tax	119	992	1,254	1,195
Sales Tax (non HR)	350	2,917	2,943	2,776
Electricity Tax	127	729	718	749
Telecomm Tax	160	729	1,161	761
HR Sales Tax	217	1,808	1,857	1,708
Hotel Tax	215	1,108	1,164	1,156
Interest Earnings	7	61	54	48
Fees & Fines	23	176	170	165
Vehicle Licenses	43	357	357	316
Building Permits	119	540	669	565
Other Rev	257	1,395	1,428	1,352
REVENUE	1,732	12,688	13,650	10,791
EXPENDITURES	3,560	13,457	13,380	11,638
Contribution to Fund Balance	(1,828)	(769)	270	
<b>54 SEWER</b>				
REVENUES	252	1,705	1,444	1,416
EXPENDITURES	242	1,687	1,668	1,570
Contribution to Fund Balance	10	18	(224)	
<b>50 WATER</b>				
REVENUES	376	2,551	1,954	1,930
EXPENDITURES	303	2,404	2,153	2,466
Contribution to Fund Balance	73	147	(199)	
<b>70 GARAGE</b>				
REVENUES	28	236	202	187
EXPENDITURES	28	238	196	214
Contribution to Fund Balance	0	(2)	6	
<b>22 REPLACEMENT (Infrastructure)</b>				
REVENUES	1,851	5,827	7,639	8,962
EXPENDITURES	1,623	8,024	3,386	5,673
Contribution to Fund Balance	228	(2,197)	4,253	
<b>14 MFT</b>				
REVENUES	26	249	266	248
EXPENDITURES	0	288	0	112
Contribution to Fund Balance	26	(39)	266	
<b>80 POLICE PENSION</b>				
REVENUES	1,266	930	3,387	1,100
EXPENDITURES	219	1,622	1,519	1,416
Contribution to Fund Balance	1,047	(692)	1,868	

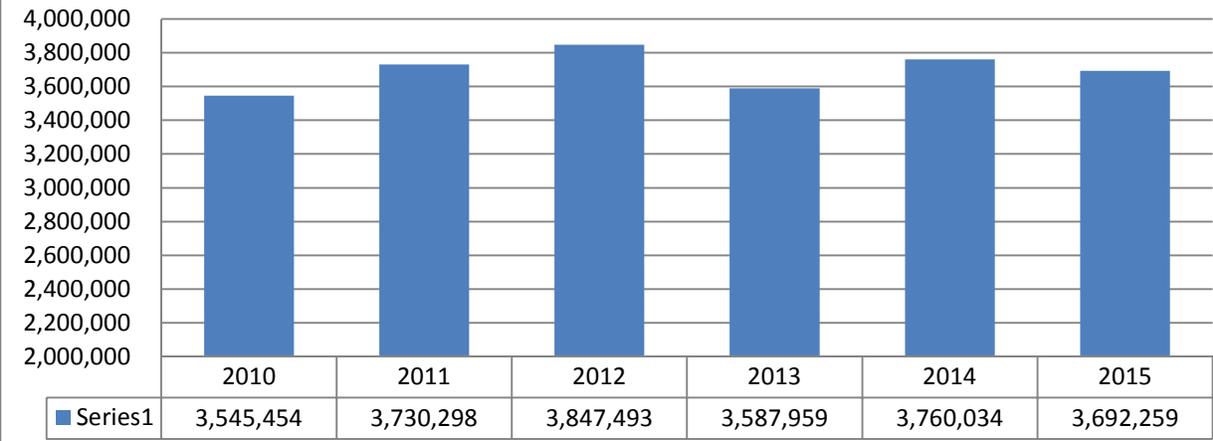
FUND:	ACTUAL Month	2016 PROJECTED Y-T-D	ACTUAL Y-T-D	2015 ACTUAL Y-T-D
<b>58 REFUSE</b>				
REVENUES	524	788	788	823
EXPENDITURES	111	862	772	750
Contribution to Fund Balance	413	(74)	16	
<b>35 DEBT SERVICE</b>				
REVENUES	101	2,229	2,329	2,082
EXPENDITURES	0	989	989	860
Contribution to Fund Balance	101	1,240	1,340	
<b>60 PARKING</b>				
REVENUES	16	145	156	155
EXPENDITURES	20	188	153	149
Contribution to Fund Balance	(4)	(43)	3	
<b>17 ENHANCED 9-1-1</b>				
REVENUES	30	196	177	208
EXPENDITURES	66	267	169	225
Contribution to Fund Balance	(36)	(71)	8	
<b>21 VEH/EQUIP REPLACE</b>				
REVENUES		439	378	409
EXPENDITURES	143	358	324	217
Contribution to Fund Balance	(143)	81	54	



**SALES TAX RECEIPTS - REGULAR 1%  
CALENDAR YEAR BY RECEIPT MONTH**



**SALES TAX RECEIPTS NET OF REBATE- REGULAR 1%  
CALENDAR YEAR RECEIPT MONTH**



**BILLS & PAYROLL  
FOR THE  
SEPTEMBER 6, 2016  
VILLAGE BOARD MEETING**

Vendor	Invoice #	Description	Org	Obj	Total Invoice
1ST AYD CORPORATION	PSI61049	SHOP/CLEANING SUPPLIES	102010	5410	63.24
1ST AYD CORPORATION	PSI61049	SHOP/CLEANING SUPPLIES	502010	5410	63.24
1ST AYD CORPORATION	PSI61049	SHOP/CLEANING SUPPLIES	542010	5410	63.24
1ST AYD CORPORATION	PSI61049	SHOP/CLEANING SUPPLIES	702050	5410	<u>180.08</u>
					369.80
A LAMP CONCRETE CONTRACTORS	15468	TRASH ASSISTANCE - DEERFIELD RD	222082	5910	3,534.00
ACCURATE PAVING INC	553494/56424	97 LARKDALE/DEPOSIT REFUND	910000	2423	200.00
ADVANCED TREECARE	1031-10243i	TREE AND STUMP REMOVAL	102037	5365	4,570.00
ADVANCED TREECARE	1031-10244i	TREE AND STUMP REMOVAL	102037	5365	583.00
ADVANCED TREECARE	1031-10247i	TREE AND STUMP REMOVAL	102037	5365	210.00
ADVANCED TREECARE	1031-10248i	TREE AND STUMP REMOVAL	102037	5365	185.00
ADVANCED TREECARE	1031-10249i	TREE AND STUMP REMOVAL	102037	5365	301.00
ADVANCED TREECARE	1031-10250i	TREE AND STUMP REMOVAL	102037	5914	<u>1,670.00</u>
					7,519.00
AMERICAN FIRST AID SERVICES INC	40627	FIRST AID SUPPLIES	102010	5410	42.94
AMERICAN FIRST AID SERVICES INC	40627	FIRST AID SUPPLIES	102110	5410	42.93
AMERICAN FIRST AID SERVICES INC	40627	FIRST AID SUPPLIES	502010	5410	42.94
AMERICAN FIRST AID SERVICES INC	40627	FIRST AID SUPPLIES	542010	5410	<u>42.94</u>
					171.75
AMERICANEAGLE.COM INC	234259	WEBSITE HOSTING & MAINT - AUG 16	101210	5370	150.00
ANDERS, ROBYN AND DARREN	518141/55328/A	1231 WILMOT/DEPOSIT REFUND	910000	2423	921.00
ANDERS, ROBYN AND DARREN	518141/55328/B	1231 WILMOT/DEPOSIT REFUND	910000	2410	<u>1,500.00</u>
					2,421.00
AQUAFIX INC	19118	LIFT STATION DEGREASER	542052	5422	1,120.00
ARAMARK REFRESHMENT SERVICES	506933	COFFEE - PW/ENG	102010	5450	30.25
ARAMARK REFRESHMENT SERVICES	506933	COFFEE - PW/ENG	102110	5450	30.23
ARAMARK REFRESHMENT SERVICES	506933	COFFEE - PW/ENG	502010	5450	30.25
ARAMARK REFRESHMENT SERVICES	506933	COFFEE - PW/ENG	542010	5450	<u>30.25</u>
					120.98
ASSOCIATED TECHNICAL SERVICES LTD	27763	TRACING SIGNAL LEADS	502050	5421	170.00
AVALON PETROLEUM COMPANY	460065	FUEL - RFG 10% ETHANOL	100000	1510	14,795.50
BARTH, EDMUND	552415	TREE APPLICATION REFUND	100001	4232	75.00
BEACON SSI INCORPORATED	77527	FUEL PUMP REPAIR	106010	5320	692.66
BERLAND'S INC	86650	CHISEL BITS	542051	5410	58.97
BOEKE, SARAH	08202016	FARMERS MARKET ENTERTAINMENT	101210	5387	300.00
BOEKE, SARAH	09242016	FARMERS MARKET ENTERTAINMENT	101210	5387	<u>400.00</u>
					700.00
BOLLINGER LACH & ASSOCIATES INC	18024-03	BRIERHILL RD RECON/PH II/070116-073116	222082	5362	43,391.09
BUTERA, MICHAEL AND ANGIE	07042016	FAMILY DAYS EXP REIMB - BIKE PARADE	101210	5386	210.85
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	101111	5540	152.36
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	101330	5540	77.05
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	102010	5540	112.92
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	102110	5540	112.92
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	106010	5550	302.20
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	502010	5540	278.27
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	542010	5540	38.09
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	542052	5540	184.97
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	602019	5550	38.72
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	702050	5540	35.74
CALL ONE	1119314-081516	HARDLINE TELECOM - AUG 16	930000	2150	<u>1,872.48</u>
					3,205.72
CDW GOVERNMENT INC	DXH3554	EXTERNAL HARD DRIVES - INVESTIGATIONS	910000	2446	236.84
CDW GOVERNMENT INC	FBD5922	MONITORS	101330	5810	294.50
CDW GOVERNMENT INC	FCR2889	MONITOR/EXTERNAL DRIVES	106033	5810	116.96
CDW GOVERNMENT INC	FCR2889	MONITOR/EXTERNAL DRIVES	106034	5810	147.25
CDW GOVERNMENT INC	FCR2974	HEADSETS	101330	5410	<u>57.08</u>
					852.63
CELLEBRITE INC	INVUS173370	UFED 4PC ULTIMATE SOFTWARE RENEWAL	106010	5370	3,300.00
CHENS CONCRETE	552417/56437	675 WICKLOW/DEPOSIT REFUND	910000	2423	200.00
CHERNOFF, ROBERT AND RACHEL	482619/54085/FINAL	700 CARRIAGE WAY/DEPOSIT REFUND	910000	2423	5,000.00
CHICAGO TRIBUNE MEDIA GROUP	CTCM559762	BID NOTICE - JANITORIAL SERVICES	101210	5336	45.60
CHICAGO TRIBUNE MEDIA GROUP	CTCM561191	BID NOTICE - UST REPLACEMENT/WRF	102110	5336	204.87
CHICAGO TRIBUNE MEDIA GROUP	CTCM564238	BID NOTICE - METRA STATION FLOORING	102110	5336	243.27
CHICAGO TRIBUNE MEDIA GROUP	CTCM564239	BID NOTICE - METRA STATION ROOFING	102110	5336	<u>224.07</u>
					717.81
CHRISTOPHER B. BURKE ENGINEERING LTD	130570	ESTATE DR/DEER LK RD RECON/PH I/052916-073016	222082	5362	10,981.39
CHRISTOPHER B. BURKE ENGINEERING LTD	130705	KATES RD WTR TWR PAINTING: 062616-073016	222082	5362	1,849.50
CHRISTOPHER B. BURKE ENGINEERING LTD	130707	DEERFIELD RD RECON/PH III SUPPORT/062616-073016	222082	5362	2,607.30
CHRISTOPHER B. BURKE ENGINEERING LTD	130714	ESTATE DR/DEER LK RD RECON/PH III/062616-073016	222082	5362	<u>32,822.73</u>
					48,260.92

Vendor	Invoice #	Description	Org	Obj	Total Invoice
CINTAS	022349124	MATS - VH	101111	5320	64.45
CINTAS	022352141	MATS - VH	101111	5320	64.45
CINTAS	022352142	MATS - PW/ENG/TRN STN	102010	5320	91.39
CINTAS	022352142	MATS - PW/ENG/TRN STN	102038	5320	91.36
CINTAS	022352142	MATS - PW/ENG/TRN STN	502010	5320	91.39
CINTAS	022352142	MATS - PW/ENG/TRN STN	542010	5320	91.39
CINTAS	022352143	MATS - WRF	542052	5320	89.55
CINTAS	022355132	MATS - VH	101111	5320	64.45
CINTAS	022358134	MATS - VH	101111	5320	64.45
					<u>712.88</u>
COMCAST CABLE	0010692-080516	CABLE TV SERVICE: 08/16/2016 - 09/15/2016	101210	5540	6.35
COMCAST CABLE	0010692-080516	CABLE TV SERVICE: 08/16/2016 - 09/15/2016	106010	5550	6.36
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	101111	5540	446.04
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	101210	5540	446.04
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	101330	5540	446.04
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	102010	5540	111.51
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	102110	5540	111.51
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	106010	5550	446.04
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	502010	5540	111.51
COMCAST CABLE	45057947	FIBER INTERNET SERVICES - AUG 16	542052	5540	111.51
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	101111	5540	76.81
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	101210	5540	76.80
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	101330	5540	76.80
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	102010	5540	15.37
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	102110	5540	38.41
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	106010	5550	76.81
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	502010	5540	11.52
COMCAST CABLE	45085759	VOICE TRUNK SERVICES (PW) - AUG 16	542052	5540	11.52
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	101111	5540	78.41
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	101210	5540	78.41
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	101330	5540	78.41
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	102010	5540	15.68
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	102110	5540	39.21
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	106010	5550	78.41
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	502010	5540	11.77
COMCAST CABLE	45392450	VOICE TRUNK SERVICES (VH) - AUG 16	542052	5540	11.77
					<u>3,019.02</u>
COMED	0210000007-072216	A/C 0210000007 06/23/2016 TO 07/22/2016	542052	5510	30.82
COMED	0263148072-072116	A/C 0263148072 06/21/2016 TO 07/21/2016	502031	5510	109.06
COMED	0297076067-072516	A/C 0297076067 06/27/2016 TO 07/25/2016	542052	5510	88.37
COMED	0441157035-072116	A/C 0441157035 06/21/2016 TO 07/21/2016	102050	5510	34.55
COMED	0507100076-072516	A/C 0507100076 06/24/2016 TO 07/25/2016	542052	5510	110.02
COMED	0603118092-072516	A/C 0603118092 06/22/2016 TO 07/23/2016	542052	5510	30.97
COMED	0744127017-072516	A/C 0744127017 06/23/2016 TO 07/25/2016	542052	5510	37.75
COMED	1093039047-072116	A/C 1093039047 06/21/2016 TO 07/21/2016	602038	5510	18.91
COMED	1695047067-071916	A/C 1695047067 06/17/2016 TO 07/19/2016	102050	5510	2,574.18
COMED	2055118031-072116	A/C 2055118031 06/21/2016 TO 07/21/2016	102050	5510	33.90
COMED	2763162001-072516	A/C 2763162001 06/23/2016 TO 07/25/2016	502031	5510	79.73
					<u>3,148.26</u>
CONTINENTAL WEATHER SERVICE	15445	WEATHER FORECASTING - AUG 16	102010	5365	37.50
CONTINENTAL WEATHER SERVICE	15445	WEATHER FORECASTING - AUG 16	502010	5365	37.50
CONTINENTAL WEATHER SERVICE	15445	WEATHER FORECASTING - AUG 16	542010	5365	37.50
CONTINENTAL WEATHER SERVICE	15445	WEATHER FORECASTING - AUG 16	542052	5365	37.50
					<u>150.00</u>
CRAFTWOOD LUMBER CO.	218728	BOLLARD MAINT MATERIALS	102037	5914	60.76
CRYSTAL MNGMNT & MAINT SERVICES CORP	23887	CLEANING SERVICES - AUG 16	101210	5320	963.20
CRYSTAL MNGMNT & MAINT SERVICES CORP	23887	CLEANING SERVICES - AUG 16	102010	5320	336.00
CRYSTAL MNGMNT & MAINT SERVICES CORP	23887	CLEANING SERVICES - AUG 16	106010	5320	873.60
CRYSTAL MNGMNT & MAINT SERVICES CORP	23887	CLEANING SERVICES - AUG 16	542052	5320	67.20
					<u>2,240.00</u>
CUMMINS NPOWER LLC	711-83676	GENERATOR REPAIR	101111	5322	1,145.54
CUMMINS NPOWER LLC	711-90836	GENERATOR REPAIR	106010	5322	783.32
CUMMINS NPOWER LLC	711-96278	GENERATOR REPAIR	101210	5322	1,000.48
					<u>2,929.34</u>
DARNABY, MAUREEN	551372	TREE APPLICATION REFUND	100001	4232	75.00
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	502010	5335	294.88
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	502010	5337	621.33
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	542010	5335	133.17
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	542010	5337	280.60
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	582030	5337	100.22
DATAPROSE LLC	DP1602049	UTILITY BILLING STMTS & LATE NOTICES: JUL 16	582030	5390	47.56
					<u>1,477.76</u>
DEERFIELD LIONS CLUB	916	DUES: KEANE	106034	5330	269.30
DEERFIELD PARK DISTRICT	07042016	FAMILY DAYS - PARK DISTRICT LABOR	101210	5386	2,196.40
DEMUTH INC	HP3330	DIRECTIONAL BORE/1" COPPER LINE/METER PIT TO MAIN	502050	5365	1,900.00
DEMUTH INC	HP3347	DRAINAGE IMPROVEMENTS - VILLAGE GREEN	222082	5990	16,950.00
					<u>18,850.00</u>

Vendor	Invoice #	Description	Org	Obj	Total Invoice
DIXON ENGINEERING, INC	16-0803	VERIZON ANTENNA INSPECTION MEETING	101210	5365	950.00
DOHERTY, JOHN AND NANCY	516211/55069	1124 GORDON TERR/DEPOSIT REFUND	910000	2423	5,000.00
DOOR SYSTEMS, INC	826866	ENTRANCE GATE REPAIR	102010	5320	98.34
DOOR SYSTEMS, INC	826866	ENTRANCE GATE REPAIR	502010	5320	98.32
DOOR SYSTEMS, INC	826866	ENTRANCE GATE REPAIR	542010	5320	98.34
					295.00
DRH CAMBRIDGE HOMES INC	448785/52920	1111 DAVIS/DEPOSIT REFUND	910000	2423	1,500.00
EMPLOYMENT SCREENING ALLIANCE	12751	PREEMPLOYMENT CREDIT CHECK	106010	5387	18.50
ETHERINGTON, PATRICK	550494	TREE APPLICATION REFUND - FOUNTAINS OF DEERFIELD	100001	4232	75.00
FAMILY SERVICE OF LAKE COUNTY	08092016-JUL16	EAP - JUL 16	101111	5365	200.00
FEDEX OFFICE PRINT & SHIP SERVICES	5-508-50167	MAILING SUPPLIES	101330	5337	3.11
FEINBERG, BRETT OR MERRYL	552674	TREE APPLICATION REFUND	100001	4232	75.00
FISHMAN, ADAM AND BAEZ, ANNETTE	549801/56337	901 CASTLEWOOD/DEPOSIT REFUND	910000	2423	500.00
FOOT STONE INC	08202016/RO	PLAZA PLEASURES PERFORMANCE RAIN OUT	101210	5387	250.00
FRANKEL, JOEL	08272016/RAIN	PLAZA PLEASURES - PERFORMANCE RAINED OUT	101210	5387	350.00
FRENCH, DAVID OR LAURA	550063	TREE APPLICATION REFUND	100001	4232	75.00
G & O THERMAL SUPPLY	007559	HVAC ACTUATOR - WRF	542052	5470	330.00
GALLS LLC	005461103	APPAREL: KUHLLERS/MELVIN	106034	5130	(101.20)
GALLS LLC	005637028	APPAREL: VARIOUS	106034	5130	(193.84)
GALLS LLC	005807417	APPAREL: KASS	106034	5130	28.83
GALLS LLC	005809253	APPAREL: CROSSING GUARDS	106034	5130	298.56
					32.35
GB SPRINKLER SYSTEMS INC	50921	SPRINKLER - START UP/SHUT DOWN	102037	5914	202.00
GB SPRINKLER SYSTEMS INC	51009	SPRINKLER REPAIR	102037	5914	303.00
					505.00
GHA TECHNOLOGIES INC	9876902	PRINTER TONER	101330	5460	73.72
GHA TECHNOLOGIES INC	9877553	PLOTTER INK	102110	5375	129.02
					202.74
GOODE, MATT	430473/52010	1550 CRABTREE/DEPOSIT REFUND	910000	2423	5,000.00
GORDON, DAVID OR KIRSTEN	551743	TREE APPLICATION REFUND	100001	4232	75.00
GRAINGER INC	9187113544	SUPPLIES - WRF	542052	5470	149.87
GRAND PRIX CAR WASH	073116	SQUAD CAR WASHES: JUL 16	106034	5326	70.95
GRAND PRIX CAR WASH	073116/CD	CAR WASH - JUL 16/CD	101330	5322	5.00
					75.95
GUTMAN, INNA	08152016	REFUND PASSPORT PARKING FEES	600001	4440	18.00
HACH COMPANY	10053303	ORP SENSOR - WRF	542052	5322	1,113.39
HACH, JOHN OR MAGGIE	552206	TREE APPLICATION REFUND	100001	4232	75.00
HARLAND, RANDALL AND DANA	551483/56332	1520 LAUREL/DEPOSIT REFUND	910000	2423	500.00
HAVEY COMMUNICATIONS, INC	6687	VEHICLE MAINTENANCE	106034	5326	139.00
HD SUPPLY WATERWORKS	F926161	VALVE FITTINGS - DEERFIELD RD	502050	5421	1,170.00
HD SUPPLY WATERWORKS	F981841	8" VALVE	502050	5421	945.00
					2,115.00
HERSH, JEFFERY	550064	TREE APPLICATION REFUND	100001	4232	75.00
HIGHLAND PARK FORD	107044	SQUAD CAR PARTS	702050	5470	596.61
HIGHLAND PARK FORD	107118	LIGHT BAR - SQUAD #6	702050	5470	266.15
HIGHLAND PARK FORD	107225	LATCH - SQUAD #5	702050	5470	105.58
HIGHLAND PARK FORD	17936	2016 FORD F-150 POLICE VEHICLE	211150	5860	28,703.00
					29,671.34
HOME DEPOT CREDIT SERVICES	0160082	PAINTING SUPPLIES - TRAILER	702050	5470	75.08
HOME DEPOT CREDIT SERVICES	2565890	MAINTENANCE SUPPLIES - WRF	542052	5470	34.31
HOME DEPOT CREDIT SERVICES	3025429	SUPPLIES	542051	5421	107.85
HOME DEPOT CREDIT SERVICES	6165196	CREDIT MEMO - SALES TAX CREDIT REFUND	542052	5470	(6.65)
HOME DEPOT CREDIT SERVICES	7012730	SUPPLIES - WRF	542052	5470	73.15
HOME DEPOT CREDIT SERVICES	9024872	SHRINK TUBING FOR STREET LIGHT WIRES	102050	5410	15.84
					299.58
HR SIMPLIFIED INC	47784	COBRA NOTIFICATION - JUL 16/COBRA MIN FEE - AUG 16	101111	5365	100.00
ILLINOIS SECRETARY OF STATE	1813432-2017	PLATE RENEWAL: U-6	106010	5410	101.00
ILLINOIS SECRETARY OF STATE	1813434-2017	PLATE RENEWAL: U-5	106010	5410	101.00
ILLINOIS SECRETARY OF STATE	FLT#308/2016	FLEET #308/REPLACEMENT PLATES	502010	5326	8.00
ILLINOIS SECRETARY OF STATE	FLT#310/2016	FLEET #310/REPLACEMENT PLATES	102110	5326	8.00
ILLINOIS SECRETARY OF STATE	FLT#312/2016	FLEET #312/REPLACEMENT PLATES	542052	5326	8.00
ILLINOIS SECRETARY OF STATE	POL#10/2016	POLICE #10/F-150 TITLE & TRANSFER OF PLATES	106010	5410	120.00
					346.00
ILLINOIS TACTICAL OFFICERS ASSOCIATION	4002	CONFERENCE: CACHOLA	106034	5212	295.00
ILLINOIS TRUCK CENTRE INC	T105842	BRAKE PARTS - #803	702050	5470	961.20
INDIA, DONALD AND REGINA	468494/53197/FINAL	607 WOODVALE/DEPOSIT REFUND	910000	2423	5,000.00
INTERNATIONAL CODE COUNCIL INC	3103705	MEMBERSHIP - HANSEN	101330	5330	55.00
ITALIAN KITCHEN	206225	CROSSING GUARD LUNCHEON	106010	5460	275.51

Vendor	Invoice #	Description	Org	Obj	Total Invoice
JG UNIFORMS, INC	42926	APPAREL: KASS	106034	5130	155.00
JG UNIFORMS, INC	4444	APPAREL: HORSTEIN	106034	5130	356.07
JG UNIFORMS, INC	4445	APPAREL: HURY	106034	5130	181.50
JG UNIFORMS, INC	4446	APPAREL: HILL	106020	5130	62.95
JG UNIFORMS, INC	4447	APPAREL: LORENZ	106034	5130	128.00
JG UNIFORMS, INC	4448	APPAREL: CACHOLA	106034	5130	66.50
JG UNIFORMS, INC	4705	APPAREL: CACHOLA	106034	5130	167.72
JG UNIFORMS, INC	5197	APPAREL: KASS	106034	5130	154.05
JG UNIFORMS, INC	5198	PROMOTIONAL BADGES	106034	5130	165.00
JG UNIFORMS, INC	5499	PATCHES	106010	5130	142.50
JG UNIFORMS, INC	5603	APPAREL: HALL	106034	5130	144.69
JG UNIFORMS, INC	5604	APPAREL: MELVIN	106010	5130	93.90
JG UNIFORMS, INC	5605	APPAREL: MELVIN	106010	5130	138.50
					<u>1,956.38</u>
KANAREK, DAVID	553550	TREE APPLICATION REFUND	100001	4232	75.00
KANEFSKY, STEVE	32-0210/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	42.91
KARSTROM, JOHN	173	BOARD MEETING TV PRODUCTION - 08/01/2016	101210	5364	115.00
KROL, TOM AND DENISE	549853/56186	645 DIMMEYDALE/DEPOSIT REFUND	910000	2423	500.00
KRUMMENACHER, JAKOB	474961/53915	1057 SHERIDAN/DEPOSIT REFUND	910000	2410	1,500.00
KRUMMENACHER, JAKOB	477117/53914/FINAL	1057 SHERIDAN/DEPOSIT REFUND	910000	2423	5,000.00
					<u>6,500.00</u>
LAKE COUNTY TRUCK SALES	10937	DOOR PANEL - #807	702050	5470	360.31
LAKE COUNTY TRUCK SALES	50131	DIAGNOSTIC TEST - #803	702050	5470	80.00
					<u>440.31</u>
LAWSON PRODUCTS INC	9304273828	HARDWARE/DEGREASER	502050	5421	413.67
LEE, EUNIE	08152016	REFUND PASSPORT PARKING FEES	600001	4440	6.00
LIBERTY TIRE RECYCLING	953701	TIRE RECYCLING	702050	5470	318.92
LISINSKI, MARK S.	09-0440/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	70.32
M & A PARTS INC	081116	OPERATING SUPPLIES	106034	5460	120.00
M & N SUPPLY	2943	RUBBER GLOVES	502050	5421	74.87
MALCOLM, KIRK OR RAE	550704	TREE APPLICATION REFUND	100001	4232	75.00
MARCUS, KENNETH	550147	TREE APPLICATION REFUND	100001	4232	75.00
MAS INVESTMENT GROUP LLC	495312/54458	1035 KNOLLWOOD/DEPOSIT REFUND	910000	2423	5,500.00
MCESSY INVESTMENT COMPANY	080216	PRISONER MEALS: JUL 16	106010	5460	69.49
MCHENRY ANALYTICAL WATER LABORATORY, INC	591282	INDEPENDENT LAB TESTING - WRF	542052	5365	175.80
MCHENRY ANALYTICAL WATER LABORATORY, INC	591346	INDEPENDENT LAB TESTING - WRF	542052	5365	45.00
MCHENRY ANALYTICAL WATER LABORATORY, INC	591457	INDEPENDENT LAB TESTING - WRF	542052	5365	90.80
MCHENRY ANALYTICAL WATER LABORATORY, INC	591525	INDEPENDENT LAB TESTING - WRF	542052	5365	307.20
					<u>618.80</u>
MENACKER, NADINE	JUL16	HOME GREETER - JUL 16	101210	5387	200.00
MENONI & MOCOgni, INC.	1190022	WASHED GRAVEL PICK UP - SCOPELLITI	102050	5365	85.68
MENONI & MOCOgni, INC.	1193321	BLACK DIRT PICK UP - 1755 PORTAGE PASS	502050	5421	138.72
MENONI & MOCOgni, INC.	1193353	BLACK DIRT PICK UP - 1755 PORTAGE PASS	502050	5421	141.78
MENONI & MOCOgni, INC.	1193387	BLACK DIRT PICK UP - 1755 PORTAGE PASS	502050	5421	134.64
MENONI & MOCOgni, INC.	1196586	BLACK DIRT/GRASS SEED	102050	5421	161.86
MENONI & MOCOgni, INC.	1196668	PEAT MOSS FOR STUMP HOLES	102037	5421	75.00
MENONI & MOCOgni, INC.	1196679	BLACK DIRT	102050	5421	41.06
MENONI & MOCOgni, INC.	1197238	BLACK DIRT/SUPPLIES	102050	5421	734.95
MENONI & MOCOgni, INC.	1197341	BLACK DIRT	102050	5421	532.50
MENONI & MOCOgni, INC.	1197530	BLACK DIRT	502050	5421	117.56
MENONI & MOCOgni, INC.	1197606	DIRT/GRASS SEED	102037	5421	418.67
MENONI & MOCOgni, INC.	1197988	SEED BLANKET	102050	5421	89.90
MENONI & MOCOgni, INC.	1198641	WEED KILLER	102050	5421	27.00
MENONI & MOCOgni, INC.	1198976	FLAGGING TAPE	102050	5421	1.75
MENONI & MOCOgni, INC.	1199054	BRICK ADHESIVE	102050	5421	36.25
MENONI & MOCOgni, INC.	1199505	SUPPLIES	542051	5421	103.10
MENONI & MOCOgni, INC.	23929	DIAMOND WALL CAPS - 465 ELM	102037	5914	407.00
MENONI & MOCOgni, INC.	88624699	CONCRETE - 1210 MONTGOMERY	102050	5421	750.00
MENONI & MOCOgni, INC.	886814852	CONCRETE - 1210 MONTGOMERY	102050	5421	980.00
MENONI & MOCOgni, INC.	886814853	CONCRETE - 1740 CAROL	102050	5421	980.00
MENONI & MOCOgni, INC.	886819983	CONCRETE - 1210 MONTGOMERY	102050	5421	1,120.00
					<u>7,077.42</u>
MERIDIAN IT INC	MITUS-2016-0030495	VOICE GATEWAY ROUTER REPLACEMENT	211150	5810	1,017.50
METLIFE	AUG16	DENT/AUG16/KM057128160001	100000	1613	(2,033.55)
METLIFE	AUG16	DENT/AUG16/KM057128160001	100000	2437	1,680.02
METLIFE	AUG16	DENT/AUG16/KM057128160001	100000	2438	1,089.96
METLIFE	AUG16	DENT/AUG16/KM057128160001	100000	2439	3,995.66
METLIFE	AUG16	DENT/AUG16/KM057128160001	730000	2061	10,058.16
					<u>14,790.25</u>
MGN LOCK - KEY & SAFES, INC.	56050	TRAIN STATION ELECTRONIC LOCK	102038	5320	1,571.00
MIDWEST POWER VAC, INC	216640	WARWICK WET WELL GRIT REMOVAL	542052	5365	2,337.50

Vendor	Invoice #	Description	Org	Obj	Total Invoice
MIDWEST TIME RECORDER INC	148653	TIME & ATTENDANCE SERVICE - APR 16	102010	5370	43.53
MIDWEST TIME RECORDER INC	148653	TIME & ATTENDANCE SERVICE - APR 16	502010	5370	43.53
MIDWEST TIME RECORDER INC	148653	TIME & ATTENDANCE SERVICE - APR 16	542010	5370	43.52
MIDWEST TIME RECORDER INC	148653	TIME & ATTENDANCE SERVICE - APR 16	542052	5370	43.52
MIDWEST TIME RECORDER INC	149774	TIME & ATTENDANCE MAINT: OCT 16 - SEP 17	102010	5370	112.50
MIDWEST TIME RECORDER INC	149774	TIME & ATTENDANCE MAINT: OCT 16 - SEP 17	502010	5370	112.50
MIDWEST TIME RECORDER INC	149774	TIME & ATTENDANCE MAINT: OCT 16 - SEP 17	542010	5370	112.50
MIDWEST TIME RECORDER INC	149774	TIME & ATTENDANCE MAINT: OCT 16 - SEP 17	542052	5370	<u>112.50</u>
					624.10
MILSTEIN, MARK	551409	TREE APPLICATION REFUND	100001	4232	75.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33180	FRONT GARDEN RESTORATION - VH	102037	5914	640.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33181	PARKWAY RESTORATION	102050	5365	260.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33182	PARKWAY TREE WRAPPING	102037	5914	640.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33184	ALLEY CLEAN UP - GREENWOOD AVE	102050	5365	200.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33185	TRIMMING ON CRABTREE LANE	102050	5365	120.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33186	TRIMMING AND SPRAYING ON WAUKEGAN RD	102050	5365	800.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33187	TRIMMING AND SPRAYING ON HEATHER RD	102050	5365	200.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33188	REBUILD RETAINING WALL	102050	5365	<u>1,780.00</u>
					4,640.00
MUTUAL SERVICES OF HIGHLAND PARK	529472	RIVET TOOL	542052	5440	30.58
MUTUAL SERVICES OF HIGHLAND PARK	529648	FASTENERS	702050	5470	9.36
MUTUAL SERVICES OF HIGHLAND PARK	530011	MATERIALS - RESERVOIR/WRF	542052	5470	<u>32.46</u>
					72.40
NAPA AUTO PARTS - WHEELING	403021	STOCK PARTS	702050	5470	9.57
NAPA AUTO PARTS - WHEELING	403696	STOCK - SPARK PLUGS	702050	5470	<u>7.59</u>
					17.16
NASW, INC.	884164443-2017	DUES: ZACHAR	106033	5330	225.00
NATIONAL WRECKING COMPANY	550928/1455325	WATER METER DEPOSIT REFUND LESS USAGE	500001	4452	(100.00)
NATIONAL WRECKING COMPANY	550928/1455325	WATER METER DEPOSIT REFUND LESS USAGE	910000	2425	<u>850.00</u>
					750.00
NORTH CENTRAL LABORATORIES	376380	COLORIMETERS (2) - WRF	542052	5460	795.76
NORTH CENTRAL LABORATORIES	376424	LAB CONSUMABLES - WRF	542052	5460	771.76
NORTH CENTRAL LABORATORIES	376604	LAB SUPPLIES - WRF	542052	5460	<u>40.70</u>
					1,608.22
NORTH SHORE GAS	3500001963721-071916	A/C 3500001963721 06/15/16 TO 07/15/16 W/ REVISION	542052	5520	1,113.39
NORTH SHORE GAS	35000025944094-072116	A/C 35000025944094 06/17/2016 TO 07/19/2016	502031	5520	<u>266.61</u>
					1,380.00
OAKLEAF TREEWORX INC	550172	TREE APPLICATION REFUND - 1339 SPRUCEWOOD LN	100001	4232	75.00
OAKLEAF TREEWORX INC	551698	TREE APPLICATION REFUND - 717 WILMOT RD	100001	4232	75.00
OAKLEAF TREEWORX INC	552424	TREE APPLICATION REFUND - 1222 WOODRUFF	100001	4232	<u>75.00</u>
					225.00
OFFICE DEPOT	851366658001	OFFICE SUPPLIES	101111	5450	17.97
OFFICE DEPOT	853771354001	OFFICE SUPPLIES	101111	5450	11.29
OFFICE DEPOT	853771555001	OFFICE SUPPLIES	101111	5450	39.33
OFFICE DEPOT	857667760001	OFFICE SUPPLIES	101111	5450	<u>64.67</u>
					133.26
O'LEARY'S CONTRACTORS EQUIPMENT & SUPPLY	183995	PUMP FOR WATER TANK	102037	5322	525.00
O'LEARY'S CONTRACTORS EQUIPMENT & SUPPLY	184856	3" SUCTION HOSE	502050	5421	270.00
O'LEARY'S CONTRACTORS EQUIPMENT & SUPPLY	184979	WOOD DECKING MATERIALS - TRAILER T-3	702050	5470	721.02
O'LEARY'S CONTRACTORS EQUIPMENT & SUPPLY	185696	BACKPACK BLOWER - TREE CLEAN UP	102037	5810	<u>480.00</u>
					1,996.02
ON THE MARK WATER SERVICES INC	1263	WATER VALVE STAGING AND REPAIR	502050	5365	5,235.00
PARSON, KIM OR MCKENNA, MIKE	551842	TREE APPLICATION REFUND	100001	4232	75.00
PASSPORT PARKING INC	3816	MOBILE PAY SERVICES - JUL 16	602019	5390	482.25
PASSPORT PARKING INC	3816	MOBILE PAY SERVICES - JUL 16	602038	5390	<u>482.25</u>
					964.50
PATTEN POWER SYSTEMS INC	PM600257004	EAST SIDE L/S GENERATOR EXHAUST REPAIR	542052	5322	2,056.46
PERMA-LIFE	1635	FLOWER BOX	102037	5914	1,980.00
PERMA-LIFE	1636	DOOR REPAIRS - TRN STN	102038	5321	<u>685.00</u>
					2,665.00
PETER BAKER & SON CO.	12621	ASPHALT	502050	5421	399.33

Vendor	Invoice #	Description	Org	Obj	Total Invoice
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101111	5213	7.50
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101210	5332	24.95
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101210	5337	22.56
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101210	5387	62.89
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101330	5211	12.50
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101330	5212	26.46
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	101330	5410	36.00
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	106034	5326	20.00
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	502010	5337	11.94
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	502050	5410	22.86
PETTY CASH - ADMIN	08292016	RECONCILE & REPLENISH PETTY CASH	542052	5410	<u>28.18</u>
					275.84
PRECISION SERVICE & PARTS INC	30IV103664	PLUGS & WIRES - #700	702050	5470	122.90
PUGSLEY & LAHAIE LANDSCAPING LLC	689	TREE PLANTINGS	102037	5365	10,488.00
QIU, LI	539616/55843	1670 CLAVINIA/DEPOSIT REFUND	910000	2423	500.00
QUILL CORPORATION	7825712	OFFICE SUPPLIES	102010	5450	16.87
QUILL CORPORATION	7825712	OFFICE SUPPLIES	502010	5450	148.81
QUILL CORPORATION	7825712	OFFICE SUPPLIES	542010	5450	16.87
QUILL CORPORATION	7863229	OFFICE SUPPLIES	102110	5450	67.98
QUILL CORPORATION	7863229	OFFICE SUPPLIES	542052	5450	46.33
QUILL CORPORATION	7873322	OFFICE SUPPLIES	102010	5450	4.98
QUILL CORPORATION	7873322	OFFICE SUPPLIES	502010	5450	5.01
QUILL CORPORATION	7873322	OFFICE SUPPLIES	542010	5450	4.98
QUILL CORPORATION	8066271	OFFICE SUPPLIES	102110	5450	45.96
QUILL CORPORATION	8066271	OFFICE SUPPLIES	542052	5450	<u>13.99</u>
					371.78
RADICOM	102451	HEADSET BATTERIES	106020	5810	500.00
RAY O'HERRON CO INC	1646752-IN	SIMMUNITIONS EQUIPMENT	106034	5460	219.50
RFS GRAPHICS INC	66365	"NO PARKING BY POLICE ORDER" SIGNS (2,000)	102050	5421	1,638.61
RJN GROUP INC	01-A	I/ REDUCTION PROGRAM THRU 07/29/2016	222082	5362	2,315.00
RONDOUT SERVICE CENTER LLC	8778	SAFETY LANE - #709	702050	5470	23.50
RONDOUT SERVICE CENTER LLC	8780	SAFETY LANE - #806	702050	5470	23.50
RONDOUT SERVICE CENTER LLC	8781	SAFETY LANE - #604	702050	5470	<u>23.50</u>
					70.50
ROSENTHAL, MURPHEY, COBLENTZ & DONAHUE	142M08152016	VILLAGE ATTORNEY SERVICES - JUL 16	101210	5360	11,073.38
ROSSINI, JILL	52-0255/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	36.94
ROTARY CLUB OF DEERFIELD	973	QRTLY DUES - STREET	101210	5330	219.00
ROTHSTEIN, JEFFREY AND BARBARA	479561/53885	407 BRIERHILL/DEPOSIT REFUND	910000	2423	840.00
RUBINO ENGINEERING INC	2751	2016 STREET REHAB/PAVEMENT CORE TESTING	102110	5362	8,100.00
RUBINO ENGINEERING INC	2894	2016 STREET REHAB/PAVEMENT CORE TESTING	102110	5362	600.00
RUBINO ENGINEERING INC	2982	2016 STREET REHAB/PAVEMENT CORE TESTING	102110	5362	<u>1,000.00</u>
					9,700.00
RUSH TRUCK CENTERS OF ILLINOIS INC	3003470962	REPAIR PARTS - #806	702050	5470	198.99
RUSSO POWER EQUIPMENT INC	3352620	PUMP PARTS - WATER TRUCK	702050	5470	103.55
SAMANTHA'S WAY INC	554003/TMR	1575 SAMANTHA'S WAY/TREE MITIGATION REFUND	100001	4220	450.00
SAMPSON, VAL F.	16139	ADDITIONAL FAMILY DAYS BROCHURES	101210	5386	130.00
SCIARRETTA ENTERPRISES, INC	16-185256	PED UNDERPASS/VIADUCT TUNNEL PAINTING	602038	5322	2,463.69
SCIARRETTA ENTERPRISES, INC	16-185302	STREET SWEEPING DEBRIS HAUL OUT	102050	5365	1,740.90
SCIARRETTA ENTERPRISES, INC	16-185303	STREET SWEEPING DEBRIS HAUL OUT	102050	5365	1,032.40
SCIARRETTA ENTERPRISES, INC	16-185342	MOWING & DEBRIS REMOVAL	102050	5365	1,755.00
SCIARRETTA ENTERPRISES, INC	16-185343	MOWING & DEBRIS REMOVAL	102050	5365	2,500.00
SCIARRETTA ENTERPRISES, INC	16-185346	TRAIN STATION CLEAN UP	102038	5321	450.00
SCIARRETTA ENTERPRISES, INC	16-185347	GRAFFITI REMOVAL	102050	5365	525.00
SCIARRETTA ENTERPRISES, INC	16-185353	STREET SWEEPING DEBRIS HAUL OUT	102050	5365	1,835.70
SCIARRETTA ENTERPRISES, INC	16-185354	STREET SWEEPING DEBRIS HAUL OUT	102050	5365	2,097.85
SCIARRETTA ENTERPRISES, INC	16-185357	CLEAN UP - MULTIPLE BRIDGE AREAS	102050	5365	1,250.00
SCIARRETTA ENTERPRISES, INC	16-185363	TREE REMOVAL/TREE PLANTING - WRF	102037	5365	780.00
SCIARRETTA ENTERPRISES, INC	16-185364	RAIN EVENT CLEAN UP - BRIERHILL RD	102050	5365	769.70
SCIARRETTA ENTERPRISES, INC	16-185365	RAIN EVENT CLEAN UP - TENNAQUA RD	102050	5365	558.00
SCIARRETTA ENTERPRISES, INC	16-185380	STUMP AND CHIP REMOVAL	102037	5365	2,125.00
SCIARRETTA ENTERPRISES, INC	16-185381	STUMP AND CHIP HAUL/DUMP	102037	5365	1,700.00
SCIARRETTA ENTERPRISES, INC	16-185407	LAKE COOK RD CLEAN UP	102050	5365	900.00
SCIARRETTA ENTERPRISES, INC	16-185415	STREET SWEEPING DEBRIS HAUL OUT	102050	5365	<u>1,032.40</u>
					23,515.64
SEIDLER, DAVE AND ASHLEY	549518/56113	1320 MEADOW/DEPOSIT REFUND	910000	2423	500.00
SHERIDAN AUTO PARTS & MACHINE	910650	BATTERIES - WRF	542052	5322	2,000.10
SHERIDAN AUTO PARTS & MACHINE	912742	GENERATOR BATTERIES	542052	5322	261.20
SHERIDAN AUTO PARTS & MACHINE	912744	GENERATOR BATTERY	542052	5322	239.67
SHERIDAN AUTO PARTS & MACHINE	912746	MATERIALS - RESERVOIR/WRF	542052	5470	8.69
SHERIDAN AUTO PARTS & MACHINE	912747	CREDIT MEMO - BATTERY CORE RETURNS	542052	5322	(540.00)
SHERIDAN AUTO PARTS & MACHINE	913024	CREDIT MEMO - BATTERY CORE RETURNS	542052	5322	<u>(126.00)</u>
					1,843.66
SHORELINE PLUMBING INC	553446/56555	1401 DEERFIELD/DEPOSIT REFUND	910000	2423	500.00
SLOZIS, JOHN J	080816	TRAVEL EXPENSE REIMB	106010	5211	202.73
SLUZYSKI, MONIQUE AND JOHN	08192016	REIMB DAMAGES - WTR MAIN REPAIR INCIDENT	542031	5421	2,660.93
SMITH, PATRICK OR EIRENE SHIPKOWITZ	550854	TREE APPLICATION REFUND	100001	4232	75.00
STATE TREASURER	50436	TRAFFIC SIGNAL MAINTENANCE: APR 16 - JUN 16	102050	5611	4,680.00
STOCCO PAINTING & DECOR	8516	PAINT PARKING FEE COLLECTION BOXES	102038	5321	790.00



Vendor	Invoice #	Description	Org	Obj	Total Invoice
<b>Pre-Paid Checks</b>					
CLERK OF THE CIRCUIT COURT	554436	BOND MONEY TRANSFER	910000	2441	375.00
<b>Total Pre-Paid Checks</b>					<b>\$ 375.00</b>
<b>Pre-Paid Wire Transactions</b>					
AUTHORIZE.NET	PSPRTAUTHNET/JUL16	PASSPORT AUTHNET FEES - JUL 16	602019	5390	14.55
AUTHORIZE.NET	PSPRTAUTHNET/JUL16	PASSPORT AUTHNET FEES - JUL 16	602038	5390	14.55
					29.10
BRIGHT START	PR08052016	BS 08/05/2016 PR	730000	2051	883.38
BRIGHT START	PR08192016	BS 08/19/2016 PR	730000	2051	883.38
					1,766.76
DEERFIELD BANK & TRUST	BAF1010AUG16	BANK ANALYSIS FEE/1010/AUG 16	730000	2801	702.14
DEERFIELD BANK & TRUST	BAF1190AUG16	BANK ANALYSIS FEE/1190/AUG 16	730000	2801	18.48
					720.62
DEERFIELD POLICE PENSION	POLPEN08052016	POLPEN CONTRIBS 08/05/2016 PR	730000	2066	14,848.33
DEERFIELD POLICE PENSION	POLPEN08192016	POLPEN CONTRIBS 08/19/2016 PR	730000	2066	14,619.56
					29,467.89
FEDERAL TAXES	PR08052016	FICA/MC/FIT 08/05/2016 PR	730000	2011	53,968.02
FEDERAL TAXES	PR08052016	FICA/MC/FIT 08/05/2016 PR	730000	2031	30,194.72
FEDERAL TAXES	PR08052016	FICA/MC/FIT 08/05/2016 PR	730000	2032	7,321.60
FEDERAL TAXES	PR08052016	FICA/MC/FIT 08/05/2016 PR	730000	2033	4,264.42
FEDERAL TAXES	PR08192016	FICA/MC/FIT 08/19/2016 PR	730000	2011	51,490.80
FEDERAL TAXES	PR08192016	FICA/MC/FIT 08/19/2016 PR	730000	2031	27,964.14
FEDERAL TAXES	PR08192016	FICA/MC/FIT 08/19/2016 PR	730000	2032	6,799.98
FEDERAL TAXES	PR08192016	FICA/MC/FIT 08/19/2016 PR	730000	2033	4,319.94
					186,323.62
ICMA	ICMAREG08052016	ICMA REG 08/05/2016 PR	730000	2042	17,978.78
ICMA	ICMAREG08192016	ICMA REG 08/19/2016 PR	730000	2042	17,845.58
ICMA	ICMARHS08052016	ICMA RHS 08/05/2016 PR	730000	2016	49,548.92
ICMA	ICMAROTH08052016	ICMA ROTH 08/05/2016 PR	730000	2042	6,877.68
ICMA	ICMAROTH08192016	ICMA ROTH 08/19/2016 PR	730000	2042	6,646.92
					98,897.88
ILLINOIS DEPT OF REVENUE	PR08052016	SIT 08/05/2016 PR	730000	2051	13,084.89
ILLINOIS DEPT OF REVENUE	PR08192016	SIT 08/19/2016 PR	730000	2051	12,528.66
					25,613.55
IMRF	IMRFJUL16	IMRF JUL 2016	101111	5140	0.01
IMRF	IMRFJUL16	IMRF JUL 2016	730000	2030	90,286.89
IMRF	IMRFJUL16	IMRF JUL 2016	730000	2092	23,704.29
					113,991.19
NORTHBROOK BANK & TRUST	PSPRTCC/JUL16	PASSPORT CC FEES - JUL 16	602019	5390	136.34
NORTHBROOK BANK & TRUST	PSPRTCC/JUL16	PASSPORT CC FEES - JUL 16	602038	5390	136.33
					272.67
<b>Total Pre-Paid Wire Transactions</b>					<b>\$ 457,083.28</b>
<b>Grand Total</b>					<b>\$ 1,262,618.88</b>

**Village of Deerfield Payroll Summary Report  
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**FUND 10 GENERAL FUND**

**FINANCE DEPARTMENT**

101111	5110	REGULAR SALARIES	\$ 51,682.37
101111	5111	PART TIME SALARIES	393.75
101111	5112	OVERTIME SALARIES	-

**ADMINISTRATION**

101210	5110	REGULAR SALARIES	46,562.22
101210	5111	PART TIME SALARIES	3,177.65
101210	5112	OVERTIME SALARIES	-

**COMMUNITY DEVELOPMENT**

101330	5110	REGULAR SALARIES	56,129.78
101330	5111	PART TIME SALARIES	-
101330	5112	OVERTIME SALARIES	357.04

**STREET ADMINISTRATION**

102010	5110	REGULAR SALARIES	20,618.98
102010	5111	PART TIME SALARIES	-
102010	5112	OVERTIME SALARIES	57.85

**STREET SNOW & ICE REMOVAL**

102036	5110	REGULAR SALARIES	-
102036	5111	PART TIME SALARIES	-
102036	5112	OVERTIME SALARIES	-

**STREET FORESTRY**

102037	5110	REGULAR SALARIES	-
102037	5111	PART TIME SALARIES	-
102037	5112	OVERTIME SALARIES	53.96

**STREET TRAIN STATION MAINT**

102038	5110	REGULAR SALARIES	582.06
102038	5111	PART TIME SALARIES	-
102038	5112	OVERTIME SALARIES	-

**STREET MAINTENANCE**

102050	5110	REGULAR SALARIES	41,736.60
102050	5111	PART TIME SALARIES	2,995.13
102050	5112	OVERTIME SALARIES	3,926.22

**ENGINEERING DIVISION**

102110	5110	REGULAR SALARIES	19,786.90
102110	5111	PART TIME SALARIES	3,306.00
102110	5112	OVERTIME SALARIES	\$ 1,220.23

**Village of Deerfield Payroll Summary Report  
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**POLICE DEPT ADMINISTRATION**

106010	5110	REGULAR SALARIES	\$ 36,670.39
106010	5111	PART TIME SALARIES	-
106010	5112	OVERTIME SALARIES	-

**POLICE DEPT COMMUNICATIONS**

106020	5110	REGULAR SALARIES	49,456.71
106020	5111	PART TIME SALARIES	1,376.65
106020	5112	OVERTIME SALARIES	619.05

**POLICE DEPT INVESTIGATIONS**

106033	5110	REGULAR SALARIES	51,869.63
106033	5112	OVERTIME SALARIES	4,319.98

**POLICE DEPT PATROL**

106034	5110	REGULAR SALARIES	294,009.89
106034	5111	PART TIME SALARIES	770.02
106034	5112	OVERTIME SALARIES	8,613.15

**POLICE DEPT SPEC DETAIL (REIMBURSED)**

106061	5112	OVERTIME SALARIES	17,883.28
		TOTAL FUND 10	<u>\$ 718,175.49</u>

FUND 50 WATER FUND

**WATER DEPARTMENT ADMINISTRATION**

502010	5110	REGULAR SALARIES	\$ 18,184.68
502010	5111	PART TIME SALARIES	(2,703.75)
502010	5112	OVERTIME SALARIES	(3,332.19)

**WATER DEPT DISTRIBUTION**

502031	5110	REGULAR SALARIES	6,179.34
502031	5112	OVERTIME SALARIES	1,388.04

**WATER MAIN MAINTENANCE**

502050	5110	REGULAR SALARIES	15,975.61
502050	5111	PART TIME SALARIES	3,543.75
502050	5112	OVERTIME SALARIES	8,938.26

**WATER METER MAINTENANCE**

502054	5110	REGULAR SALARIES	4,690.18
502054	5111	PART TIME SALARIES	-
502054	5112	OVERTIME SALARIES	84.27
		TOTAL FUND 50	<u>\$ 52,948.19</u>

**Village of Deerfield Payroll Summary Report  
AUGUST 2016**

FUND 54 SEWER FUND

**SEWER ADMINISTRATION**

542010	5110	REGULAR SALARIES	\$ 11,768.81
542010	5111	PART TIME SALARIES	(2,787.76)
542010	5112	OVERTIME SALARIES	644.76

**SEWER LINE MAINTENANCE**

542031	5110	REGULAR SALARIES	14,548.81
542031	5111	PART TIME SALARIES	-
542031	5112	OVERTIME SALARIES	645.30

**SEWER CLEANING**

542051	5110	REGULAR SALARIES	11,274.36
542051	5111	PART TIME SALARIES	4,352.26
542051	5112	OVERTIME SALARIES	3,325.75

**WASTEWATER TREATMENT FACILITY**

542052	5110	REGULAR SALARIES	49,328.08
542052	5111	PART TIME SALARIES	-
542052	5112	OVERTIME SALARIES	1,665.38
TOTAL FUND 54			<u>\$ 94,765.75</u>

FUND 58 REFUSE FUND

**REFUSE LEAF COLLECTION**

582053	5110	REGULAR SALARIES	\$ -
582053	5111	PART TIME SALARIES	-
582053	5112	OVERTIME SALARIES	-
TOTAL FUND 58			<u>\$ -</u>

FUND 60 PARKING LOTS - RESIDENTIAL

**COMM PARK COMBINED REVENUE**

602019	5110	REGULAR SALARIES	\$ 916.82
602038	5110	REGULAR SALARIES	916.82
602038	5112	OVERTIME SALARIES	-
TOTAL FUND 60			<u>\$ 1,833.64</u>

FUND 70 GARAGE FUND

**GARAGE FUND EXPENDITURES**

702050	5110	REGULAR SALARIES	\$ 11,853.41
702050	5112	OVERTIME SALARIES	1,073.70
TOTAL FUND 70			<u>\$ 12,927.11</u>

**TOTAL ALL FUNDS \$ 880,650.18**

To the Finance Director:

The payment of the above listed accounts has been approved by the Board of Trustees at their meeting held on September 6, 2016 and you are hereby authorized to pay them from the appropriate funds.

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(Treasurer)

## REQUEST FOR BOARD ACTION

Agenda Item: 16-96

**Subject**                    Report and Recommendation Re: The Northwest Quadrant Master Plan as an Amendment to the Comprehensive Plan for the Village of Deerfield

**Action Requested:**    Acceptance of Report

**Originated By:**        Village Manager's Office

**Referred To:**         Village President and Board of Trustees

### **Summary of Background and Reason for Request**

As the Mayor and Board will recall, this matter was deferred at the February 16, 2016 meeting so that additional discussions with NWQ Stakeholders could take place. Several stakeholder meetings were held, including Mayor Rosenthal and Manager Street, and a report from the NWQ Stakeholder Working Group (dated July 26, 2016) was prepared and distributed to each participant's leadership for consideration. Each participant has now endorsed the report and it is attached for consideration as part of the Mayor and Board's review of the proposed NWQ Comprehensive Plan amendment. In addition, following the approval of the Right In-Right Out for Deerfield Road, the Stakeholder Working Group also reviewed and approved the attached interim striping plan.

For background, included are the relevant minutes from the February 16, 2016 Village Board meeting and a draft ordinance. Should the Mayor and Board accept the report and recommendation of the Stakeholder Working Group, the draft ordinance will be modified as appropriate and presented at the following meeting for First Reading consideration.

The Village Manager will be available to review this matter and respond to questions from the Mayor and Board of Trustees.

### **Reports and Documents Attached:**

NWQ Stakeholder Working Group Report dated July 26, 2016  
Interim Striping Plan – Lindemann Lot in view of the RIRO  
Letter from the Deerfield Park District  
Letter from F and M Property Holdings (Joy Fiorini)  
Minutes from February 16, 2016 Village Board meeting  
Draft Ordinance presented February 16, 2016

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**To:** Northwest Quadrant Stakeholder Leadership (Deerfield Park District, First Presbyterian Church of Deerfield, Christian Beginnings, Deerfield Library, F and M Property Holdings and the Village of Deerfield)

**From:** NWQ Stakeholder Working Group (Jan Caron, Rick Julison, Suzan Hawkinson, Judy Rundell, Amy Falasz-Peterson, Joy Fiorini, Harriet Rosenthal and Kent Street)

**Date:** July 26, 2016

**Subject:** Update report re: Northwest Quadrant Proposed Comprehensive Plan Amendment

### **Introduction**

Following presentation of the proposed Comprehensive Plan amendment for the Northwest Quadrant of the Village Center to the Village Board February 16, 2016, the Village Board directed that discussions with other NWQ stakeholders take place. Since that time, a working group of stakeholder representatives has met several times to discuss concerns and preferences, while being mindful of the need to improve pedestrian safety and reduce driver confusion in the eastern portion of the NWQ. The working group also agreed that the campus-like sharing of parking and pedestrian access should continue, including these uses of the Village property on the north side of Deerfield Road, south of the First Presbyterian Church.

To that end, the NWQ Working Group recommends that a Comprehensive Plan Amendment for the NWQ be considered and approved that provides the following:

#### **General Provisions:**

Support and Enhance Existing Uses in the NWQ

Conveniently walkable

Attractive

Reliably safe

Environmentally friendly

Fiscally responsible

Respectful and neighborly

Reasonably maintained

#### **Specific Provisions:**

A) Prepare a Joint Use Agreement executed by all stakeholders stating each's contributions, commitments and responsibilities and support for implementation, operation and maintenance; the

agreement should acknowledge the value of various types of contributions, including property, construction costs, maintenance costs and the value of supporting services. The agreement should also endeavor to identify stakeholder contributions, list expected stakeholder costs and benefits and include a projected timeline for the implementation of improvements.

B) Encourage and facilitate on-going communication between and among the NWQ stakeholders concerning site planning and operations, respecting the interconnection of parcels and the shared use of access, parking and other resources. An annual meeting and regular meetings as design development proceeds should be held to facilitate on-going communication.

C) Improve safety, accessibility and lighting for pedestrians along and across Jewett Park Drive between Robert York Avenue and the Village Hall and Church sidewalks, in the Church lot, and in the Village lot. Provide safe pedestrian access between the Community Center and the Library;

D) Improve safety for vehicles and pedestrians at all intersections;

E) Provide an interior two-way drive aisle on Jewett Park Drive;

F) Provide safe and usable vehicle access to/from Deerfield Road, that does not encourage cut-through traffic looking to avoid Waukegan and Deerfield Roads;

G) Provide parking space layout that is efficient, orderly and conveniently usable, providing: up to 3-hour customer/visitor spaces; longer term employee spaces, drop-off service on the south and west sides of the Church; continues existing shared use arrangements; meets the routine parking needs of the stakeholders; and provides overflow spaces for stakeholder special events.

H) Provide visual "lead into" Jewett Park and consider raised (tree top) walk system and overlook above preschool playground;

I) Provide a pre-school drop-off on east side of Community Center with unimpaired sight lines from drop-off vehicles to pre-school entrance door and retain the drop off on the west side;

J) Allow for the eventual transformation of the private parking lot and private driveway west of the commercial properties to be repurposed by the owner to offer a more pedestrian friendly space with potential access offered to the commercial properties who do not currently have access to this space.

K) Develop a written/formal agreement between the Village and the Church for the redesign, exchange and use of Church owned property, existing easement and adjoining Village property;

L) Provide F and M Property Holdings controlled parking spaces in the Village lot for any lost elsewhere;

M) Provide to be determined number of parking space passes for Park District employees for use in Village lot;

N) Provide to be determined number of parking space passes for Church/Christian Beginnings employees for use in Village lot;

- O) Provide to be determined number of parking space passes for Library employees for use in Village lot;
- P) Provide to be determined number of parking space passes for F and M Property Holdings shop space employee use in Village lot;
- Q) Provide to be determined number of parking space passes for Taxman shop space employee use in Village lot;
- R) Provide access for mid-range length delivery trucks (not 50 or 53-foot semi's) and emergency vehicles;
- S) Relocate overhead utilities underground;
- T) Provide for refuse/recycling corrals for the Church, F and M Property Holdings and Taxman property in Village lot;
- U) Apply and demonstrate sustainable and environmentally friendly techniques and systems where appropriate, incorporating recognition of cost-effectiveness and relative ease of maintenance;
- V) Develop written/formal use agreement between the Village and Park District for a redesign of Park Avenue.
- W) Develop written/formal use agreement between the Village and Park District, working in conjunction with the Deerfield American Legion or other appropriate military veterans' organization, if a relocation or redesign of the Veterans' Memorial is pursued.

Next Steps:

Presentation of this report as part of the Comprehensive Plan Amendment considered by the Village Board.

Village installs right-in/right-out drive entrance on Deerfield Road to/from the Village Lot as part of Deerfield Road reconstruction project and provides temporary striping to direct changed traffic pattern inside the lot. The design of temporary striping will support the criteria in G and J above.

Pursue use of AT&T parking spaces for Park District regular weekday employee parking.

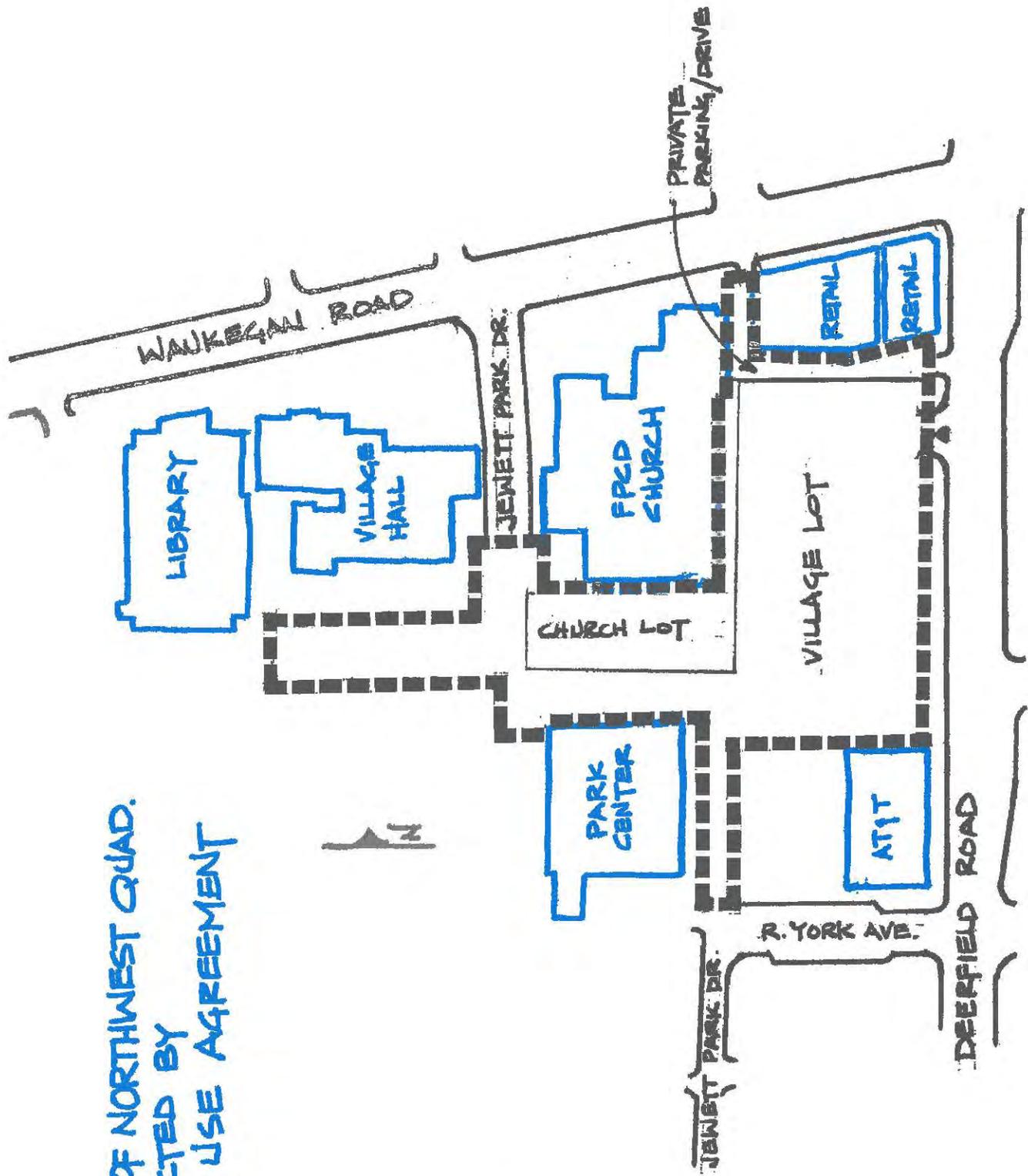
Perform professional traffic counts in October since the Library is now fully operating, the curb cut on Deerfield Road has been installed, and the majority of the impactful work on the Deerfield Road reconstruction project has been completed.

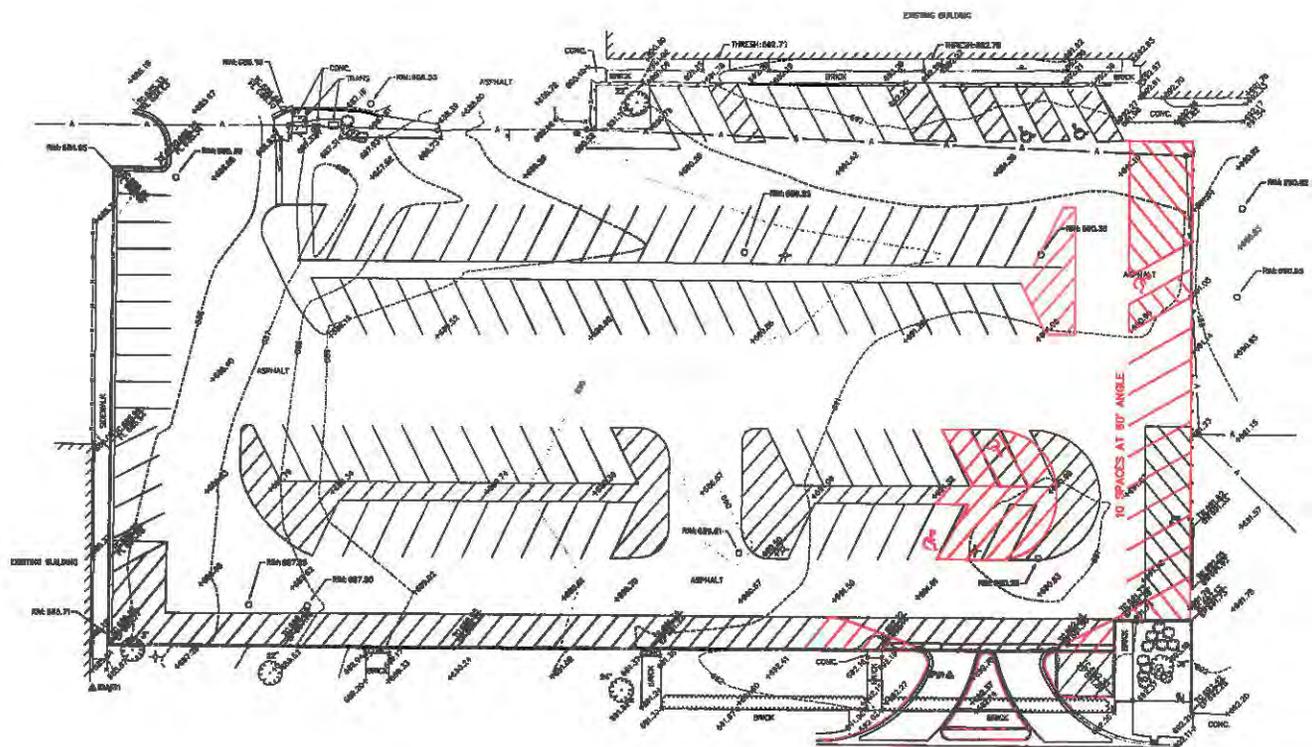
Respectfully Submitted,

NWQ Working Group

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AREA OF NORTHWEST QUAD.  
IMPACTED BY  
JOINT USE AGREEMENT





**PARKING DATA**

EXISTING SPACES  
 STANDARD = 108  
 A.D.A. = 2  
 TOTAL = 110

PROPOSED SPACES  
 STANDARD = 113  
 A.D.A. = 5  
 TOTAL = 118

**GHA GENSLT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive • Vernon Hills, IL 60061  
 Tel. 847.478.9700 • Fax 847.478.9701

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**INTERIM STRIPING PLAN**  
**DEERFIELD NORTHWEST QUAD PARKING LOT**  
**VILLAGE OF DEERFIELD, ILLINOIS**

NO.	DATE	REVISION	NO.	DATE	REVISION

FILE #	4825.110_Prel.dwg	SHEET NUMBER	5
DRAWING PLO	8/17/18	DRAW PROJECT #	4825.110
CHECKED BY	DPB	SCALE	1"=20'
DATE	8/17/18		OF 5 SHEETS

# Deerfield Park District

836 Jewett Park Drive • Deerfield, IL 60015-3291 • (847) 945-0650 • Fax (847) 945-0699 • [www.deerfieldparks.org](http://www.deerfieldparks.org)

August 30, 2016

Mayor Harriet Rosenthal  
Village of Deerfield  
850 Waukegan Road  
Deerfield, IL 60015



Dear Mayor Rosenthal and Board of Trustees:

On behalf of the Deerfield Park District Board of Commissioners, this letter serves as support for approval of the proposed amendment to the Deerfield Comprehensive Plan regarding a Master Plan for the Northwest Quadrant of Village Center.

The Deerfield Park District works cooperatively with the Village of Deerfield and surrounding property owners to make the best of the existing conditions in the quadrant. Knowing the past and current challenges we have faced in the quadrant, we appreciate the opportunity for Park District representation, not only as part of the Northwest Quadrant Task Force, but more recently as a contributing member of the NWQ Stake Holder Working Group.

The represented entities of the Working Group brought great perspective to the planning process and the exercises undertaken to reach this point have been very beneficial to the southeast quadrant of the overall plan. Therefore, with the addition of guidelines identifying specific provisions as found in the Joint Use Agreement developed by the NWQ Working Group, the Park District can fully endorse the Master Plan for the Northwest Quadrant of Village Center.

A final design that meets most of the original design criteria, while still supporting daily vehicular and pedestrian traffic patterns in the quadrant, will benefit stake holders most affected by the plan and ultimately the entire community.

If you have any questions, please contact me or any of our board members.

Sincerely,



Rick Julison  
Executive Director



## Commissioners

Gil Antokal     Joe Cohen  
Jan Caron     Greg Lapin  
Rick Patinkin

Rick Julison, Director

## Affiliated With

National Recreation and Park Association  
Illinois Association of Park Districts  
Illinois Park and Recreation Association



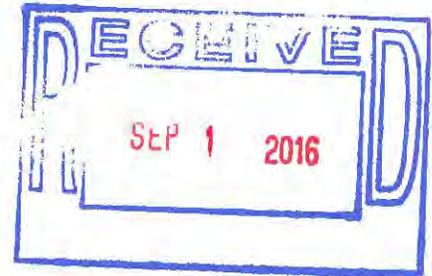
Contact: Joy Fiorini  
Phone: 847-308-1157  
Fax: 720-596-9183  
Email: [joyfiorini@comcast.net](mailto:joyfiorini@comcast.net)

September 1, 2016

Mayor Harriet Rosenthal  
Board of Trustees

Via email

Re: NWQ Working Group



Dear Mayor Rosenthal and Trustees,

As you are aware, the NWQ working group created and convened in 2016 has been meeting to share information, develop ideas, and create a proposal to amend the master plan as it relates to the NWQ.

The proposed document presented by Kent Street at your meeting on September 6, 2016 reflects the best efforts of our group. I endorse the process to date and will continue to work towards our mutual goals for the NWQ.

From my point of view the implementation of the components presented in the document should occur in multiple phases.

Phase 1:

- Establish an additional entry to the public parking lot off of Deerfield Road
- Create a flow of traffic within the lot that reflects the best and safest approach to maximizing parking while protecting pedestrians- accounting for emergency vehicles, drop-offs and deliveries
- Provide a set of private parking spaces for customers
- Plan for longer term parking spots for employees of all surrounding stakeholders

Phase 2:

Upon completion or agreement to complete Phase 1, the potential exists to transform the private parking lot and driveway access to the commercial properties into a more pedestrian friendly green space and walkway. Also, buildings that do not currently have access to the parking lot could be offered the ability to have access. These transactions and agreements would not involve the Village per se but need to be endorsed by the Village.

Of course the above phases require a legal and financial plan as to what can be realistically achieved in a private/public project of this nature. Stakeholders will need to participate in this process given their own circumstances. This phase has not begun as we are waiting for the signal to move forward from you.

I would like to thank all who worked on improving the NWQ over the past 15 years. While the effort has been challenging, none of the work and effort was wasted as it has led us here. Your vision and direction as our leadership has been invaluable.

Best,

Joy Fiorini  
Managing Partner

Trustee Nadler moved to accept the report and recommendation of staff. Trustee Farkas seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Shapiro, Struthers (6)

NAYS: None (0)

**REPORT AND RECOMMENDATION  
OF STAFF RE: LINDEN AVENUE  
TRAFFIC STUDY**

Assistant Village Manager Andrew Lichterman reported several residents from Linden Avenue appeared at the last meeting. The Village Board asked staff to develop a plan to address their concerns regarding traffic volume. Mr. Lichterman noted staff's recommendation is consistent with the Gewalt Hamilton report. Staff plans to perform an educational campaign with mailed brochures, e-mail blasts and coordinated updates on the Village website. They also recommend enforcement. Lastly, they recommend engineering improvements, including installing more warning signage illuminated with amber lights. Mr. Lichterman indicated staff does not recommend sidewalks at this time. Trustee Nadler suggested distributing the brochure to neighboring communities, through their Village managers.

Deputy Chief Keene met with Linden Avenue residents about the recommendation. Trustee Struthers requested school bus safety be added to the educational information.

Trustee Nadler moved to accept the report and recommendation of staff. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Shapiro, Struthers (6)

NAYS: None (0)

**REPORT AND RECOMMENDATION  
OF THE PLAN COMMISSION RE:  
REQUEST FOR AN AMENDMENT TO  
THE DEERFIELD COMPREHENSIVE  
PLAN TO ADOPT A MASTER PLAN  
FOR THE NORTHWEST  
QUADRANT OF THE VILLAGE  
CENTER**

Mr. Street reported that in 2013, the Trustees appointed the Northwest Quadrant Unified Task Force. The Task Force consisted of all of the major stakeholders in the northwest quadrant as well as representatives from the Board of Trustees and several Village Commissions. The Task Force recommendation went before the Plan Commission, who recommended an amendment to the Comprehensive Plan with the understanding there are concerns about the traffic movement and parking, which would be stipulated in a future plan.

Mr. Coblenz stated that a Comprehensive Plan establishes recommended guidelines for the future development or redevelopment of an area. It is a guideline used by a Plan Commission. A Comprehensive Plan is not an implementing device and requires further action by the Village Board.

Jodi Mariano, principal with Teska Associates, and Dan Brinkman, senior traffic engineer with Gewalt Hamilton, were consultants to the Task Force. Ms. Mariano discussed the proposed master plan, including the interconnected parking lots and a proposed promenade. They looked at plans to maintain drop off functions on both the east and west sides of the Jewett Park Community Center, with the intention of moving toward only continuing drop off on the west side. They would incorporate curbs, landscape bump-outs and bollards to assist in slowing traffic and making pedestrian traffic safer.

Mr. Brinkman discussed the traffic circulation. Trustee Farkas asked if additional foot bridges were considered. Ms. Mariano noted that they want to be respectful of the skate park, as the boardwalk is the same elevation.

Pastor Suzan Hawkinson, First Presbyterian Church, presented a report regarding safety and cooperation. She noted the Plan Commission report summarized their concerns regarding traffic movement and parking; however, their concerns are far greater regarding safety. At the core of the Northwest Quadrant is a small strip of land providing passage for personal, business, official vehicles, preschoolers and their parents, churchgoers, library users, retail customers, patrons of the Park District and the Village Hall. She noted neither plan allows drop off for the church programs. Currently, they use drop offs on both sides of their building. Pastor Hawkinson stated they are in favor of many aspects of the plan, but the plan was designed with no dedicated roadway. The plans have an unsafe core, as a portion of the property is sometimes used for church activity. The design currently has vehicles pulling in and out of two-way traffic.

Pastor Hawkinson proposes safety first in the northwest quadrant. The Plan Commission passed a plan that was "not conceptually preferred." She questioned how the recommendation came before the Board. Pastor Hawkinson recommends creating a better alternative that included continuing conversations with the stake holders that honors valid concerns and property owner rights, considers cost analysis and keeps safety as a priority. She would like to continue the conversation with the northwest quadrant stakeholders and Village staff on Monday, February 22, 2016, at noon.

Mary Boote questioned using tax dollars to create a plan that is not in the best interest of the Village or stakeholders. She does not believe the Village should pass a plan that goes against the stakeholders' desires. Ms. Boote does not believe the Village should push for a plan that does not work.

Judy Rundell, director of Christian Beginnings Preschool, stated the preschool will be impacted by the development of the northwest quadrant. She implored the Village to find a way to make the northwest quadrant work in a safe manner for the residents.

Thom Cunningham, Director of Faith Formation and Mission at the Deerfield Presbyterian Church, stated they have numerous events that take place in the parking lot. He questioned where those activities will be placed if the proposed plan is passed. Mr. Cunningham noted there are numerous other community programs that use the church facility. He noted the PADS program also takes place at the church and questioned what would happen to these programs if

the proposed plan is passed. Mr. Cunningham believes the Village and stakeholders need to work together to create a plan that is appropriate for all.

Marie Kirby, 920 Kenton Road, believes it is imprudent to push through plans without achieving support of all the key stakeholders.

Steve Fialkowski is an elder of the Church. He does not believe the Plan Commission understood the Church's concerns. He thinks the complex was designed with the idea to make it difficult to navigate. Looking at the plan, there is no quick or easy access for emergency vehicles to get to the side of the building. Mr. Fialkowski believes that needs to be corrected. The church is not objecting to an improvement in the area, but disapproves to the execution of the idea in plans D and D1. They would like to work with the Village on a safer and more palatable solution.

Ben White, elder of the Church, stated they are more than happy to work with the Village. He indicated there is a north-south extension of Jewett Park Drive that is part of the church property. They are concerned that a sketch he created is a document included in the submittal. The plans were created to begin a conversation, and should not be recognized as official church drawings.

Britt Olander, elder of the Church, emphasized the Plan Commission report states the plans are not preferred for the southwest portion of the quadrant.

Joy Fiorini thought the Plan Commission meeting was unusual because the members of the Plan Commission were struggling. She thinks it was difficult to make a "normal" motion because the proposed plan is unfinished. Property lines and costs were ignored. Ms. Fiorini believes the Village should look at the property lines. The stakeholders are willing to work with the Village. She believes it would be difficult to pass an amendment with pictures. She would rather use words to define what may take shape over the next few years.

Jan Caron, Deerfield Park District Board Member, stated the Task Force members were never made aware of a budget. They were never in agreement or disagreement. Prior to their final meeting, they were not aware it was the final meeting and did not vote on the proposed plan. The Park District is strongly in favor of a plan, the Park District has concerns about some aspects of the plan and cannot support the plan as it is proposed. They are most concerned about safety. The Park District has held several meetings with other stakeholders working together. This plan does not have the support of the major stakeholders.

Jack Miller questioned why the plan justifies the taking of private property. He does not see beautification as a critical need. Mr. Miller does not believe Deerfield is an urban community and the residents do not use walkways.

Mary McIntyre, 1750 Overland Trail, noted the Park District has camps in the summer and the area is swarming with children. She noted there are a number of birthday parties on weekends with children crossing in the parking lot. She does not believe the parking lot should be made wider, because it would be a safety issue.

Donna Osborn, 1010 Springfield, lives near the park playground. Her children use the park nearly every day. They cross Hazel to get to the park. She expressed concern because a portion of Park Avenue would be closed and questioned where the bus traffic would go. Ms. Osborne questioned how emergency vehicles will get to the east side of the tracks. She asked the Trustees to send the proposed plan back to the Task Force.

Trustee Farkas asked what the practical difference is between accepting the report and just keeping this as a historical document without adoption. Mr. Coblenz stated if the amendment is not adopted, it would not have the planning effect. The Village could meet with stakeholders.

Trustee Seiden noted the Village has a Comprehensive Plan without D and D-1. Since 1999, there were four iterations of the Comprehensive Plan. There have been several consultants and residents on task forces giving their best.

Trustee Nadler indicated the Comprehensive Plan would like this area to be a center focus for the Village. The Village has focused energy for the past three years on this area. Mayor Rosenthal noted this area is considered a sub-area to meet the needs of the stakeholders.

Mayor Rosenthal noted there have been comments made about taking of property. She clarified there are no plans or interest by the Village to take any property. If a stakeholder is looking to redevelop their property they will go through the Village's land-use process, just like everyone else.

Pastor Hawkinson was reassured that the taking of property is not the Village's interest. She noted that the detailed plans, if added to the Comprehensive Plan, would serve as a guideline. Mr. Coblenz noted the Comprehensive Plan provides guidance to the Plan Commission. It is not mandatory those elements end up in a final plan.

Trustee Shapiro noted a Comprehensive Plan is a guide that has no force of law. It is a guide for future planning principals. Many Comprehensive Plans have detailed plans to them. Pastor Hawkinson noted the detail removes a dedicated roadway. Mayor Rosenthal noted that prior to the downtown redevelopment, the Comprehensive Plan looked a lot different than what was developed.

Mayor Rosenthal suggested the Trustees look to next steps including the Village staff and stakeholders to come together and see if they can agree to some changes.

Trustee Nadler believes the plan is similar to what was reviewed in 2013. There has been no progress forming a consensus and he does not believe this should be appearing before the Board at this time. Trustee Nadler believes more events in the area would build community. He would not want to see the Village wasting time and resources on a plan he does not think will be approved.

Trustee Seiden believes a road going through the parking lot would calm traffic. He understands the Comprehensive Plan can be changed, but if there is a plan with drawings, future Plan Commissions will look at it. Trustee Seiden does not believe there will be a major change in this area.

Trustee Farkas does not believe it will change. He questioned whether there is a need to drive compromise. There is no motivation for the stakeholders to negotiate or compromise with each other at this point in time. Once a proposal comes forward that affects the quadrant, the Village will look at the design.

Mayor Rosenthal believes the Village needs a blueprint.

Trustee Struthers believes there are some pieces of the proposal that are positive and that are agreeable to all stakeholders.

Mayor Rosenthal deferred further action. She directed Village staff to work with the major stakeholders and bring a report back to the Board in the next few months.

SIDEWALK SNOW CLEARING  
PROGRAM REVIEW

Trustee Farkas stated that at the last Board of Trustees meeting, staff outlined a plan that would adopt a new policy that continues sidewalk snow clearing in areas that do not conform with the policy by grandfathering them. Trustee Farkas' intent was to strictly enforce the policy and eliminate grandfathered locations. The Village should adhere to the policy and only clear snow for areas that fit within the new guidelines.

Trustee Farkas moved to accept the policy and eliminate grandfathered locations. Trustee Struthers noted that would save the Village \$1,400 per year. Trustee Farkas noted this would allow for consistency. Trustee Seiden seconded the motion. Mayor Rosenthal confirmed that if approve, the new policy would go into effect for the next snow season. Trustee Jester noted virtually all of the sidewalks being plowed are sidewalks rather than carriage walks and encouraged staff to use judgement. Trustee Farkas is open to having further discussion. He noted the vast majority of residents are responsible for clearing their own sidewalks. If we do something special, there should be a reason. The motion passed by the following vote:

AYES: Farkas, Jester, Seiden, Shapiro (4)  
NAYS: Nadler, Struthers (2)

CONSENT AGENDA

ORDINANCE AUTHORIZING AN  
AMENDMENT TO A SPECIAL USE FOR  
BRIARWOOD COUNTRY CLUB TO  
PERMIT CHANGES TO THE

An Ordinance amending a Special Use for Briarwood Country Club to permit changes to the previously approved paddle tennis facility. First Reading.

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING THE NORTHWEST QUADRANT  
MASTER PLAN AS AN AMENDMENT TO THE COMPREHENSIVE  
PLAN OF THE VILLAGE OF DEERFIELD**

---

**WHEREAS**, the current Comprehensive Plan for the Village of Deerfield was adopted on October 4, 2004, and has been amended from time to time thereafter (as amended, the “Comprehensive Plan”); and

**WHEREAS**, the President and Board of Trustees of the Village of Deerfield appointed the Northwest Quadrant United Task Force in 2013 to create a master plan for the northwest quadrant of the Village Center as defined in the Comprehensive Plan; and

**WHEREAS**, the Northwest Quadrant Task Force included representatives of all major stakeholders in the northwest quadrant of the Village Center planning; and

**WHEREAS**, the Northwest Quadrant Task Force submitted its report and recommendation to the Village Board of Trustees on August 5, 2013; and

**WHEREAS**, the corporate authorities of the Village of Deerfield accepted the Task Force report and directed Village staff to continue Northwest Quadrant Master Plan discussions with impacted stakeholders in the northwest quadrant; and

**WHEREAS**, the Plan Commission of the Village of Deerfield conducted a public hearing on January 28, 2016, to consider an amendment to Section 4.1 of the Comprehensive Plan consisting of a Northwest Quadrant Master Plan (Preferred Plan D and Interim Plan D1), and certain alternative parking study plans; and

**WHEREAS**, the Plan Commission of the Village of Deerfield has submitted its report and recommendation to the corporate authorities of the Village of Deerfield that the Northwest Quadrant Master Plan (Preferred Plan D and Interim Plan D1) and certain alternative parking study plans attached hereto as Appendix A to this Ordinance (collectively, the "Northwest Quadrant Plan") be adopted as an amendment to Section 4.1 ("Village Center Subarea") of Article 4 ("Subareas") the Comprehensive Plan, with the proviso that the southeast corner of the northwest quadrant as depicted in the Northwest Quadrant Plan shall not be considered conceptually preferred as of this time and is subject to further master planning review and refinement; and

**WHEREAS**, the corporate authorities of the Village of Deerfield concur in the recommendations of the Plan Commission and have determined that it is in the best interests of the Village of Deerfield that the Northwest Quadrant Plan attached hereto be approved as an amendment to the Comprehensive Plan, with the recognition that areas of concern remain with respect to the southeast corner of the northwest quadrant as depicted in the Northwest Quadrant Plan, specifically that traffic movement and parking within that part of the northwest quadrant area need to be further addressed and specified in future Northwest Quadrant Master Plan amendments and/or in future development plans for land in the southeast corner of the northwest quadrant;

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS,** in the exercise of its home rule powers, as follows:

**SECTION 1:** That the above and foregoing Recitals, being material to this Ordinance, are hereby incorporated and made a part of this Ordinance as if fully set forth herein.

**SECTION 2:** That the Northwest Quadrant Plan attached as Appendix A to this Ordinance be and the same is hereby approved as an amendment to the Comprehensive Plan of the Village of Deerfield.

**SECTION 3:** That Section 4.1 (“Village Center Subarea”) of Article 4 (“Subareas”) of the Comprehensive Plan of the Village of Deerfield be and the same is hereby amended to add the Northwest Quadrant Master Plan (Preferred Plan D and Interim Plan D1) and certain alternative parking study plans attached hereto as Appendix A to this Ordinance as Subsection 4.1.A of Section 4.1 the Comprehensive Plan. Notwithstanding anything to the contrary stated above, it is further specified that the Northwest Quadrant Master Plan and alternative parking studies hereby approved as part of the Village Center Subarea plan shall be considered conceptual only as to the southeast corner of the northwest quadrant and shall not be considered as binding land use guidance for the southeast corner of the northwest quadrant pending further study of traffic movement and parking within the southeast corner of the northwest quadrant and further refinement of the Northwest Quadrant Master Plan.

**SECTION 4:** That this Ordinance, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, this Ordinance shall supersede state law in that regard within its jurisdiction.

**SECTION 5:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

APPENDIX A

NORTHWEST QUADRANT MASTER PLAN

(to be added as Subsection 4.1.A immediately following Section 4.1,  
“Village Center Subarea”, of the Comprehensive Plan of the Village of Deerfield)

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING THE NORTHWEST QUADRANT  
MASTER PLAN AS AN AMENDMENT TO THE COMPREHENSIVE  
PLAN OF THE VILLAGE OF DEERFIELD**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this**

**\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

## **Northwest Quadrant - Proposed Amendment to the Deerfield Comprehensive Plan**

**Add the following language to page 63 of the 4.1 Village Center Subarea:**

### **4.1.A Northwest Quadrant Master Plan**

#### **Goal:**

Transform the Northwest Quadrant into the cultural centerpiece of Deerfield.

#### **Objectives:**

1. Maintain the cluster of related civic assets and destinations. Incorporate compelling, new and compatible destinations and features.
2. Invite and engage pedestrians, and accommodate motorists.
3. Create a series of visually stunning experiences.

#### **Design criteria:**

1. Conveniently walkable
2. Barrier-free connectivity
3. Extremely attractive
4. Reliably safe
5. Environmentally friendly
6. Fiscally responsible/phased
7. Respectful and neighborly
8. Reasonably maintained
9. Reliably durable
10. Fully integrated between uses

Master Plan D, interim Master Plan D-1, and alternative parking studies will serve as concepts for the advisory comprehensive design plan for the northwest quadrant of the Village Center as the various entities make improvements to their properties in future years.

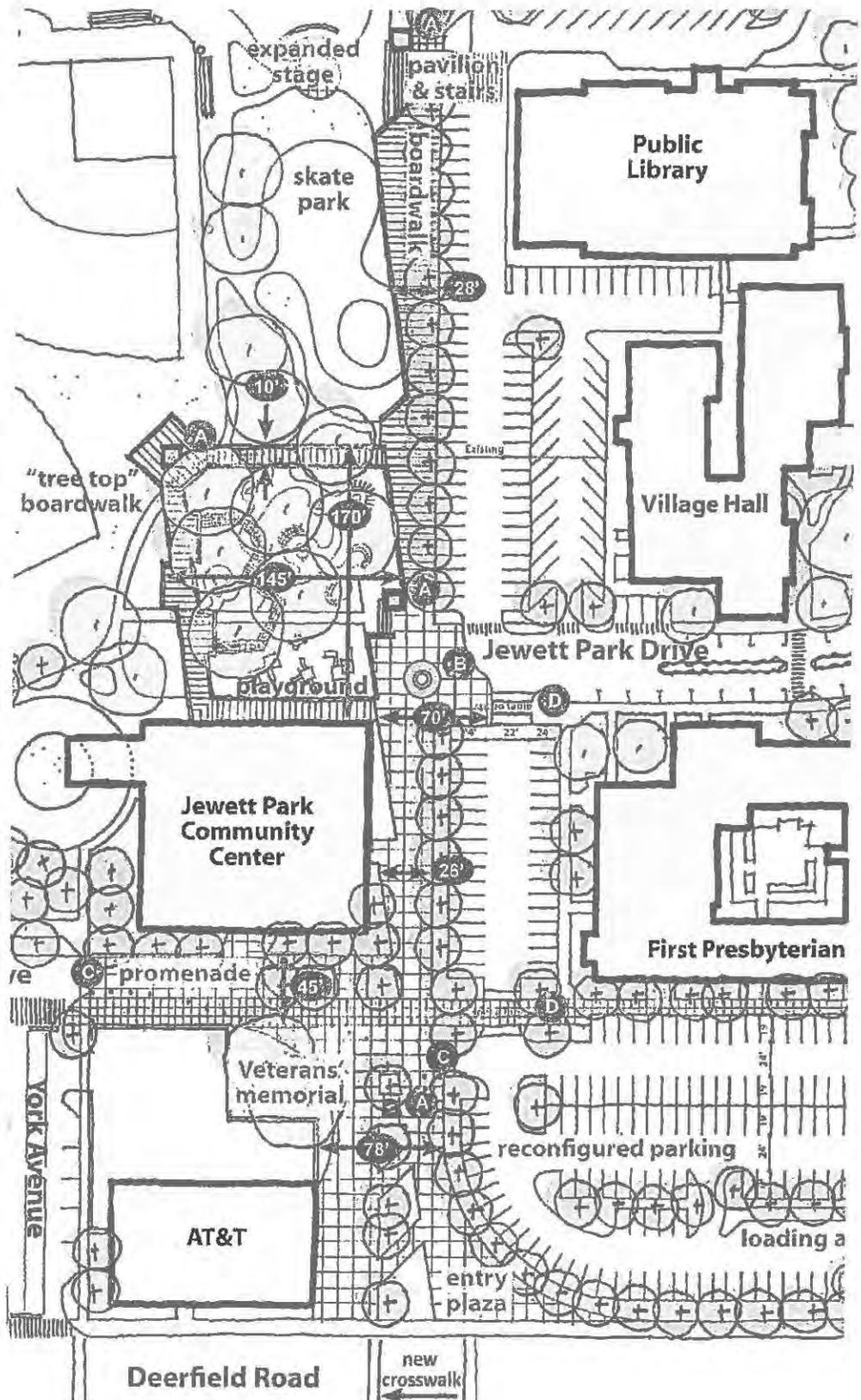


**MASTER PLAN**

Entry Plaza /  
Boardwalk /  
Tree Top Boardwalk  
Enlargement

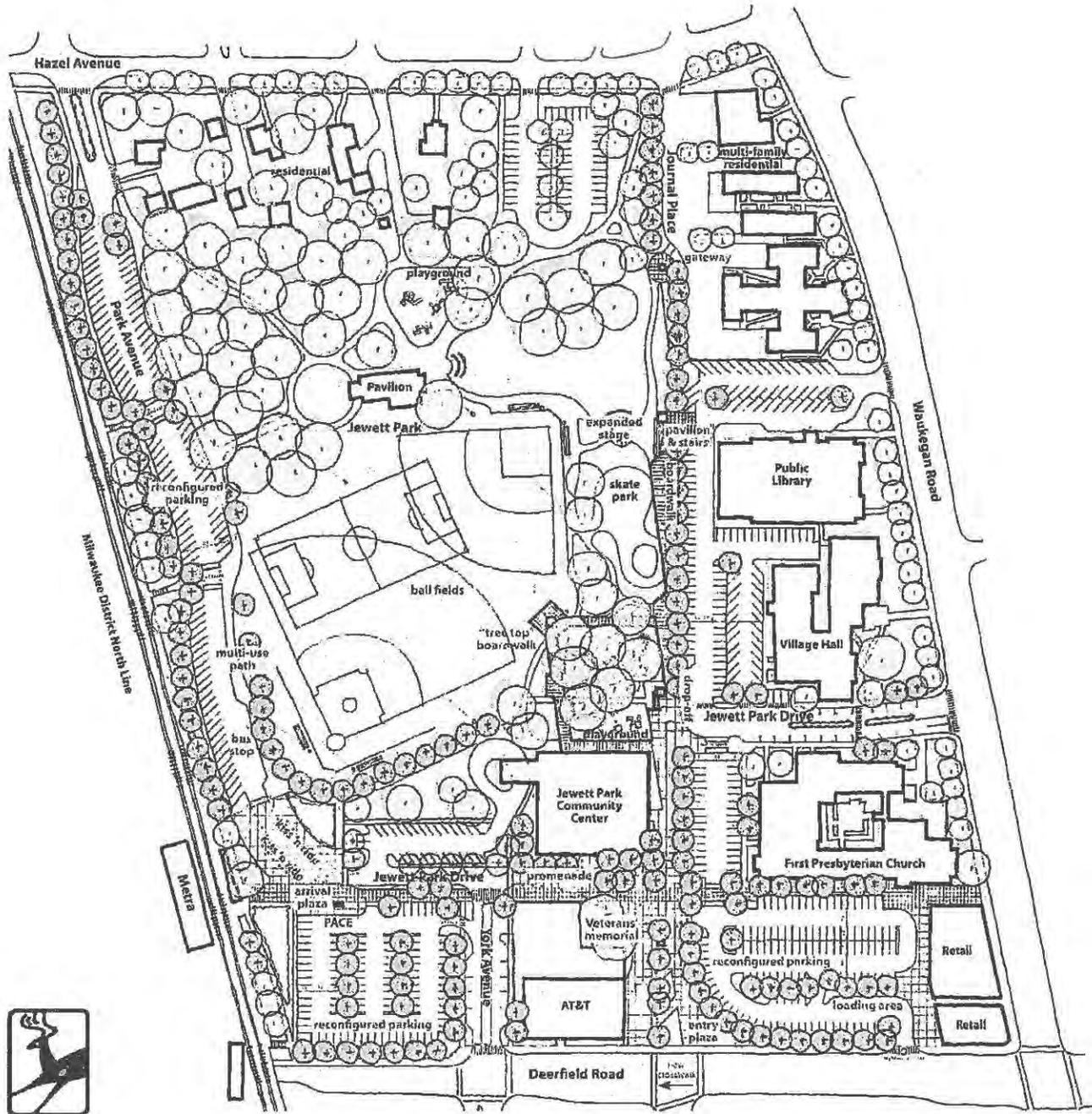
The Entry Plaza, Boardwalk, and Tree Top Boardwalk are key design features of the Master Plan. Dimensions are provided to assist with understanding the proposed scale for these areas. Dimensions shown are based on aerial photography and are conceptual in nature. Additional features are noted on the plan and below:

- A** Tower Features along the walkway and boardwalk provide orientation and wayfinding.
- B** Focal Feature at the west terminus of Jewett Park Drive includes a fountain and/or sculpture.
- C** Promenade Area may be temporarily closed to vehicular traffic via removable bollards to support community events.
- D** Speed Tables within the parking lot include raised textured surfacing to reinforce pedestrian routes between the Church and Jewett Park.



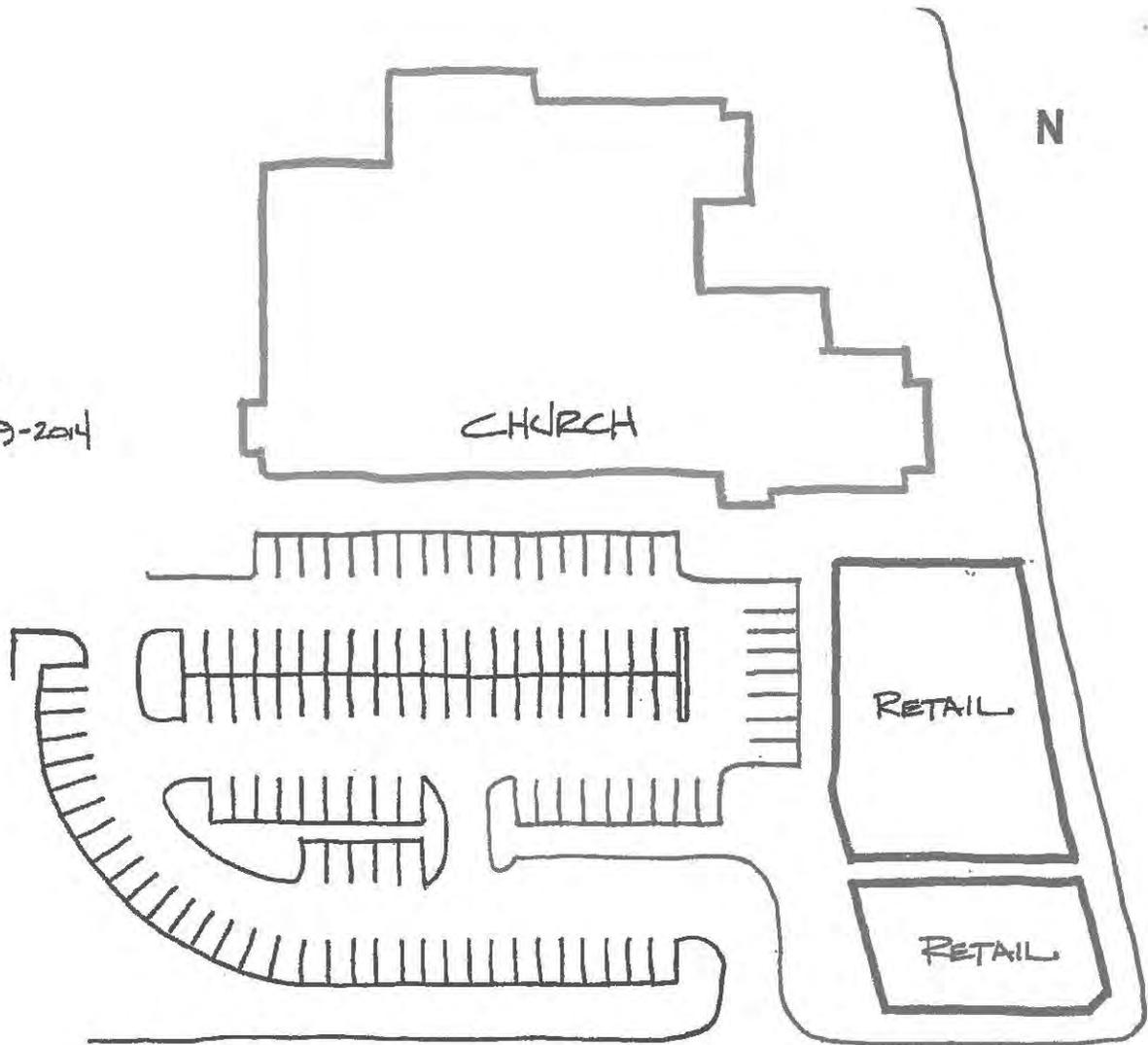
# VILLAGE OF DEERFIELD NORTHWEST QUADRANT MASTER PLAN

Interim Plan D1



# ALTERNATIVE PARKING STUDY PLAN - FIORINI

MT  
4-9-2014





## ALTERNATIVE PARKING STUDY PLANS

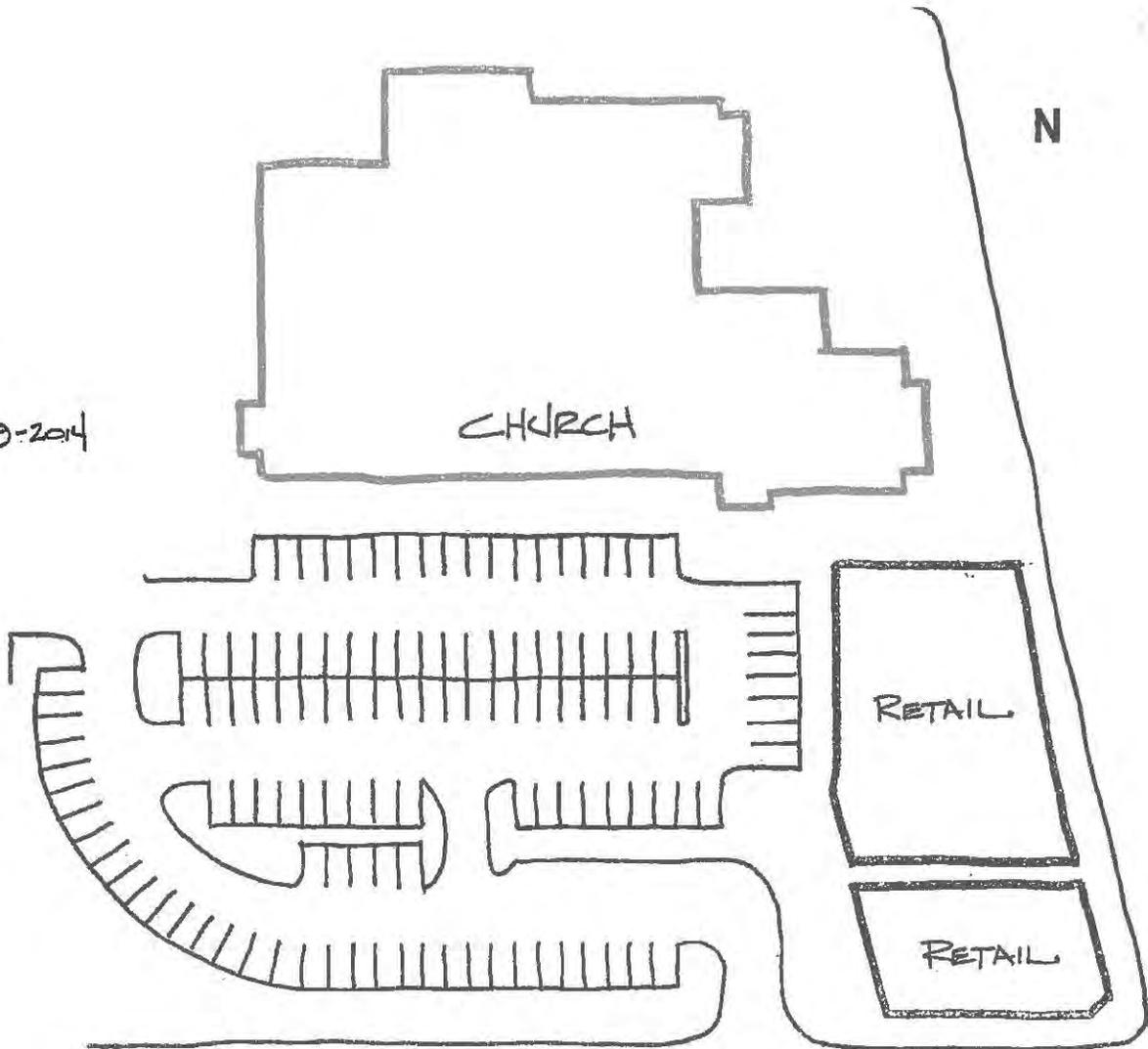
Commercial Property Owner ~ FIORINI

Church

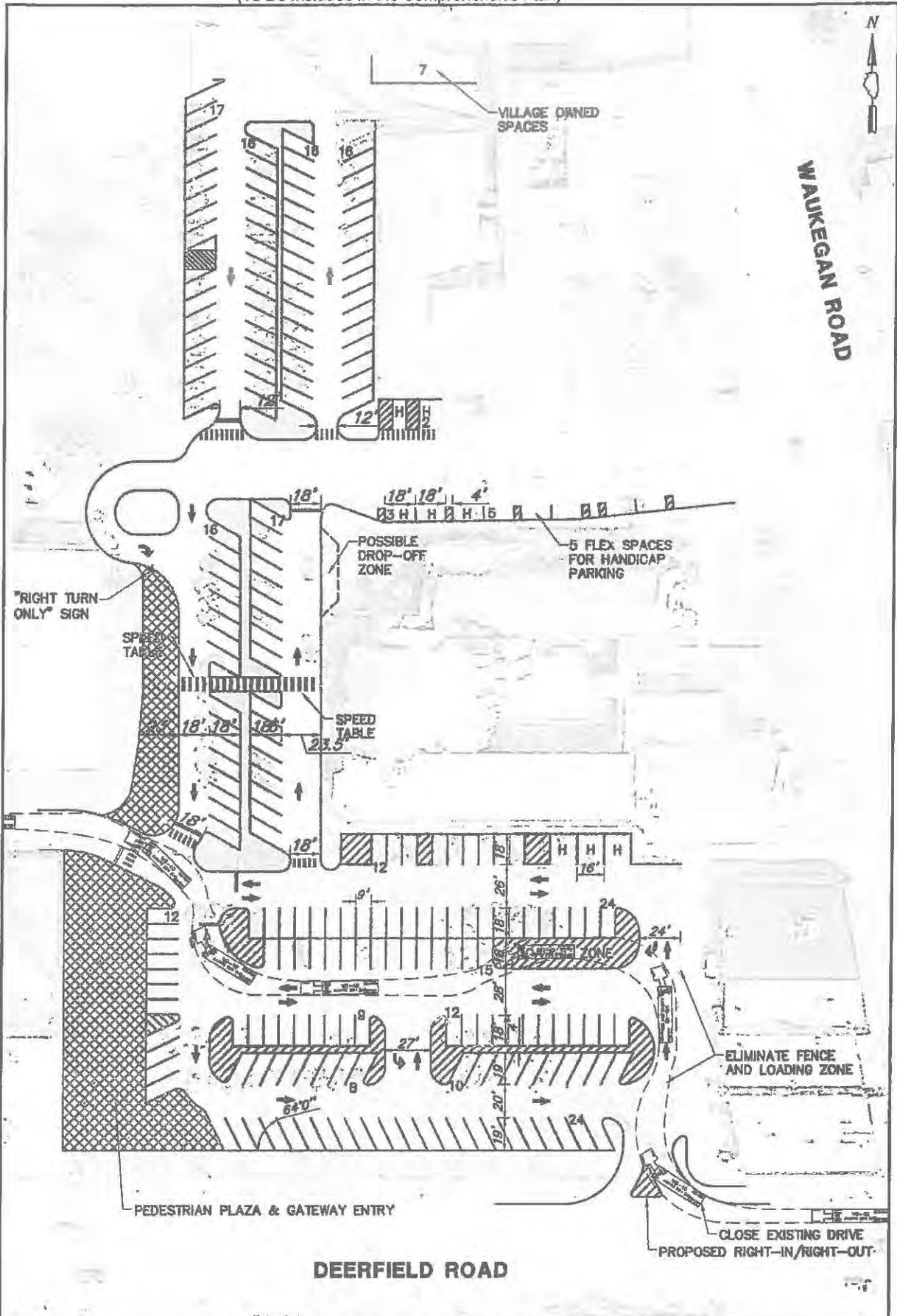
# ALTERNATIVE PARKING STUDY PLAN - FIORINI

(To Be Included in the Comprehensive Plan)

AJT  
4-9-2014



(To Be Included in the Comprehensive Plan)



**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive • Vernon Hills, IL 60061  
 Tel.: 847.478.9700 • Fax: 847.478.9701

**ALTERNATE PARKING STUDY PLAN**  
 DEERFIELD NORTHWEST QUADRANT  
 DEERFIELD, ILLINOIS

FILE 4625-901 NW LOT-OPTION 1.dwg	
DRAWN BY: GHA	GHA PROJECT #
DATE 07.10.15	4625.901
CHECKED BY: TJD	SCALE 1"=50'

**REQUEST FOR BOARD ACTION**

16-85

**Agenda Item:** \_\_\_\_\_

**Subject:** Report and Recommendation of Staff re: Increasing the Number of Class C Liquor Licenses  
\_\_\_\_\_   
from Six (6) to Seven (7) for Roti Modern Mediterranean  
\_\_\_\_\_

\_\_\_\_\_ Acceptance of Report  
**Action Requested:** \_\_\_\_\_  
Petitioner

**Originated By:** \_\_\_\_\_  
Mayor and Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

Roti Modern Mediterranean has requested a Class C liquor license to serve beer and wine only to patrons at their new location in Deerfield Square.

A representative from Roti will be present to answer questions from the Board.

**Reports and Documents Attached:**

Letter from Police Chief Sliozis  
Ordinance

September 6, 2016  
**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_



# DEERFIELD POLICE DEPARTMENT

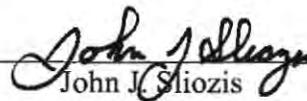


DATE: August 26, 2016  
TO: Kent Street, Village Manager  
FROM: Chief John Sliozis  
CC: Andrew Lichterman,  
SUBJECT: Liquor License Applicant Roti Restaurants, LLC

Staff has completed the background investigation for liquor license applicant Roti Restaurants, LLC, doing business as Roti Modern Mediterranean, at 720 Waukegan Road, Suite C, Deerfield, Illinois.

Nothing was found that would preclude Roti Restaurants, LLC from holding a liquor license in the Village of Deerfield. If any information is revealed to change the status you will be notified immediately.

A complete copy of the report is available for review upon request.

  
John J. Sliozis  
Chief of Police

JJS/vm

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

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**ORDINANCE NO. O-16**

**AN ORDINANCE AMENDING CHAPTER 3 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF DEERFIELD OF 1975 TO  
INCREASE THE NUMBER OF AUTHORIZED CLASS C LIQUOR LICENSES  
FROM SIX (6) TO SEVEN (7)**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. O-16**

**AN ORDINANCE AMENDING CHAPTER 3 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF DEERFIELD OF 1975 TO  
INCREASE THE NUMBER OF AUTHORIZED CLASS C LIQUOR LICENSES  
FROM SIX (6) TO SEVEN (7)**

---

BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

**SECTION 1:** That Section 3-9 (Number of Licenses) of Chapter 3 (Alcoholic Beverages) of the Municipal Code of the Village of Deerfield of 1975, as amended, is hereby further amended by striking said Section in its entirety and substituting in lieu thereof the following:

Sec. 3-9. Number of Licenses.

There shall be issued in the Village no more than:

(a)	Class A	Three (3)
(b)	Class B	One (1)
(c)	Class BB	One (1)
(d)	Class C	Six (7)
(e)	Class D	Two (2)
(f)	Class D-1	Zero (0)
(g)	Class D-2	Zero (0)
(h)	Class E	Thirteen (14)
(i)	Class F	Zero (0)
(j)	Class G	Four (4)
(k)	Class H	None (0)
(l)	Class I	Two (2)
(m)	Class J	Zero (0)
(n)	Class K	One (1)
(o)	Class L	Zero (0)
(p)	Class M	Three (3)
(q)	Class N	One (1)
(r)	Class O	One (1)

**SECTION 2:** That the Village Clerk is hereby directed to publish this Ordinance in pamphlet form.

**SECTION 3:** That all ordinances or parts of ordinances in conflict herewith are, to the extent of such conflict, hereby repealed.

**SECTION 4:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

## REQUEST FOR BOARD ACTION

Agenda Item: 16-93

**Subject:** Report and Recommendation of the Plan Commission re: Request for Finding of Substantial Conformance for Approval of Changes to the Previously Approved Plans for 3 Parkway North Parking Structure Expansion (Fulcrum Asset Advisors, LLC)

**Action Requested:** Approval of Recommendation

**Originated by:** Plan Commission

**Referred to:** Mayor and Board of Trustees

### **Summary of Background and Reason for Request:**

Fulcrum Asset Advisors, LLC are proposing expanding the existing three level parking garage to the north of the existing parking garage which will include reconfiguring the surface parking lot to the east of the front door of the 3 Parkway North Center building. No changes will be made to the office building itself. In addition to the proposed parking garage, the petitioners have also been discussing with Village staff the use of Hawthorne Lane right-of-way for some additional parking for 3 Parkway North.

Hawthorne Lane is Village owned right-of-way at 50 feet wide, but the Parkway North Center maintains Hawthorne Lane under the terms of the Parkway North Center annexation agreement. The Plan Commission believes the petitioner's request for changes to the site plan to allow the additional parking garage and surface spaces is not substantial and a public hearing is not necessary for these changes. The Plan Commission believes the location of the parking garage is appropriate.

Should the Village Board accept the recommendation for substantial conformance, the portion of the project related to additional surface parking on Hawthorne Lane would be contingent upon approval of an ordinance vacating a certain portion of the right-of-way. Village Attorney Coblenz advised that a vacation ordinance would be the appropriate legal instrument to effectuate conveyance and a change in use of the land. Accordingly, staff would have an appraisal conducted on the area to be vacated and commence negotiations with Fulcrum Assets. Should negotiations be successfully, only then would a vacation ordinance be prepared for Board consideration.

### **Reports and Documents Attached:**

Recommendation Workshop

Minutes 8/11/16 Zoning Map

Aerial Photo

Petitioner's Materials

1989 Preapproved Garage and Landscape Plan as Background Information Only Crain's

Article – 6/22/16

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**RECOMMENDATION**

To: Mayor and Board of Trustees

From: Plan Commission

Date: August 11, 2016

RE: Request for a Finding of Substantial Conformance to Expand the Existing Parking Structure and New Surface Parking in Hawthorne Lane - Three Parkway Center

We transmit for your consideration a recommendation adopted by the Plan Commission of the Village of Deerfield on the request of the petitioners for additional parking at Three Parkway North. The Plan Commission held a workshop meeting on August 11, 2016. At that meeting, the petitioners presented testimony and documentary evidence in support of the request. A copy of the workshop minutes is attached.

In support of its request, the Plan Commission makes the following findings of fact and conclusions:

**FINDINGS OF FACT**

**Subject Property**

The subject property consists of the Parkway North Center planned unit development (PUD). The property is approximately 86 acres and is located at the southeast corner of Deerfield Road and Saunders Road. The subject property is zoned I-1 Office, Research, and Restricted Industrial District. The site is currently developed with six office buildings (buildings 1, 3, 4, 6, 9 and 10), a Marriott Suites Hotel (2 Parkway North), and a child care facility and health club in a one story building (5 Parkway North). The annexation agreement sets out the development requirements for the Parkway North Center Planned Unit Development.

The specific property where the expansion of the parking garage is proposed is Parkway North 3, which is a five story office building of approximately 255,092 square feet which is located at the south end of the development east of the Parkway North 4 office building, and west of the Marriott Suites Hotel.

**Proposed Plan**

The new owners of 3 Parkway North wish to provide more parking for their existing tenants, and they also want the ability to attract new tenants to the park who need adequate parking for their employees and visitors. A lot of today's office space are collaborative type of office spaces (open spaces where it is easier for workers to share ideas and solutions) and businesses are renting less office space and putting more employees into the space. This results in a need

for more parking for office users. Fulcrum Asset Advisors recently purchased three office buildings (Parkway North 3, 6, and 9) at Parkway North Center from The John Buck Company (see attached June 22, 2016 article attached to this memo). The petitioners are proposing expanding the existing three level parking garage to the north of the existing parking garage which will include reconfiguring the surface parking lot to the east of the front door of the 3 Parkway North Center building. No changes will be made to the office building itself. In addition to the proposed parking garage, the petitioners have also been discussing with Village staff the use of Hawthorne Lane right-of-way for some additional parking for 3 Parkway North. Hawthorne Lane is Village owned right-of-way at 50 feet wide, but the Parkway North Center maintains Hawthorne Lane under the terms of the annexation agreement.

The petitioners have provided a detailed written description/summary of the proposal in their material that explains the following: Their rationale for the new parking structure; An explanation of the type of construction proposed (precast structure) including an explanation of how the proposed structure is complimentary to the existing structure's façade with the use of the Green Screen; An explanation of the Green Screen including its benefits; Landscaping; and Lighting.

**Parking Summary**

Total Existing Parking Spaces: 799 spaces

601 surface (including 16 accessible spaces)

198 garage spaces (no accessible spaces)

Total Proposed Parking Spaces: 969 spaces

539 surface spaces (including 18 accessible spaces)

430 garage spaces (including 2 accessible spaces)

Total Proposed Parking Spaces in the Village Owned Hawthorne Lane Right-of-Way: 29 spaces

Note: The Plan Commission reviewed the land use plan for the entire project and not the permission to use Hawthorne Lane right-of-way as that request for the use of Village right-of-way is in the purview of the Board of Trustees and not the Plan Commission.

Net Gain of Parking Spaces on the Property: 170 parking spaces (62 spaces will be lost in the surface lot and 232 spaces will be added in the garage and there will be a net increase of 4 ADA parking spaces).

170 Net Gain (141 spaces on 3 Parkway North property and 29 spaces in Hawthorne Lane).

Under the annexation agreement, the size of the parking stalls was allowed to be reduced to 8 ½ feet in width by 18 feet in length. The petitioner’s plans indicate that they will meet or exceed this requirement.

**Access**

Access to the Parkway North Center development is from access points on Deerfield Road and Saunders Road. At Deerfield Road and Parkway North Boulevard, a signalized access point currently exists which became operational last year. At Saunders Road and Parkway North Boulevard, there is an existing signalized access point at Saunders Road and Parkway North Boulevard, and there will be a new unsignalized access point on Saunders Road north of the existing signalized access point that will be provided when the new five story office building is constructed for Parkway North 8. There is an existing unsignalized access point at Saunders Road and Hawthorne Lane that is south of the Saunders Road signalized access point. The existing access on Deerfield Road and Saunders Road for the Parkway North Center is not proposed to change as a result of the new parking structure proposed for 3 Parkway North Center.

For Hawthorne Lane, two new curb cuts (driveways) are proposed to be added in addition to the three existing curb cuts onto Hawthorne Lane from the Parkway North Center development. One of the new driveways is to Hawthorne Lane from the main Parkway North 3 parking lot, and the other new driveway is from the small parking lot to Hawthorne Lane.

**Traffic**

The petitioner’s traffic study summarizes the impact of the reconfiguration of the parking lot in addition to the new driveways on Hawthorne Lane. Page 2, last paragraph explains the impact on the inbound trips, and page 3 at the top explains the impact on outbound trips. The petitioner’s traffic study indicates that the proposed expansion and changes to the parking areas will not have an adverse impact to the local roadway network and the modified traffic flow into and out of the parking lots is safe and efficient. The traffic report also explains how cars enter and exit the parking garage and traffic flow in the garage. Pedestrian circulation is also discussed on page 4 of the traffic report and all of the additional new sidewalks will be provided throughout the property are shown on the site plan.

**Landscaping**

The petitioner’s landscaping plan shows the new landscaping throughout the 3 Parkway North property which will soften the added parking and complement the existing theme throughout the park. The trees that will have to be removed are shown on the plans.

**Fire Department Approval**

The Deerfield Bannockburn Fire Protection District has approved the site plan for emergency vehicle accessibility for the public meeting. The petitioners have provided a letter from the Deerfield-Bannockburn Fire Protection District stating that their preliminary site plan has been approved as submitted provided that the building is equipped with an automatic sprinkler system and the fire department connection for this system be located on the street side of the building within 100 feet of a municipal fire hydrant.

**Zoning Conformance**

**Request for a finding of a substantial conformance**

Changes to an approved planned unit development require Plan Commission consideration and must ultimately be approved by the Board of Trustees (Article 12.09-G). If the Plan Commission recommends that the proposed change to the Planned Unit Development is found to be in substantial conformance with the previous plan and the Board of Trustees agrees, a public hearing will not be required to amend the plan.

A parking garage was previously approved for the 4 Parkway North Building (to the west) many years in the past. This garage was visible from Saunders Road, but that plan was modified in the 1990's to construct a smaller office building and the parking garage was never constructed. For background purposes only, the original plan with the parking garage is attached, and the aerial photo shows what was constructed. Also, in 2003, a parking deck for 1 Parkway North office building was approved by the Village by substantial conformance, but that parking garage was never constructed.

Other request that were approved in the Substantial Conformance manner include:

- Venue One's approval of elimination of crosswalk across Corporate 500 Drive, and elimination of sidewalks to the south and east.
- A new parking lot for Textura located west of their existing parking lot due to the growth of their company.
- Changes to the Cadwell's Corners front parking lot and a vehicular connection to Just Tires.
- A second floor storage area for Tria Boutique in Deerfield Square.
- New sign faces and changing the colors of the ground signs at the Lake Cook Road Walgreens corporate campus.
- Walgreens solar panels on the roof of the 200 Wilmot Road building (Walgreens Wilmot Road campus).
- A change to the roof materials for the Coromandel townhomes to replace the cedar shake roofs with an asphalt shingle roof.

- A change to the sign plan for the former Stoney River Legendary Steakhouse to allow an increase in the size of the sign.
- A change in the Takeda Tollway sign to allow for a larger ground sign along the Tollway.
- A change in the parking lot at Hyatt Deerfield Road campus to add parking (the Hyatt Hotel and 102, 104, 106, and 108 Wilmot Road).

**CONCLUSIONS**

The Plan Commission believes the petitioner’s request for changes to the site plan to allow the additional parking garage and surface spaces is not substantial and a public hearing is not necessary for these changes. The Plan Commission believes the location of the parking garage is appropriate and noted that a second parking garage was approved to the west of office building # 4 in the Parkway North office complex in the past but was never constructed. The Plan Commission believes that the petitioner’s request is reasonable and appropriate and they are in favor of the proposed plan. The additional parking is needed as many of today’s office tenants are densifying their office spaces resulting in the need for more parking. The Plan Commission believes that the plans are laid out in a safe and efficient manner for both the motorist and the pedestrian. They believe the proposed plan will be an improvement to this area of the office park as it will increase available parking for the tenants and provides safe traffic flow as well as safely accommodating the pedestrian. The Plan Commission believes the proposed plan will be an improvement to the property and will help the owner with the current tight parking on their campus for existing tenants and will help to attract new tenants to the office park as well.

**RECOMMENDATION**

Accordingly, it is the recommendation of the Plan Commission that the petitioner’s request for a finding of a substantial conformance to allow the proposed changes to the Parkway North office park to construct an expansion of the parking deck and allow surface spaces at the south end of the property in the Hawthorne Lane right of way, be approved.

Ayes: (4) Benton, Bromberg, Shayman, Oppenheim

Nays: (0) None

Respectfully submitted,  
Mary Oppenheim, Chairperson  
Deerfield Plan Commission

## Article 12.09-G

### 12.09-G Changes to Approved Final Plan

Any subsequent change or addition to an approved Final Development Plan shall first be submitted for approval to the Plan Commission and, if in the Plan Commission's opinion, such a change or addition is not substantial, it may recommend approval to the Village Board without hearing. If such a change or addition is construed to be substantial, a public hearing shall be held prior to such a recommendation.

### 12.09-H Time Limits

If no substantial construction has begun or no use has been established in the Planned Unit Development within the time stated in the development schedule of the Final Development Plan, the Special Use for the Planned Unit Development shall become null and void. In its discretion and for good cause, the Village Board may extend for a reasonable time, not to exceed one (1) year, the period for the beginning of construction.

### 12.09-I Compliance with Regulations

Failure to comply with the conditions and regulations as herein established and as specifically made applicable to a Planned Unit Development shall be cause for termination of the approval for said Planned Unit Development. At least fifteen (15) days notice shall be given to the developer to appear before the Plan Commission and answer any such charge of non-compliance. If the Plan Commission finds the charges substantiated, they may recommend immediate termination of the project approval if the situation is not satisfactorily adjusted within a specific period.

## 12.10 PLANNED RESIDENTIAL DEVELOPMENT PROCEDURES

### 12.10-A Pre-Application Conference

Prior to filing a formal application for approval of a Planned Residential Development in that area which is bounded by Lake Cook Road, Wilmot Road, Hackberry Road and Willow Avenue, the applicant may request a pre-application conference with the Plan Commission. The purpose of a pre-application conference is to provide advice and assistance to the applicant.

### 12.10-B

#### 1. Application

Following the pre-application conference, application for approval of a Planned Residential Development shall be filed in accordance with the provisions of this Ordinance relating to Special Uses, except as specifically provided herein.

PLAN COMMISSION  
VILLAGE OF DEERFIELD

The Plan Commission of the Village of Deerfield held a Workshop Meeting at 7:30 P.M. on August 11, 2016 at the Village Hall, 850 Waukegan Road, Deerfield, Illinois.

Present were: Mary Oppenheim, Chairperson  
Bob Benton  
Al Bromberg  
Stuart Shayman

Absent were: Larry Berg  
Elaine Jacoby  
Jim Moyer

Also present: Jeff Ryckaert, Principal Planner  
Dan Nakahara, Associate Planner

**Public Comment on a Non-Agenda Item**

No public comment on a non-agenda item

- (1) Substantial Conformance: Request for Finding of Substantial Conformance for Approval of Changes to the Previously Approved Plans for 3 Parkway North Parking Structure Expansion (Fulcrum Asset Advisors, LLC)

Steven Wright, Principal, Wright Heerema Architects, introduced The Lakota Group as the landscape architect, V3 as the civil engineer, Walker Parking Consultants as the parking garage designers and, Fulcrum Asset Advisors (new owners of buildings 3, 6 and 9 Parkway North). Peter Broccolo, Principal at Fulcrum Asset Advisors, commented that Fulcrum is excited to be a part of the Parkway North Center and the ownership there, as it's one of the premier commercial business parks in the Village. Fulcrum feels that there is a tremendous opportunity to enhance the Parkway North Center while staying with the character of the Center. Mr. Broccolo commented that the tenant roster and the recent long term commitments that tenants have made in the office park is really exciting and a testament to the corporate identity of the Parkway North Center. Mr. Broccolo reiterated that Fulcrum Asset Advisors acquired the 3, 6 and 9 Parkway North properties, and that they are currently working with Steven Wright and his firm to develop plans, including the parking lot expansion in order to enhance some of the amenities there, and offer contemporary amenities and a premier tenant experience that Fulcrum believes will accelerate the leasing and maintain the long-term image that belongs in the Parkway North Center. Mr. Broccolo mentioned that in the process of acquiring the property Fulcrum has met with all the other land owners in the park as part of bringing together the Association, and the feedback on the supportive relationship

that they've had with the Village of Deerfield has really been testimony to how great it's been to work with the staff and the team here, and Fulcrum is looking forward to participating in that and living up to their end of that relationship as well.

Mr. Wright explained that the addition of the Marriott Hotel between 1 and 3 Parkway North was a modification to the original Masterplan, which changed the parking lot layout of 1 and 3 Parkway North in order to accommodate the hotel and its parking. Mr. Wright explained that times have changed over the years, and the Center's new tenants are interested in more density. Part of Mr. Broccolo's idea to update the tenant spaces to today's standards was to add more parking, and the most efficient way to utilize the existing space on the 3 Parkway North site was to add on to the existing parking garage. Mr. Wright explained that the design team was sensitive to fit the extension of the parking garage onto the site in a way that would not diminish the arrival sequence of the 3 Parkway North Building. The design of the parking garage addition does not extend north entirely, but rather is turned 90 degrees, instead of going just east-west like the existing parking garage, so that it would not be as intrusive on the existing building. By slightly turning the parking garage addition 90 degrees, the design team was allowed to create a forecourt for visitor parking at the entry to the building, which is an upgrade to the existing parking situation.

He explained that there will be a change in the building materials for the parking garage addition. The existing parking garage structure is constructed of a cast-in-place concrete with a precast façade; however, the parking garage extension is going to be constructed of precast concrete, which is currently the most popular and cost effective construction method. The parking garage extension is going to have different characteristics than the existing parking garage, as the concrete is structured differently. Due to the changes in construction methods for creating concrete structures, the design team was not able to simply continue the façade of the existing structure to add on the parking garage extension. The method used for the design of the parking garage extension is inherently different from the design of the existing parking garage, including deeper spandrels and different characteristics to the concrete. In order to unify the parking structure, as well as increase the greenery on the property, the design team is proposing placing a "Green Screen" on the west elevation of the new structure to create a softer, more natural façade. A "Green Screen" is a new product that consists of a mesh lining on the side of the building that receives the vines, allowing the vines to grow up the mesh and cover the wall to create a greener image. The goal is to visually separate the two parking structures, so that it's not one large mass of concrete, but rather two separate structures separated by the natural greenery of the "Green Screen".

Commissioner Bromberg asked if the proposed parking garage extension was at the front of the 3 Parkway North building. Mr. Wright responded that the parking garage extension is located at the corner of the 3 Parkway North property towards the south-east and the mesh screen (the "Green Screen") is located on the west elevation. Mr. Wright reiterated that the mesh screen is designed to have vines grow up the screen (eventually covering the entire west elevation), and explained that to stimulate the vines

to grow more quickly there are planter boxes located behind the screen at the second and third level, so that the vines fill in more quickly than would be expected if grown from the ground up. Chairperson Oppenheim asked if there would be an irrigation system connected to the planter boxes. Mr. Wright confirmed that there would be a drip irrigation system for the vines planter boxes, and explained that their landscape architects (The Lakota Group) were selecting plants that are more drought resistant and sustainable, as it's imperative to select plants that are resilient to the extreme weather conditions of the Midwest seasons. Mr. Wright explained that during the winter season, the vines covering the wall are going to be less full than in the spring and summer seasons when the leaves fill in; however, the design team feels that the changing appearance of the wall throughout the seasons is part of the interest of the walls design.

Mr. Wright explained that the parking garage extension is going to utilize the ramping in the existing garage, so that the entrance is through the existing garage and the ramps transition into the new garage on the upper levels, which is more efficient so that parking spaces are not eliminated by the addition of a second ramp. The forecourt in front of the 3 Parkway North Building is going to be slightly modified to include additional parking (including additional handicap spaces). The parking south of the garage is also going to be extended along Hawthorne Lane to include a double isle (currently a single isle) that opens up off of the parking garage. The new design also includes an additional connection to Hawthorne Lane on the east side of 3 Parkway North (similar to the Hawthorne Lane connections for 1 & 4 Parkway North & the Marriott Hotel). The new design has vehicles exiting from the parking garage, making their way between the garage and the 3 Parkway North building and accessing Hawthorne Lane to exit the property, which is more efficient for traffic flow as vehicles exit the property; it also serves as a safety outlet since it is an alternate access point to and from the property.

There will also be parking spaces added to the west in the southern field between the 3 and 4 Parkway North properties. The southern field is currently an underutilized part of the site, because traffic flows around the fountain (avoiding the south), which in turn allows that area to be a good place to capture a few more parking spaces. Additional handicap spaces are going to be included on the inside of the east-west road on the north of the building to allow for easier access to the front of the building. The handicap spaces are currently in the field of parking to the north of the east-west drive, so moving the handicap spaces closer to the building is a more advantageous area for those spaces. Commissioner Oppenheim asked if the area of parking in the southern field opened up to Hawthorne Lane. Mr. Wright explained that the access point to and from the parking area itself is off of Hawthorne Lane (but not the individual parking spaces). Mr. Wright commented that with the parking garage extension and addition of parking spaces in the parking field that an additional 170 parking spaces would be gained for the property, which would meet the demand of today's corporate tenants. Mr. Wright noted that the landscape design is consistent with the character of the entire property (as portrayed on the Masterplan for the Center), and the engineering was thoroughly discussed with the Village. The design team is excited that the design has both new,

unique additive features, as well as complementary features that are consistent with the overall character of the Parkway North Center.

Chairperson Oppenheim commented that the Village is delighted to be able to offer the petitioners the opportunity to meet with the Plan Commission to request their approval for Substantial Conformance, rather than going through the Public Hearing process, which would take longer. Chairperson Oppenheim pointed out that the original plan for the 3 Parkway North site included an additional parking garage structure; however, that parking garage was not constructed. Since an additional parking garage was on the original approved plans for the 3 Parkway North site, the petitioners are able to request approval for the proposed parking lot extension as Substantial Conformance. Chairperson Oppenheim commended the Parkway North Center and its planned coordination for developing the property. Chairperson Oppenheim commented that the landscape plan is consistent with the character of the entire property, and fits in both conceptually and visually with the existing landscape. Chairperson Oppenheim commented that it may be difficult to grow vines on a west facing wall; suggesting that Porcelain Vine which is a hardier, more prolific plant, may be a better option than English Ivy, since Porcelain Vines are more resilient and would be able to better endure the severe weather of the different Midwest seasons.

Commissioner Bromberg inquired about the time line that the petitioners have for the parking garage extension. Mr. Wright responded that if they receive a favorable recommendation from the Plan Commission and approval from the Board that they would submit their drawings for permit directly, and start on the project as soon as the permit was issued. Mr. Broccolo commented that Fulcrum has tenant space available to lease in the 3 Parkway North Building, and their plan is to construct the parking garage extension as soon as all the necessary approvals and permits are received, so that the space is more appealing to potential tenants looking to locate their corporations in a building with a denser, more modern space to fit their needs. Commissioner Bromberg inquired about the construction process for constructing the new parking garage extension, and asked if the existing parking garage would be unusable for a period of time during the new construction. Mr. Wright confirmed that part of the existing parking garage at the transition to the new parking garage extension will be unusable for a period of time; however, there is temporary parking available in the far north-east corner, and the construction should be performed without disrupting operations on the property. Chairperson Oppenheim reiterated that the new construction is going to be a temporary inconvenience where the parking is going to be temporarily shifted to a different location on the site. Chairperson Oppenheim commended the petitioners for the addition of the new forecourt area between the parking deck and the existing building, as its layout appears to be creating a much safer situation for pedestrians walking across the parking area and entering the building; especially for accessibility. Chairperson Oppenheim also commented that the parking study determined that the proposed addition and changes would not have more impact going out onto Hawthorne Lane and exiting from the Center.

Commissioner Benton commented that it appeared that there are lots of available handicap spaces on the main floor, but that he was concerned that there is not elevator access for handicap accessibility on the upper floors of the parking garage extension. Mr. Wright commented that the upper floors of the existing garage are not handicap accessible, and since the new parking garage extension is going to utilize the existing ramps for access to the upper levels that the new design has all of the handicap accessible spaces on the ground floor. Mr. Wright commented that the parking lot design restricts their ability to provide handicap accessibility to the upper floors, but the design is an improvement to the current situation in that all the handicap accessible spaces are on the ground level, which are closer to the building. Chairperson Oppenheim asked for confirmation that there won't be any handicap accessible spaces on the upper levels of the parking structure, but rather all of the handicap parking is going to be located on the ground level. Mr. Wright confirmed that all the handicap accessible spaces were on the ground level, both outside in the new court and inside of the first level of the new structure. Commissioner Benton noted that there appears to be plenty of accessible spaces included in the plans for the new design. Chairperson Oppenheim confirmed that the number of accessible spaces included in the plans were consistent with the required number of handicap accessible spaces according to the Village's Code.

Chairperson Oppenheim commented that the petitioners are proposing to add 170 spaces to the parking structure, and asked if they felt like that more accurately reflected the needs of modern corporations in terms of reconfiguring the tenant spaces in the Parkway North Center to achieve a more contemporary office situation. Mr. Broccolo confirmed that Fulcrum is confident that their proposed changes to the property are going to attract more potential tenants; explaining that tenants are now densifying their spaces and the ratios that were appropriate when the site was originally constructed with the existing parking garage is just not very competitive in today's market. The competitive set of the buildings in the area that the 3 Parkway North Building competes with are a little higher. The current parking ratio for the 3 Parkway North Building is about 3.1 per 1000 sf, and the proposed parking plans are going to increase that ratio to 3.8 per 1000 sf, so that 3 Parkway North can be on a competitive level with most of their competitor properties.

Commissioner Shayman asked if there would be any changes to signage due to the proposed parking garage extension. Mr. Wright confirmed that there would be some additional directional signage; however, the new signage that 3 Parkway North recently added just a few years ago is going to remain in the same places, and the new directional signage is going to be consistent with the existing sign typology. The new signage is going to consist of visitor parking and directional signage to the parking garage, but there is not going to be any major changes to the signage. Chairperson Oppenheim asked if the parking lot extension would change the flow of the traffic in the parking lot anywhere other than in the immediate vicinity of the additional parking deck. Mr. Wright confirmed traffic would only change in the immediate vicinity of the 3 Parkway North parking lot.

Chairperson Oppenheim advised the petitioners that they would need to have a discussion with the Village in terms of their use of Hawthorne Lane. Mr. Ryckaert advised that the Board would want a formal agreement in terms of the use of Hawthorne Lane. Mr. Wright commented that an agreement between the Village and 3 Parkway North already exists. Chairperson Oppenheim clarified that the agreement may need to be reexamined in the near future to ensure that everything is properly covered in terms of the use of Village property for parking.

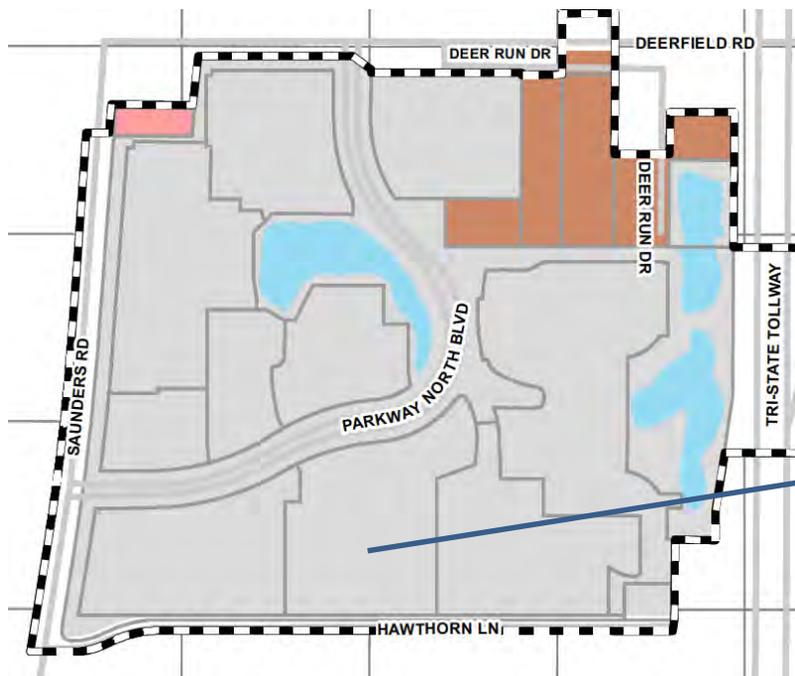
Commissioner Benton motioned to approve changes to the previously approved plans for 3 Parkway North Parking Structure Expansion and found the changes to be in Substantial Conformance. Commissioner Bromberg seconded the motion. The vote was as follows:

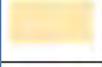
Ayes: Benton, Bromberg, Shayman, Oppenheim  
Nays: None

The motions passed and will be on the September 6<sup>th</sup> Village Board of Trustees Meeting agenda.

Respectfully Submitted,  
Mary Glowacz

# Village of Deerfield 2016 Zoning Ordinance Map



	<b>R-1</b>	SINGLE FAMILY DISTRICT ONE FAMILY DWELLINGS AND ACCESSORY USES
	<b>R-2</b>	SINGLE FAMILY DISTRICT SAME AS R1
	<b>R-3</b>	SINGLE FAMILY DISTRICT SAME AS R1
	<b>R-4</b>	SINGLE & TWO FAMILY ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	<b>R-5</b>	GENERAL RESIDENCE ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	<b>C-1</b>	VILLAGE CENTER
	<b>C-2</b>	OUTLYING COMMERCIAL
	<b>C-3</b>	LIMITED COMMERCIAL OFFICE
	<b>I-1</b>	OFFICE, RESEARCH, RESTRICTED INDUSTRY
	<b>I-2</b>	LIMITED INDUSTRIAL
	<b>P-1</b>	PUBLIC LANDS SCHOOLS, PARKS, PUBLIC BUILDINGS & CEMETERIES

# Parkway North Center



# 3 Parkway North Plan Commission Table of Contents

1. Project Summary
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  - a. Campus Plan
  - b. New Work Site Plan
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  - b. Rendered Site Plan
  - c. Plant Palette
4. Garage
  - a. 3D Rendering
  - b. Rendered Garage Elevation
  - c. Garage Plans, Elevations and Sections
5. Civil
  - a. Civil Engineering Documents
  - b. Lighting Cut Sheets
  - c. Traffic Study
6. Additional
  - a. Letter of Fire Department Approval

### **3 Parkway North – Project Summary**

Throughout its history Parkway North Center has enjoyed the reputation as the Premier Corporate Business Park in the Chicago Metro Area. In order to maintain that status, the buildings within the Park need to address today's Corporate expectations. The new owners of Three Parkway North Center have developed a plan to meet or exceed those enhanced expectations. This includes a number of interior improvements to the lobby and winter garden café, the possible addition of a fitness center as well as providing additional parking.

At the time of the development of the Park, the original Masterplan for the Park was updated to include the Marriott Hotel. This necessitated the modification of the parking fields for both One PNC and Three PNC to allow for the footprint of the hotel and its parking. In the case of Three PNC this reduced the available land for parking and a small Parking Garage was added to replace some, but not all of the lost parking.

Over the recent years, Corporate users have continued to seek greater and greater efficiency for their space and this has raised the density of the occupancy in the spaces. To meet this demand, the new owners are proposing to expand the existing deck and add surface spaces to the south of the existing garage and winter garden. The result would increase the parking ratio for the existing 3.1 / 1000 up to 3.8 / 1000.

The proposed three story garage addition is situated to the north of the existing structure and is connected on the second and third levels to those levels in the existing garage and utilizes the existing ramping. The two bay wide structure is held to the east to allow a gracious forecourt at the entry to the building. The forecourt will contain visitor parking and handicapped spaces. While the existing parking garage is not handicapped accessible due to insufficient height clearance, the first level of the new structure will provide the required number of covered fully accessible handicapped spaces.

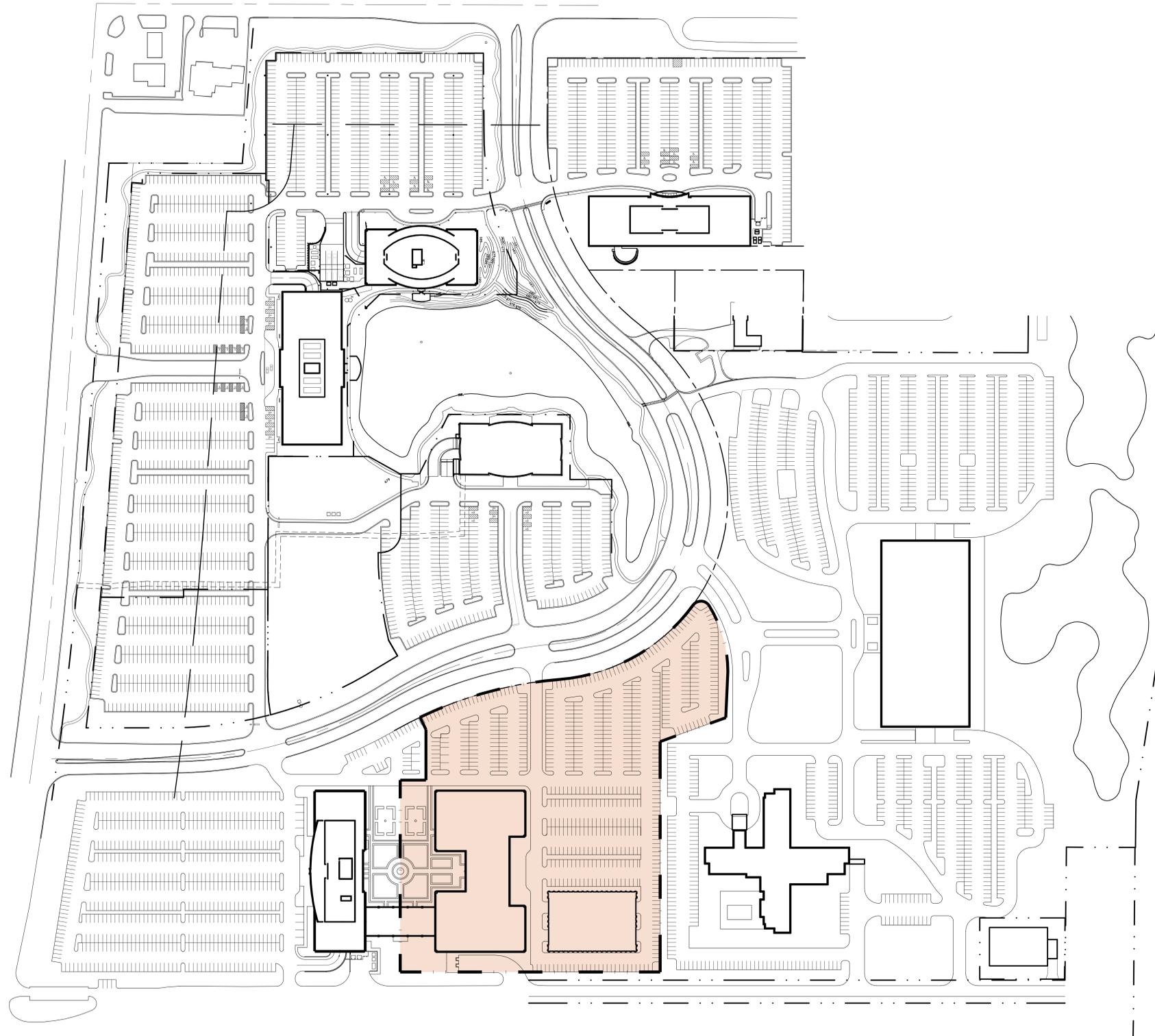
The existing garage is constructed of cast-in-place concrete which was the prevalent method of garage construction at that time. In today's construction market, the most popular and cost effective method is a precast concrete structure which is poured off site and erected more quickly on site. It is our intention to utilize a precast structure. This method has some inherent differences in its design including a deeper spandrel condition. These differences make the "match" to the existing garage more difficult. While we could replicate the distinctive precast piers, the structure behind them would be different. The result would be something less than a real match.

Our solution is to create something different from but complimentary to the existing structure's façade. We are proposing to utilize a "Green Screen" planted element on the west elevation of the new structure to create a softer more welcoming back drop to the forecourt. This element will also serve to reduce the apparent size of the addition by not continuing the same façade but having two smaller elements. The plants will be grown from not only the ground but also from planter boxes on both upper levels to ensure better coverage of the plants. The northwestern corner will be accented by the glass enclosed stair tower. The new precast will match the color of the existing precast.

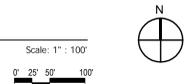
An added benefit of using the Green Screen system is its inherent sustainable properties. The use of this product to clad the building will help in part to reduce storm water runoff and increase the presence of vegetation on site. In addition, the structure that the plants grow on is manufactured using a combination of post and pre-consumer recycled material.

Lastly, we are proposing to add surface spaces south of the garage just north of Hawthorn Lane, south of the winter garden accessed off Hawthorn Lane and north of the courtyard between 3PNC & 4PNC. In all cases the new Landscaping will soften the added parking and complement the existing theme utilized throughout the Park. New parking zones will be supplemented with light fixtures matching existing. Where possible, the existing light poles will be relocated. Near the newest handicap parking to the North of the building, a modified 10' pole is being proposed of the same fixture. LED wall packs are proposed around the existing and new parking structures. The existing lighting is run on photocell sensors and are on from dusk to dawn and are planned to continue to operate unchanged. The newly proposed parking does not affect the current snow removal plans.

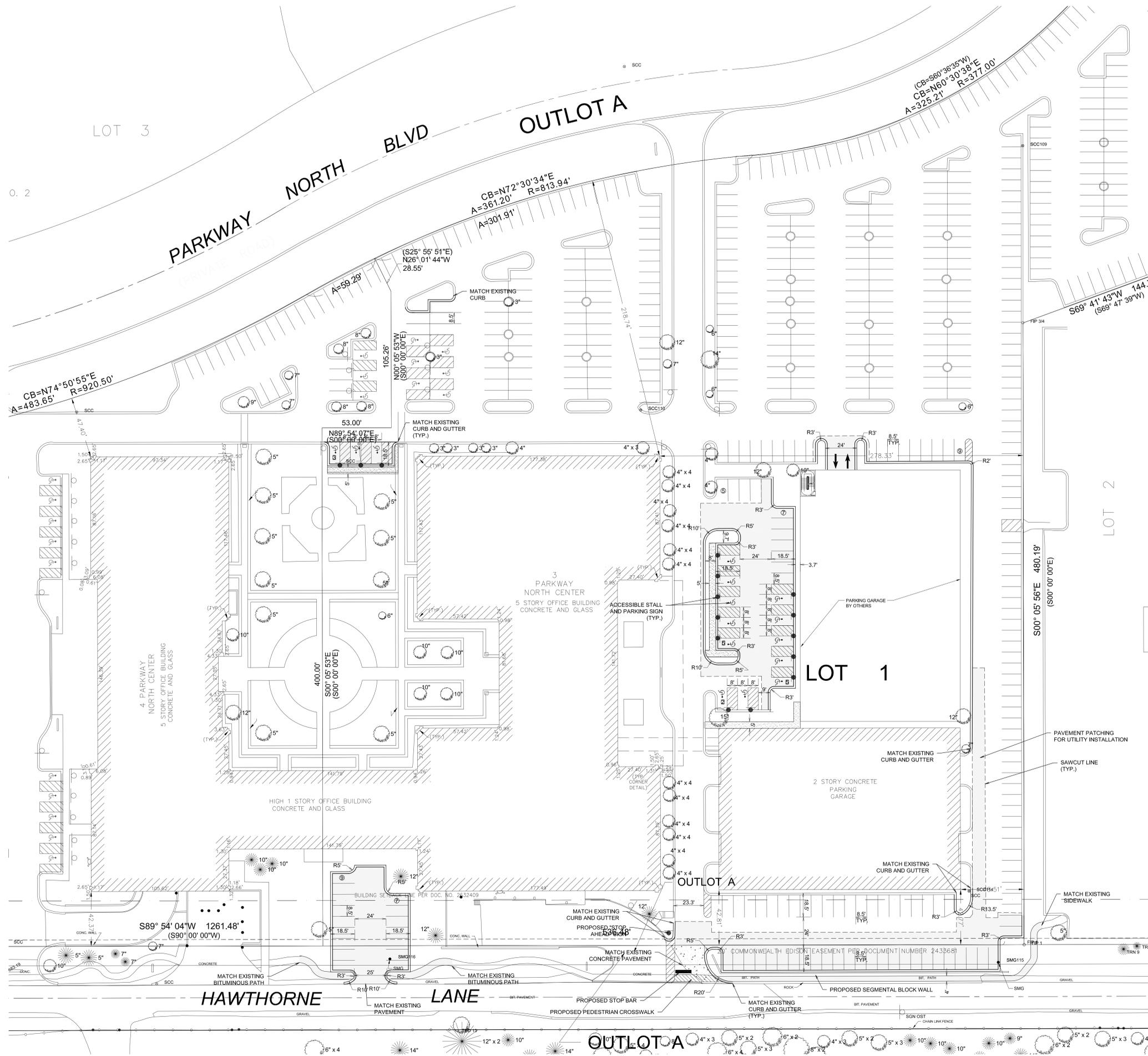
In short we believe these upgrades meet the high standards that the Village and the Park have maintained for the Development and respectfully request their approval.



1 OVERALL SITE PLAN



AUGUST 1, 2016



**LAYOUT NOTES:**

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

**PARKING SUMMARY**

**EXISTING**  
 SURFACE PARKING STALLS = 601 (INCLUDES 16 ACCESSIBLE STALLS)  
 GARAGE PARKING STALLS = 198  
**TOTAL NET PARKING STALLS = 799 (INCLUDES 16 ACCESSIBLE STALLS)**  
 EXISTING PARKING RATIO = 3.1 / 1000

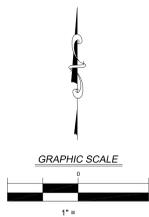
**PROPOSED**  
 SURFACE PARKING STALLS GAINED = +96  
 SURFACE PARKING STALLS LOST = -158  
 EXISTING SURFACE PARKING STALLS = 601  
 NET SURFACE PARKING STALLS = 539 (INCLUDES 18 ACCESSIBLE STALLS)

**PROPOSED GARAGE PARKING STALLS GAINED = +242**  
 EXISTING GARAGE PARKING STALLS LOST = -10  
 EXISTING GARAGE PARKING STALLS = 198  
 NET GARAGE PARKING STALLS = 430 (INCLUDES 2 ACCESSIBLE STALLS)

**TOTAL NET PARKING STALLS = 969 (INCLUDES 20 ACCESSIBLE STALLS)**  
 NEW PARKING RATIO = 3.8 / 1000

**SITE DATA SUMMARY**

TOTAL PARKING STALLS = 969 (INCLUDES 20 ACCESSIBLE STALLS)  
 TOTAL SITE ACREAGE = 7.95 ACRES



SITE AREA SUMMARY	SQUARE FEET	ACRES		
3 PARKWAY NORTH	346,302 SQ. FEET	7.95 ACRES		
BUILDING AREA SUMMARY	STORIES	GBA:	RSF:	LSA:
	5	265,336 SF	254,916 SF	224,198 SF
PARKING SUMMARY	SURFACE	GARAGE	TOTAL PROVIDED	TOTAL REQUIRED
	539 CARS (Including 18 H.C.)	430 CARS (Including 2 H.C.)	969 CARS (Including 20 H.C.)	926 CARS (224,198 x 3.3 = 740, 265,336 x 0.7 = 186)

PARKWAY NORTH BOULEVARD

APPROXIMATE LIMITS OF WORK

EXISTING BUILDING

EXISTING SHADE TREE TO REMAIN, TYP.

APPROXIMATE LIMITS OF WORK

EXISTING PARKING DECK

EXISTING EVERGREEN TREE TO REMAIN, TYP.

EXISTING EVERGREEN TREE TO BE REMOVED, TYP.  
EXISTING ORNAMENTAL TREE TO BE REMOVED, TYP.

HAWTHORNE LANE

LANDSCAPE KEY

-  EXISTING SHADE TREE
-  EXISTING EVERGREEN TREE
-  EXISTING ORNAMENTAL TREE
-  TREE TO BE REMOVED

- NOTE:
1. A TREE SURVEY VERIFYING SPECIES AND CONDITIONS WILL BE CONDUCTED AS REQUIRED AND A MORE DETAILED LANDSCAPE PLAN IS DEVELOPED.
  2. ALL INFORMATION ON THIS SHEET DEPICTS EXISTING CONDITIONS.



**LANDSCAPE KEY**

	SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	DECIDUOUS SHRUB
	PERENNIALS / GROUNDCOVER

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
<b>DECIDUOUS TREES</b>			
AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3" caliper
CO	Celtis occidentalis	Common Hackberry	3" caliper
GT	Gleditsia triacanthos inermis 'Skyline'	Skyline Thornless Honeylocust	3" caliper
PCA	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	3" caliper
QM	Quercus macrocarpa	Bur Oak	3" caliper
TC	Tilia cordata 'Greenspire'	Littleleaf Linden	3" caliper
UAA	Ulmus 'Accolade'	Accolade Elm	3" caliper
UH	Ulmus 'Homestead'	Homestead Elm	3" caliper
<b>ORNAMENTAL TREES</b>			
AC	Amelanchier canadensis	Shadblow Serviceberry	6'-10' ht.
AG	Alnus glutinosa	Black Alder	6'-10' ht.
BN	Betula nigra 'Heritage'	Heritage River Birch	6'-10' ht.
CC	Cercis canadensis	Eastern Redbud	6'-10' ht.
CCI	Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	6'-10' ht.
MSO	Magnolia soulangiana 'Saucer'	Saucer Magnolia	6'-10' ht.
MA	Malus x 'Adirondack'	Adirondack Crabapple	6'-10' ht.
MM	Malus x 'Marilee'	Marilee Crabapple	6'-10' ht.
MP	Malus x 'Prairiefire'	Prairiefire Crabapple	6'-10' ht.
MR	Malus x 'Red Baron'	Red Baron Crabapple	6'-10' ht.
<b>EVERGREEN TREES</b>			
PGD	Picea glauca 'Densata'	Black Hills Spruce	6'-12' ht.
PPG	Picea pungens 'Glauca'	Colorado Blue Spruce	6'-12' ht.
PM	Pseudotsuga menziesii	Douglas Fir	6'-12' ht.

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
<b>DECIDUOUS SHRUBS</b>			
AM	Aronia melanocarpa	Glossy Black Chokeberry	18-30" ht.
HA	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	24-36" ht.
HP	Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	24-36" ht.
RA	Rhus aromatica 'Gro-Low'	Fragrant Sumac	5 gal.
RC	Rosa 'Flower Carpet Pink'	Flower Carpet Pink Shrub Rose	5 gal.
RK	Rosa 'Knockout'	Knockout Rose	5 gal.
SM	Syringa meyeri	Dwarf Korean Lilac	5 gal.
VD	Viburnum dentatum	Arrowwood Viburnum	24-36" ht.
VP	Viburnum prunifolium	Blackhaw Viburnum	3' ht.
VTW	Viburnum trilobum 'Wentworth'	Wentworth American Cranberrybush	18-30" ht.
<b>EVERGREEN SHRUBS</b>			
BM	Buxus microphyla 'Wintergreen'	Wintergreen Boxwood	18"-36" ht.
TM	Taxus media 'Densiformis'	Dense Yew	18"-30" spr.
TMH	Taxus media 'Hicksii'	Hicks Yew	18"-30" spr.
TOE	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	6' -8' ht.
JCK	Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	5 gal.
<b>PERENNIALS/GRASSES</b>			
cas	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.
ep	Echinacea purpurea 'Magnus Pink'	Purple Coneflower	1 gal.
hh	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.
hp	Heuchera micrantha 'Purple Palace'	Purple Palace Coral Bells	1 gal.
hgc	Hosta 'Guacamole'	Guacamole Hosta	1 gal.
hss	Hosta Sum and Substance	Sum and Substance Hosta	1 gal.
nm	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal.
pah	Pennisetum apolocuroides 'Hameln'	Dwarf Fountain Grass	1 gal.
pat	Perovskia atriplicifolia	Russian Sage	1 gal.
rf	Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gal.
sa	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.
sh	Sporobolus heterolepis	Prairie Dropseed	1 gal.
<b>GROUNDCOVERS</b>			
lsp	Liriope spicata	Lilyturf	3" pot/quart
pt	Pachysandra terminalis	Japanese Flowering Spurge	3" pot/quart
vm	Vinca minor 'Bowles'	Bowles Periwinkle	3" pot/quart
wt	Waldsteinia ternata	Barren Strawberry	3" pot/quart
<b>VINES</b>			
cr	Campsis radicans	Trumpet Vine	1 gal.
cj	Clematis 'Jackmanii'	Clematis	1 gal.
hh	Hedera helix	English Ivy	1 gal.
ptr	Parthenocissus tricuspidata	Virginia Creeper	1 gal.

**NOTE:**

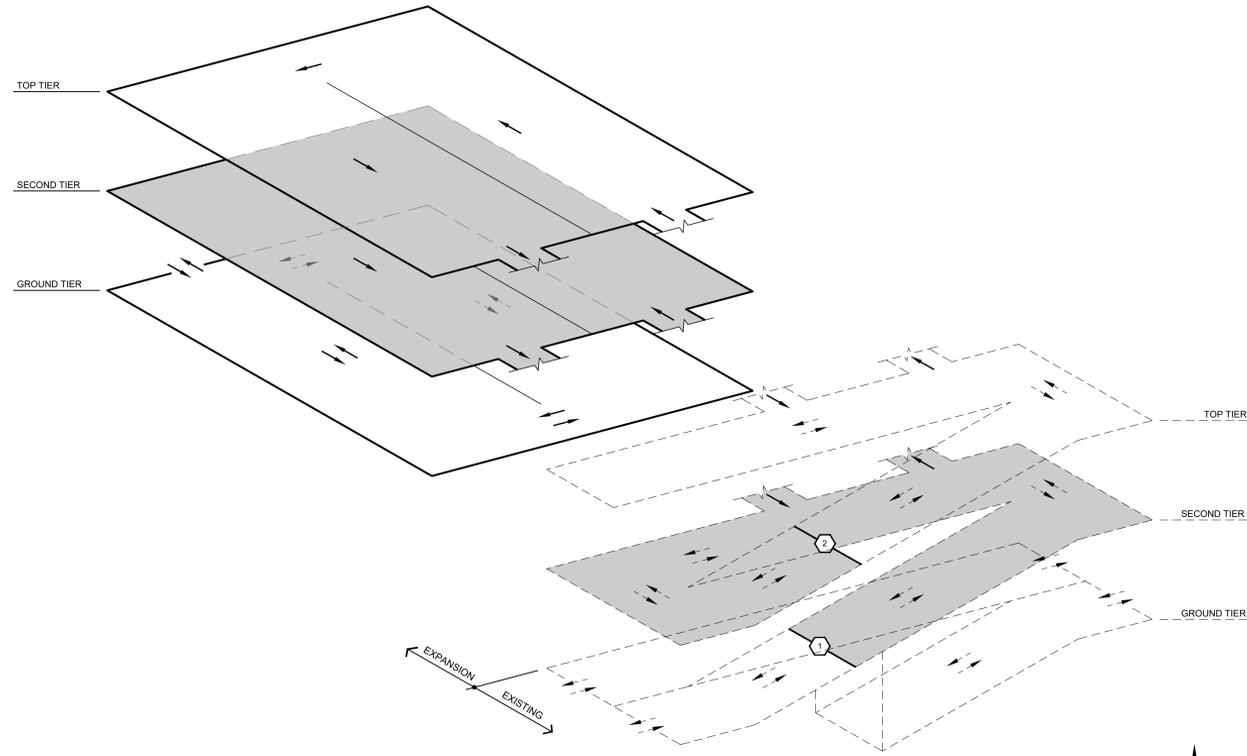
THE LANDSCAPE PLAN WILL CONSIST OF, BUT IS NOT LIMITED TO, THE PLANT MATERIAL LIST AS SHOWN. PLANT SIZES SPECIFIED IN FINAL LANDSCAPE PLAN WILL DEPEND ON AVAILABILITY IN NURSERIES AT PLANTING TIME.





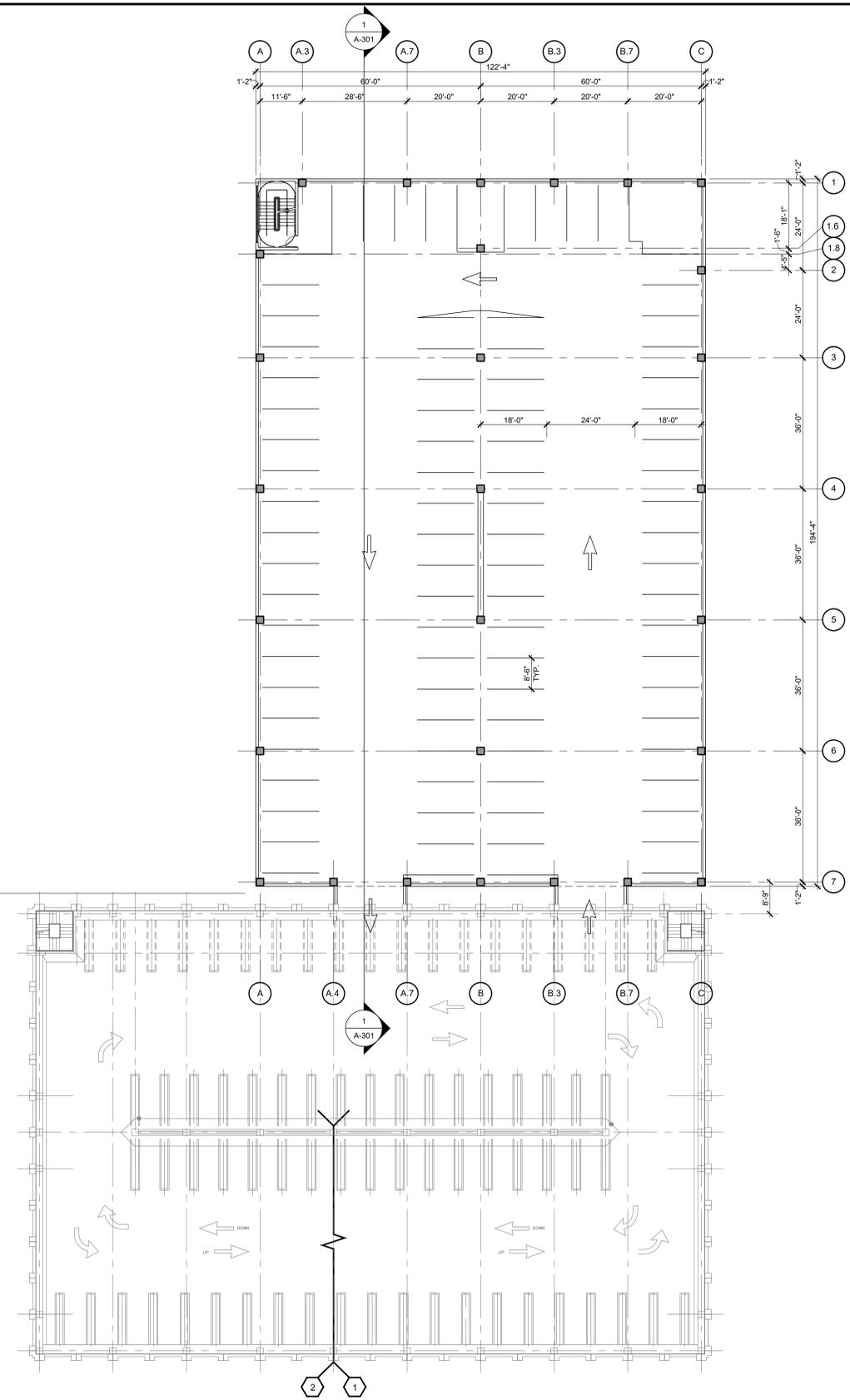


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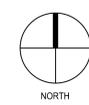
ISOMETRIC

PROPOSED STRUCTURE  
EXISTING STRUCTURE



2 SECOND TIER PLAN

0 8' 16' 32'  
1/16" = 1'-0"



Walker Parking Consultants  
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**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION
08-01-18		PLAN COMMISSION SUBMITTAL
07-15-18		PLAN COMMISSION SUBMITTAL

PROJECT NO: 31-7767.01  
DRAWN BY: JPD  
CHECKED BY: GHK  
SHEET TITLE:

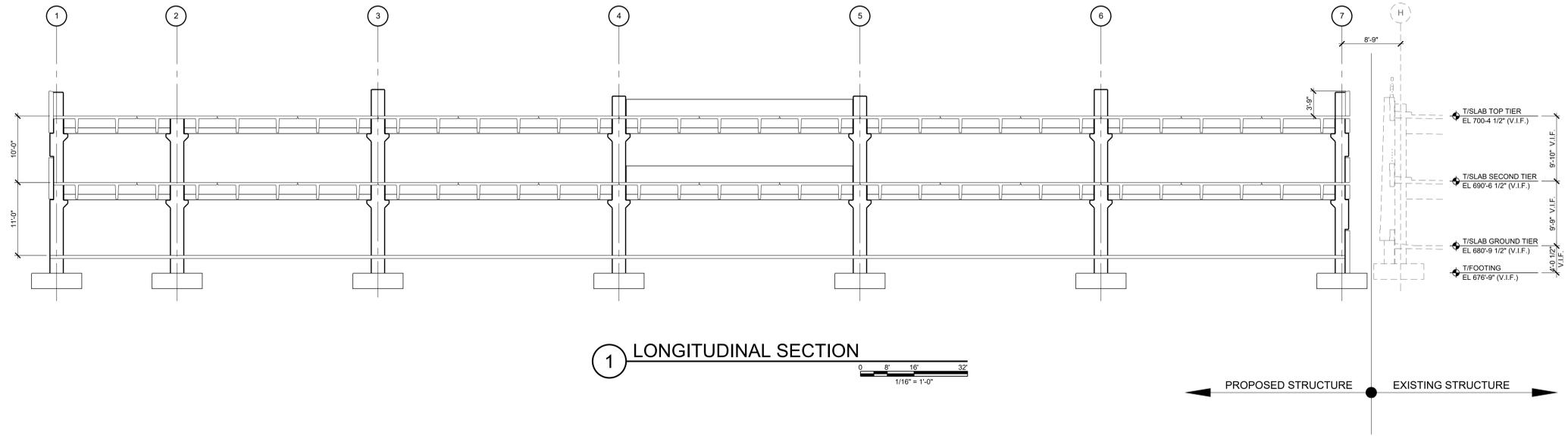
**SECOND TIER PLAN**

**A-102**





J:\31-7767-30-3\_PARKWAY\_NORTH\_EXPANSION\DELIVERABLES\PUD SUBMISSION\PUD DWG\SI\787A-301.DWG 8/1/2016 11:20:37 AM DAHLHAUSER, IOEL



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**PARKING STRUCTURE EXPANSION**  
 DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION
08-01-18	07-15-18	PLAN COMMISSION SUBMITTAL
		PLAN COMMISSION SUBMITTAL

PROJECT NO: 31-7767.01  
 DRAWN BY: JPD  
 CHECKED BY: GHK

SHEET TITLE:  
**BUILDING SECTIONS**

**A-301**

FINAL ENGINEERING PLANS  
FOR  
**3 PARKWAY NORTH**  
PARKING STRUCTURE EXPANSION  
DEERFIELD, ILLINOIS

**PROJECT TEAM**

**ARCHITECT**

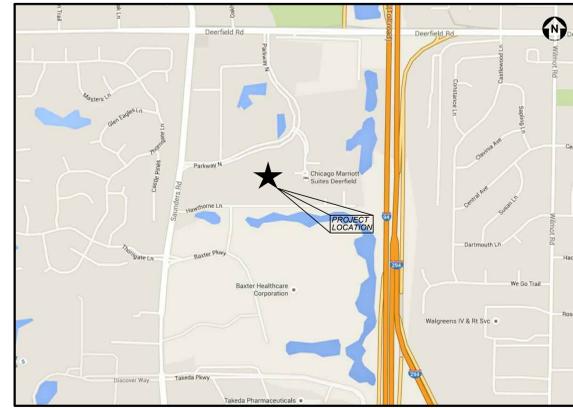
Wright Heerema Architects  
140 South Dearborn, Suite 200  
Chicago, Illinois 60603  
312 913 1010  
Contact: Steven Wright

**ENGINEER**

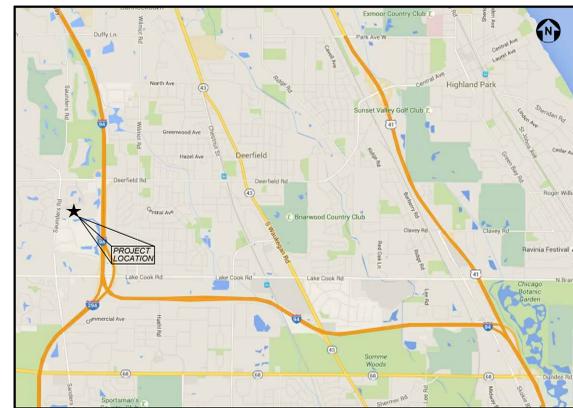
V3 Companies of Illinois, Ltd.  
7325 Janes Avenue  
Woodridge, Illinois 60517  
630 724 9200  
Project Manager: Amit Pathak, P.E., LEED AP  
Project Engineer: Lisa Cassaidy, P.E.

**PARKING CONSULTANTS**

Walker Parking Consultants  
505 Davis Road  
Elgin, Illinois 60123  
847 697 2640  
Contact:



LOCATION MAP  
NO SCALE



VICINITY MAP  
NO SCALE

**INDEX OF DRAWINGS**

- C-000 TITLE SHEET
- C-100 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C-200 EXISTING CONDITIONS PLAN
- C-201 DEMOLITION PLAN
- C-300 LAYOUT AND PAVING PLAN
- C-400 GRADING PLAN
- C-401 EROSION CONTROL PLAN
- C-402 EROSION CONTROL DETAILS
- C-500 UTILITY PLAN
- C-600 CONSTRUCTION DETAILS
- P-100 PHOTOMETRIC PLAN

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Photo: Hanna A. Dasgupta  
EOR: JACO Urban Landscape

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**3 PARKWAY NORTH**  
PARKING STRUCTURE EXPANSION  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION
2	08/11/16	PLAN COMMISSION
1	07/21/16	PLAN COMMISSION

PROJECT NO: 96031.WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:

**TITLE SHEET**  
**C-000**

**Call Before You Dig**  
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Call 48 hours before you dig

Joint Utility Locating Information for Excavators

**BENCHMARKS**

SOURCE: ESTABLISHED VIA TRIMBLE VRS NETWORK. DATUM IS NAVD83

SITE: ESTABLISHED BY V3 COMPANIES DATE: 12-28-14 ELEVATION: 881.20 (MEASURED) DATUM: NAVD83 DESCRIPTION: SET CUT CROSS AT NORTH SIDE OF LIGHT STANDARD BASE, SOUTH OF THE SOUTHWEST CORNER OF PARKING GARAGE.

STATION DESIGNATION: SBM#1

ESTABLISHED BY V3 COMPANIES DATE: 12-28-14 ELEVATION: 884.80 (MEASURED) DATUM: NAVD83 DESCRIPTION: NINE ANCHOR FLANGE BOLT ON FIRE HYDRANT, LOCATED SOUTH OF BITUMINOUS PATH EAST OF CONCRETE LOADING DOCK.

STATION DESIGNATION: SBM#2

**PROFESSIONAL ENGINEER'S CERTIFICATION**

I, AMIT PATHAK, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF WRIGHT HEEREMA ARCHITECTS BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2016.

ILLINOIS LICENSED PROFESSIONAL ENGINEER  
MY LICENSE EXPIRES ON NOVEMBER 30, 2017  
ILLINOIS LICENSED DESIGN FIRM NO. 184-000802

E:\19609603196031.WHA\DRAWINGS\CADD\LD\504\SHEET DRAWINGS\C-000 TSH96031.WHA.DWG 7/21/2016 10:14:03 AM LISA CASSAIDY

I:\19609603196031.WHA\Drawings\CADD\LD\504\SHEET DRAWINGS\C-000 TSH96031.WHA.dwg 7/25/2016 1:25:44 PM cassaidy

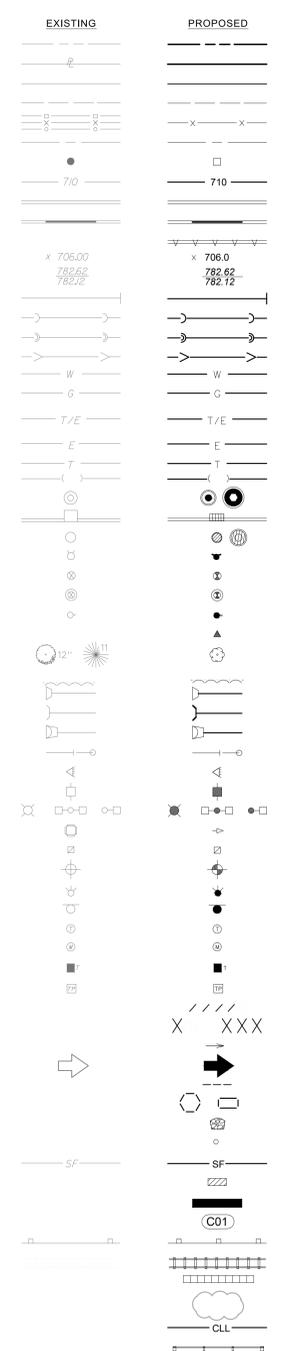
- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:  
**V3 COMPANIES OF ILLINOIS LTD,  
7325 JAMES AVENUE  
WOODRIDGE, IL 60517**  
COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
- CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREES TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTORS) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:  
a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.  
b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.  
c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.  
d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF DEERFIELD.  
e. THE NATIONAL ELECTRIC CODE.  
f. THE ILLINOIS ACCESSIBILITY CODE.
- CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
- ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE RIPRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIGHER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF DEERFIELD MUNICIPAL CODE AND IDOT REQUIREMENTS.
- NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.
- NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "JULIE," AT 1-800-892-012. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.

- BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL. DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.
- ALL CURB RADI REFER TO BACK OF CURB.
- ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.
- STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
- CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.
- BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.
- BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.
- WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.
- ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNERS SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
- PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.
- ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COMMENCE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.
- CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.
- THE SUBCONTRACTOR SHALL INSTALL A 2'x4'x6" POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.
- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNERS WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE PERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE OF WORK, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND

- THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.
- THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.
- ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1" TOLERANCE OF DESIGN SUBGRADE.
- THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.
- BORROW PIT (LOCATION(S)) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.
- SANITARY SEWER
  - SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:  
a. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D2241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.  
b. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).  
c. WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.
  - MINIMUM COVER OVER WATER MAIN SHALL BE 5'-6" FROM FINISHED GRADE TO TOP OF PIPE.
  - VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VALVETS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
  - THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.
  - WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
  - ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL
- WATERMAIN DISTRIBUTION SYSTEM
  - WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:  
a. DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, AWWA C-104 AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11, AWWA C-111.  
b. POLYVINYL CHLORIDE PIPE, PVC CONFORMING TO ASTM D2241.  
c. WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.
  - MINIMUM COVER OVER WATER MAIN SHALL BE 5'-6" FROM FINISHED GRADE TO TOP OF PIPE.
  - VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VALVETS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".
  - WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.
  - PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DRUM TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE

- STORM SEWER
  - STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:  
A. REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-361, UNLESS OTHERWISE NOTED.
  - POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMETRIC GASKETED JOINTS CONFORMING TO ASTM D3212.
  - HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3505 WITH ELASTOMETRIC JOINTS CONFORMING TO ASTM D3212.
  - DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).
- STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".
- IEPA CROSSING REQUIREMENTS
  - HORIZONTAL SEPARATION:  
A. WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.  
B. WATERMANS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:  
I. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET.  
II. THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND  
III. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.  
C. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
  - VERTICAL SEPARATION:  
A. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMANS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.  
B. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:  
I. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9a) ABOVE, OR  
II. THE WATERMAIN PASSES UNDER A SEWER DRAIN.  
C. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.  
D. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

- SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONSTRUCTION JOINTS SHALL BE SET AT 5' CENTERS AND 1/4" NCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR, ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.
- TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.
- ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.



EXISTING	PROPOSED	DESCRIPTION	
		RIGHT-OF-WAY LINE	A
		PROPERTY LINE (EXTERIOR)	B-B
		LOT LINE (INTERIOR)	B-C
		EASEMENT LINE	BLM
		FENCE LINE	BM
		CENTERLINE	B/P
		PROPERTY CORNER	B/V/V
		CONTOUR	C & G
		CURB & GUTTER	CB
		DEPRESSED CURB & GUTTER	C
		REVERSE PITCHED CURB	CL
		SPOT ELEVATION	CO
		TOP OF CURB ELEVATION	CO
		EDGE OF PAVEMENT ELEVATION	CO
		UTILITY STUB	DIP
		SANITARY SEWER	DIA
		SANITARY FORCE MAIN	D/W/M
		STORM SEWER	D/W/G
		WATER MAIN	E
		GAS MAIN	EJ
		BURIED CABLE-ELECTRIC	ELEV
		BURIED CABLE-TELEPHONE	E/P
		ATLAS LOCATED UTILITY	EX
		UTILITY STRUCTURE WITH CLOSED LID	F & CL
		CURB INLET	F & G
		DRAINAGE STRUCTURE WITH OPEN LID	FES
		FIRE HYDRANT	F/F
		VALVE IN VALVE BOX	FF
		GATE VALVE IN VALVE VAULT	FG
		POST INDICATOR VALVE	FH
		THRUST BLOCK	FL
		TREE	G
		TREE LINE	G/V/V
		CONCRETE HEADWALL	G/V/V
		SUBMERGED HEADWALL	HP
		FLARED END SECTION (F.E.S.)	HOR
		GUY WIRES	HP
		FLOOD LIGHT	H/W
		UTILITY POLE	HWL
		LIGHT STANDARD	IE
		TRAFFIC SIGNAL POLE	IN
		HAND HOLE	IN
		SOIL BORING	LF
		IRRIGATION HEADS	LP
		SIGN	L
		TELEPHONE MANHOLE	ME
		MONITORING WELL	MW
		TELEPHONE PEDESTAL	N
		TRANSFORMER PAD	NIC
		UTILITY TO BE ABANDONED	NW/L
		FEATURE TO BE REMOVED	OC
		STORMWATER FLOW DIRECTION	OL
		STORMWATER OVERFLOW ROUTE	PC
		DITCH CHECK	PCC
		INLET FILTER BASKET	P
		RIP RAP	PGL
		BOLLARD	PI
		SILT FENCE	PL
		WATER MAIN PROTECTION	PP
		TRENCH BACKFILL	PRC
		UTILITY CROSSING LABEL	PT
		GUARDRAIL	PVC
		RETAINING WALL	PVC
		REVISION DELINEATION	PVI
		TREE PROTECTION FENCE	PVT
			R
			RCP
			ROW
			S
			SAN
			SF
			SFM
			SH
			SHW
			STA
			ST
			STMH
			T
			T/C
			TP
			TW
			TY
			TY/P
			UP
			VC
			VERT
			VCP
			W
			WM

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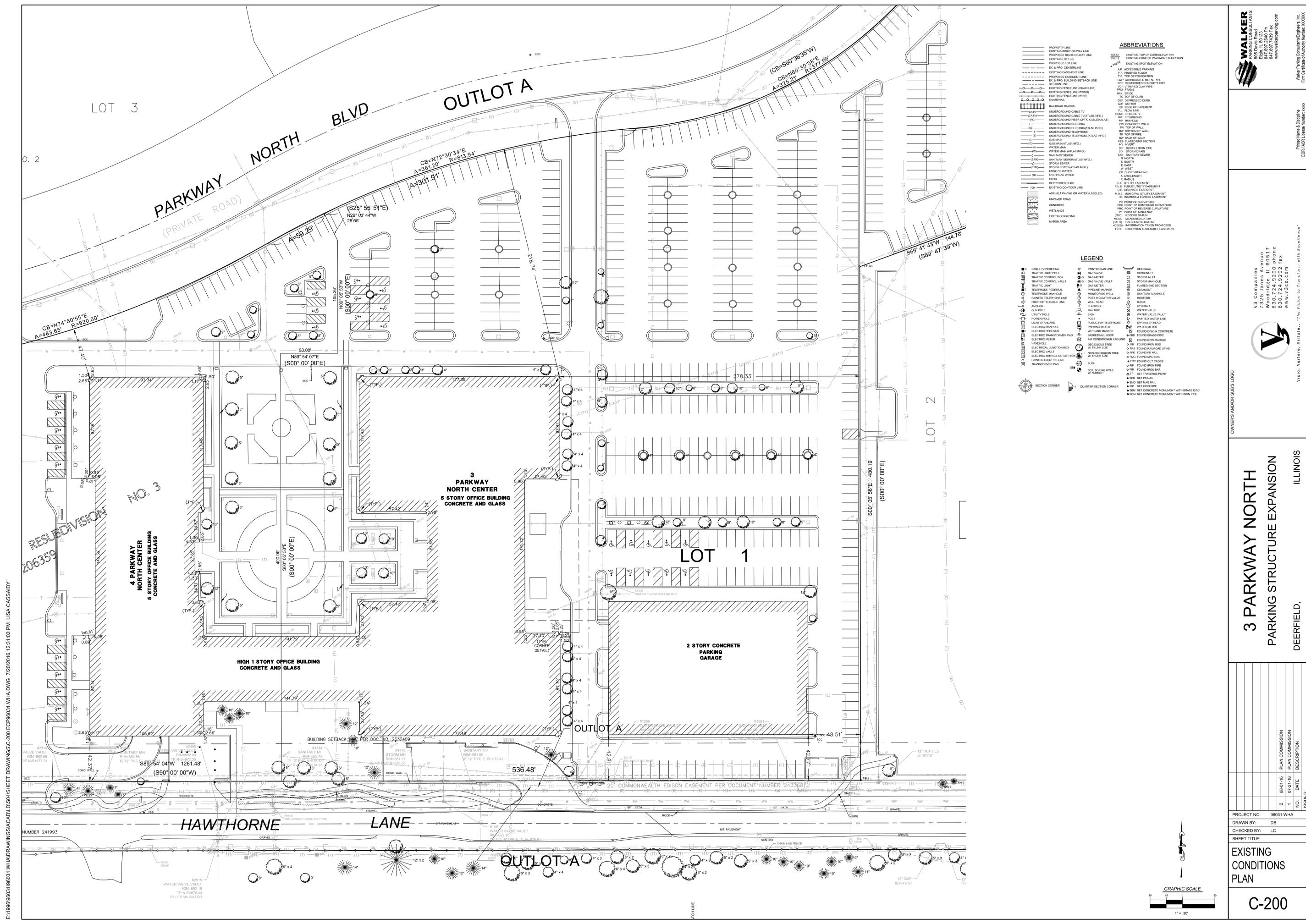
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SHEET TITLE:

GENERAL NOTES  
LEGEND AND  
ABBREVIATIONS

**C-100**



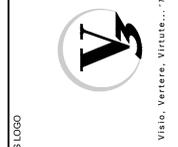
- ### ABBREVIATIONS
- EXISTING TOP OF CURB ELEVATION
  - EXISTING EDGE OF PAVEMENT ELEVATION
  - EXISTING SPOT ELEVATION
  - ACCESSIBLE PARKING
  - FISHERS FLOOR
  - CMR CORRUGATED METAL PIPE
  - PCP CORRUGATED CONCRETE PIPE
  - VCP VERIFIED CLAY PIPE
  - FRP FIBERGLASS REINFORCED POLYMER PIPE
  - TOP OF CURB
  - DEP. DEEPENED CURB
  - GUARDRAIL
  - EDGE OF PAVEMENT
  - F.L. FLOOR FINISH
  - CONC. CONCRETE
  - BIT. BITUMINOUS
  - MANHOLE
  - CONC. CONCRETE WALK
  - TOP OF WALL
  - BTM. BOTTOM OF WALL
  - BACK OF WALK
  - FL. FINISH END SECTION
  - INVERT
  - STORM DRAIN
  - SAN. SANITARY SEWER
  - N. NORTH
  - S. SOUTH
  - E. EAST
  - W. WEST
  - CB. CHORD BEARING
  - A. ANGLE
  - R. RADIUS
  - U. UTILITY EASEMENT
  - P.U. PUBLIC UTILITY EASEMENT
  - E. EGRESS EASEMENT
  - M.U. MUNICIPAL UTILITY EASEMENT
  - I.E. INDUSTRY EGRESS EASEMENT
  - P.C. POINT OF CURVATURE
  - P.R.C. POINT OF REVERSE CURVATURE
  - P.T. POINT OF TANGENCY
  - R.C. RECORD DATA
  - M.E. MEASURED DATA
  - D.C. DESIGN
  - INFO. INFORMATION TAKEN FROM DEED
  - E.T. EXCEPTION TO BLANKET EASEMENT

- ### LEGEND
- CABLE TV PREDESTAL
  - TRAFFIC LIGHT POLE
  - TRAFFIC CONTROL VAULT
  - TRAFFIC LIGHT
  - TELEPHONE PREDESTAL
  - TELEPHONE MANHOLE
  - PAINTED TELEPHONE LINE
  - FIBER OPTIC CABLE LINE
  - ANCHOR
  - GUY POLE
  - UTILITY POLE
  - POWER POLE
  - ELECTRIC MANHOLE
  - ELECTRIC PREDESTAL
  - ELECTRIC TRANSFORMER PAD
  - ELECTRIC METER
  - MANHOLE
  - ELECTRIC JUNCTION BOX
  - ELECTRIC VAULT
  - ELECTRIC SERVICE OUTLET BOX
  - PAINTED ELECTRIC LINE
  - TRANSFORMER PAD
  - PAINTED GAS LINE
  - GAS VALVE
  - GAS VALVE VAULT
  - GAS METER
  - GAS METER
  - PIPELINE MARKER
  - MONITORING WELL
  - HOSE BIB
  - WELL HEAD
  - FLAGPOLE
  - MANHOLE
  - POST
  - PUBLIC PAY TELEPHONE
  - PARKING METER
  - SPRINKLER HEAD
  - WATER METER
  - FOUND IRON IN CONCRETE
  - FOUND BRASS DISC
  - FOUND IRON MARKER
  - FOUND IRON ROD
  - FOUND IRON ROD SPIKE
  - FOUND IRON NAIL
  - FOUND IRON BAR
  - FOUND IRON PIPE
  - FOUND IRON BAR
  - FOUND IRON PIPE
  - SET TRANSVERSE POINT
  - SET IRON PIPE
  - SET CONCRETE MONUMENT WITH BRASS DISC
  - SET CONCRETE MONUMENT WITH IRON PIPE
  - HEADWALL
  - CURB INLET
  - STORM MANHOLE
  - FLANGED END SECTION
  - CLEANOUT
  - SANITARY MANHOLE
  - WATER VALVE
  - WATER VALVE VAULT
  - PAINTED WATER LINE
  - SPRINKLER HEAD
  - WATER METER
  - FOUND IRON IN CONCRETE
  - FOUND BRASS DISC
  - FOUND IRON MARKER
  - FOUND IRON ROD
  - FOUND IRON ROD SPIKE
  - FOUND IRON NAIL
  - FOUND IRON BAR
  - FOUND IRON PIPE
  - FOUND IRON BAR
  - FOUND IRON PIPE
  - SET TRANSVERSE POINT
  - SET IRON PIPE
  - SET CONCRETE MONUMENT WITH BRASS DISC
  - SET CONCRETE MONUMENT WITH IRON PIPE

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# 3 PARKWAY NORTH

## PARKING STRUCTURE EXPANSION

DEERFIELD, ILLINOIS

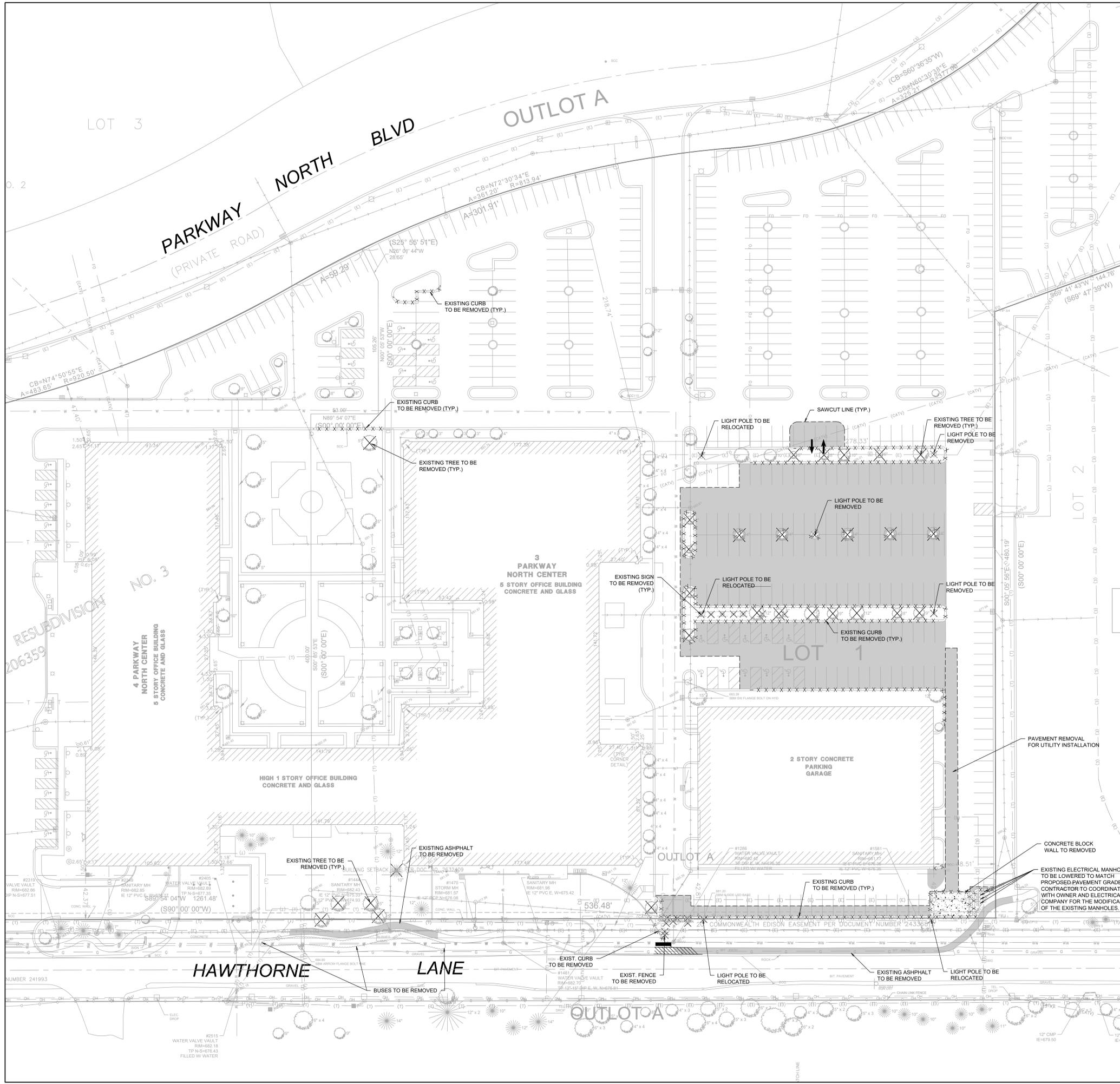
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1	07/21/16	PLAN COMMISSION	
2	08/11/16	PLAN COMMISSION	

PROJECT NO: 96031 WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:  
**EXISTING CONDITIONS PLAN**  
C-200

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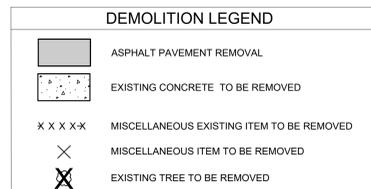
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**DEMOLITION NOTES**

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
  - SIDEWALK AND ON-SITE PAVEMENT
  - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
  - UTILITIES
  - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
18. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



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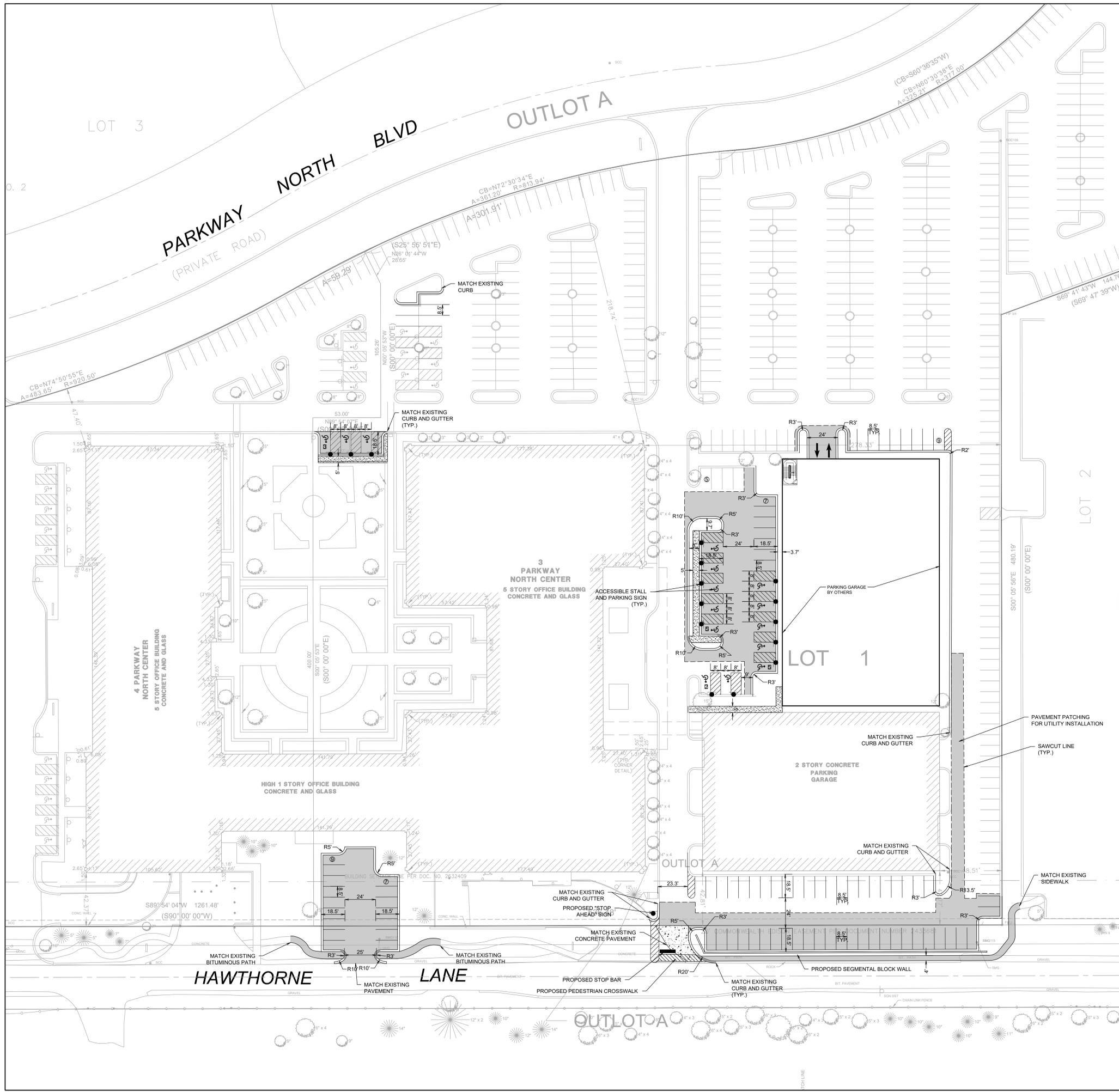
**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION	ISSUED
2	08/15/16	PLAN COMMISSION	
1	07/21/16	PLAN COMMISSION	

PROJECT NO: 96031 WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:  
**DEMOLITION PLAN**  
C-201

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- LAYOUT NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
  3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

PROPOSED ASPHALT PAVING  
(SECTION TO MATCH EXISTING)  
ANTICIPATED SECTION TO BE:  
1.5" SURFACE COURSE  
2" BINDER COURSE  
6" AGGREGATE BASE COURSE (CA-6)  
TO BE VERIFIED BY GEOTECHNICAL ENGINEER

**PARKING SUMMARY**

**EXISTING**  
SURFACE PARKING STALLS = 601 (INCLUDES 16 ACCESSIBLE STALLS)  
GARAGE PARKING STALLS = 198  
**TOTAL NET PARKING STALLS = 799 (INCLUDES 16 ACCESSIBLE STALLS)**

**PROPOSED**  
SURFACE PARKING STALLS GAINED = +96  
SURFACE PARKING STALLS LOST = -158  
EXISTING SURFACE PARKING STALLS = 601  
NET SURFACE PARKING STALLS = 539 (INCLUDES 18 ACCESSIBLE STALLS)

PROPOSED GARAGE PARKING STALLS GAINED = +242  
EXISTING GARAGE PARKING STALLS LOST = -19  
EXISTING GARAGE PARKING STALLS = 198  
NET GARAGE PARKING STALLS = 430 (INCLUDES 2 ACCESSIBLE STALLS)  
**TOTAL NET PARKING STALLS = 969 (INCLUDES 20 ACCESSIBLE STALLS)**

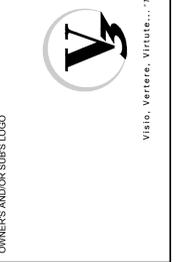
**SITE DATA SUMMARY**

TOTAL PARKING STALLS = 969 (INCLUDES 20 ACCESSIBLE STALLS)  
TOTAL SITE ACREAGE = 7.95 ACRES



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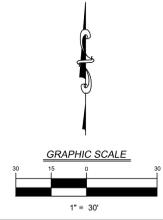
**3 PARKWAY NORTH  
PARKING STRUCTURE EXPANSION**  
DEERFIELD, ILLINOIS

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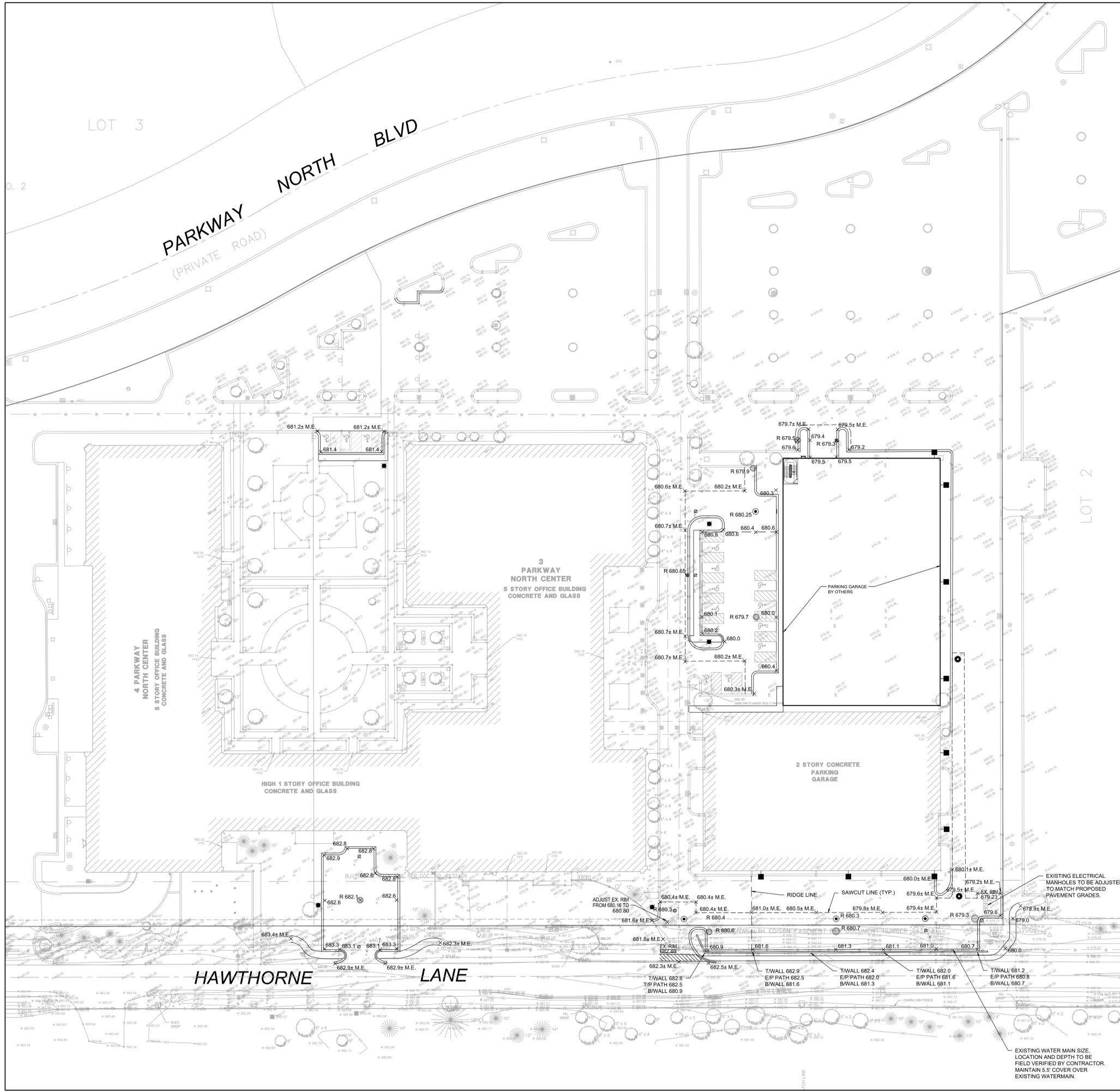
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**LAYOUT AND PAVING PLAN**

**C-300**



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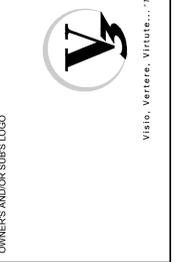
**NOTES:**

1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.



John Neme & Associates, Inc.  
EIR/ARCHITECT/ENGINEER

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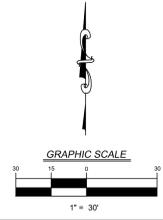


**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
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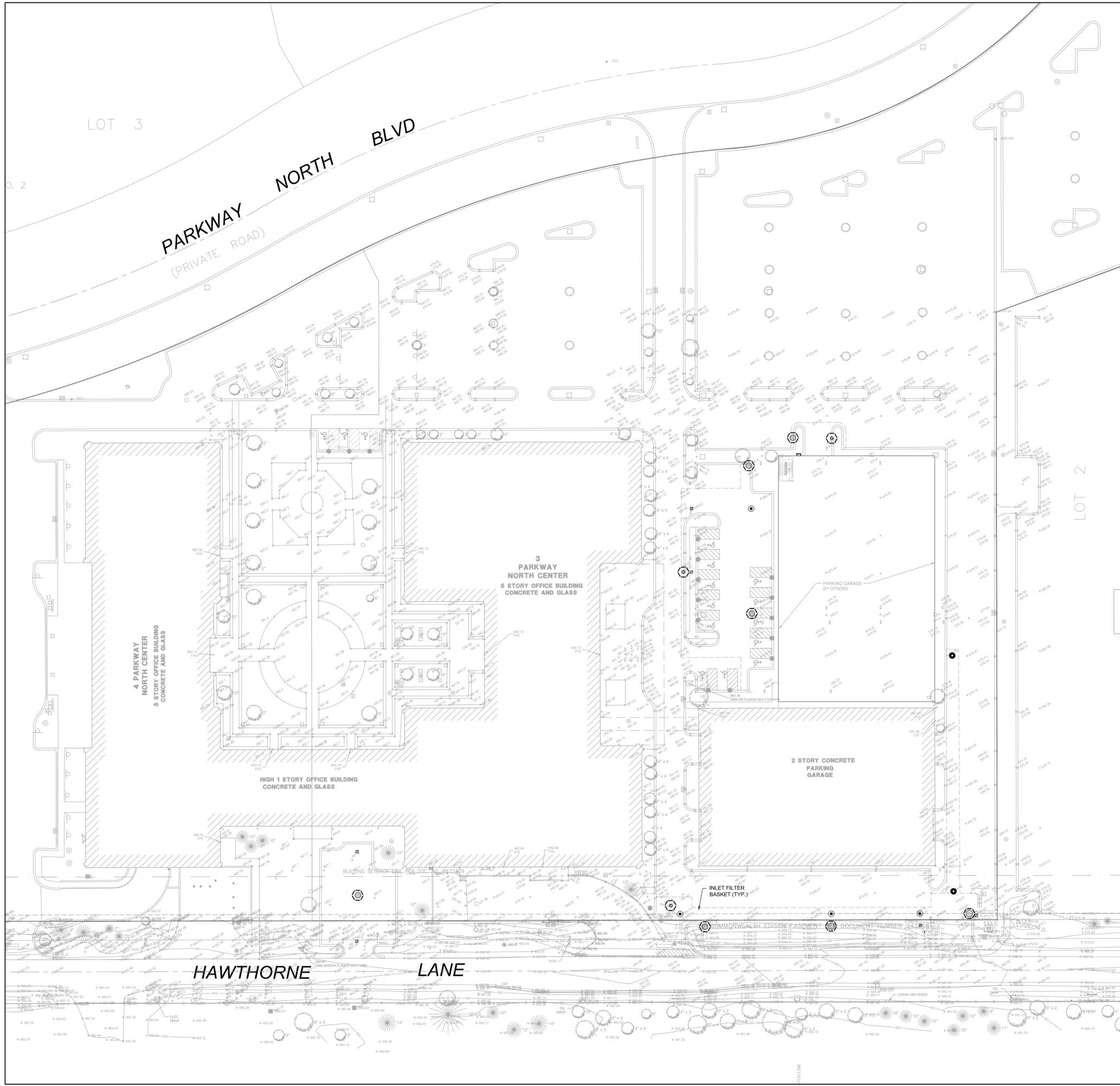
NO.	DATE	DESCRIPTION	ISSUED
2	08/11/16	PLAN COMMISSION	
1	07/21/16	PLAN COMMISSION	

PROJECT NO: 96031.WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:  
**GRADING PLAN**

**C-400**



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**EROSION CONTROL NOTES:**

1. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
3. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL OPEN LID STRUCTURES. SEE INLET PROTECTION DETAIL ON SHEET C-402.
4. EROSION CONTROL BLANKET (ROLLMAX ERONET S150 OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF SWALES WHERE NOTED.
5. ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED AND THE SITE ADEQUATELY STABILIZED.

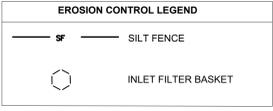


Photo: James A. Dardano  
EOR: JACD@walkerparking.com

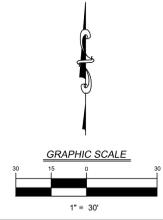
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7325 James Avenue  
Deerfield, IL 60015  
830.724.9200 phone  
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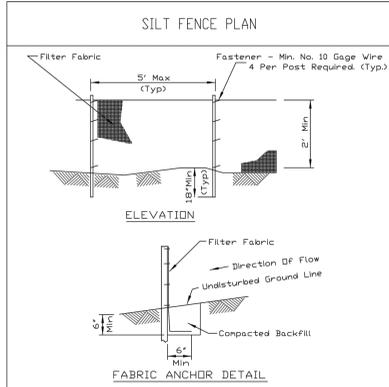
**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION	ISSUED
2	08/11/16	PLAN COMMISSION	
1	07/21/16	PLAN COMMISSION	

PROJECT NO: 96031.WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:  
**EROSION CONTROL PLAN**  
C-401

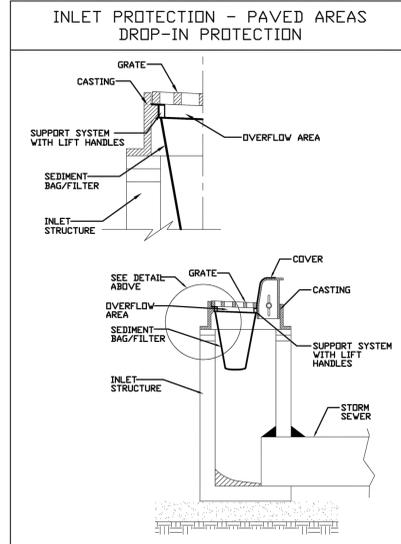


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**NOTES:**  
 1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.  
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.  
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	Project	Date	DESIGNED	DATE
	Designed	Date	CHECKED	DATE
	Checked	Date	APPROVED	DATE
	Approved	Date		



REFERENCE	Project	Date	DESIGNED	DATE
	Designed	Date	CHECKED	DATE
	Checked	Date	APPROVED	DATE
	Approved	Date		

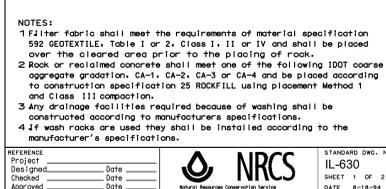
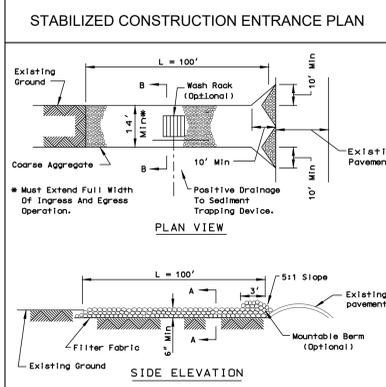
**NOTES:**

- THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
- WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" x 1-1/2" AIR OR KILN DRIED HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
- THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRIPS ON THE UPSLOPE SIDE.
- THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED HDPE, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF. ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:

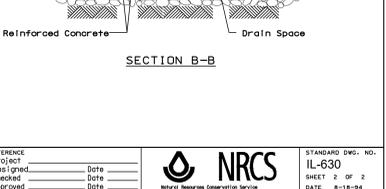
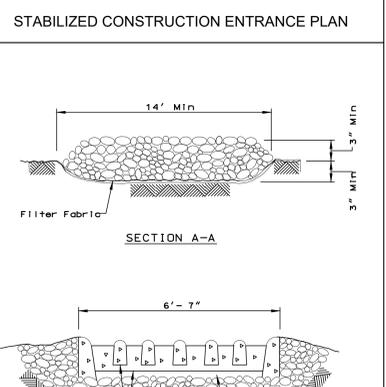
TEST REQUIREMENT	METHOD	VALUE
MINIMUM GRAB TENSILE STRENGTH IN THE MACHINE DIRECTION	ASTM D 4532	120 LBS.
MINIMUM GRAB TENSILE STRENGTH IN THE CROSS MACHINE DIRECTION	ASTM D 4532	100 LBS.
MAXIMUM APPARENT OPENING SIZE EQUIVALENT STANDARD SIEVE	ASTM D 4753	NO. 30
MINIMUM PERMITTIVITY	ASTM D 4491	0.05 SEC <sup>-1</sup>
MAXIMUM PERMITTIVITY	ASTM D 4491	0.135 SEC <sup>-1</sup> OR 10 gpm/sq ft of 50 mm equivalent head.
MINIMUM ULTRAVIOLET STABILITY PERCENTAGE OF STRENGTH RETAINED AFTER 500 HOURS OF EXPOSURE	ASTM D 4355	70%

\* ALL NUMERICAL VALUES REPRESENT MINIMUM/MAXIMUM AVERAGE ROLL VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES.)

BILL OF MATERIALS	
ITEM	QUANTITY
SUPPORT POSTS	_____
GEOTEXTILE	_____ FT.
FASTENERS	AS REQUIRED



**NOTES:**  
 1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.  
 2. Rock or recycled concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III composition.  
 3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.  
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.

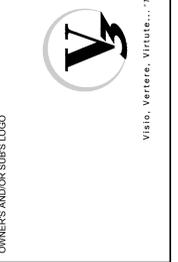


**NOTES:**  
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Walker Parking Consultants/Engineers, Inc.  
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 7325 James Avenue  
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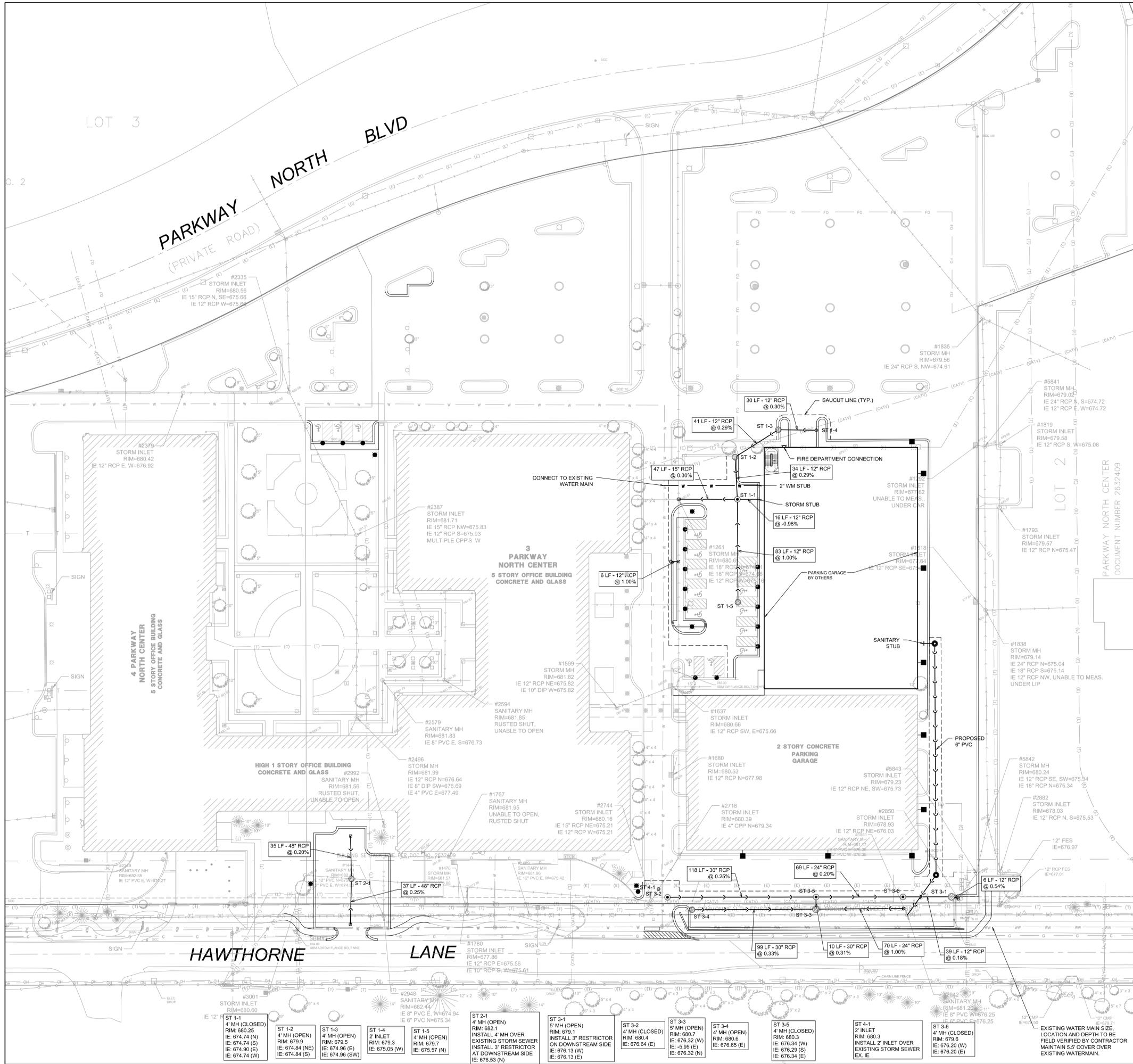


**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
 DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION
2	08/11/16	PLAN COMMISSION
1	07/21/16	PLAN COMMISSION

PROJECT NO: 96031.WHA  
 DRAWN BY: DB  
 CHECKED BY: LC  
 SHEET TITLE:  
**EROSION CONTROL DETAILS**

**C-402**



- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL. FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-6 OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE.
  - LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.

**DETENTION SUMMARY**

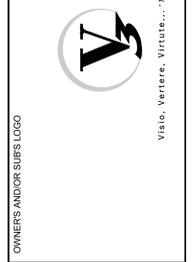
DETENTION IS PROVIDED FOR THE PROPOSED IMPERVIOUS AREA.  
 PROPOSED IMPERVIOUS AREA = 11,750 SF  
 PROPOSED VOLUME REQUIRED = 0.11 AC-FT

REQUIRED DETENTION VOLUME IS PROVIDED FOR IN UNDERGROUND DETENTION PIPES AND SURFACE PARKING LOT STORAGE.  
 PROVIDED VOLUME IN UNDERGROUND PIPES = 0.06 AC-FT  
 PROVIDED VOLUME ON SURFACE PARKING LOT STORAGE = 0.04 AC-FT



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 505 Drive Road  
 Deerfield, IL 60015  
 847.697.7400 Fax  
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OWNERS AND/OR SUBS LOGO

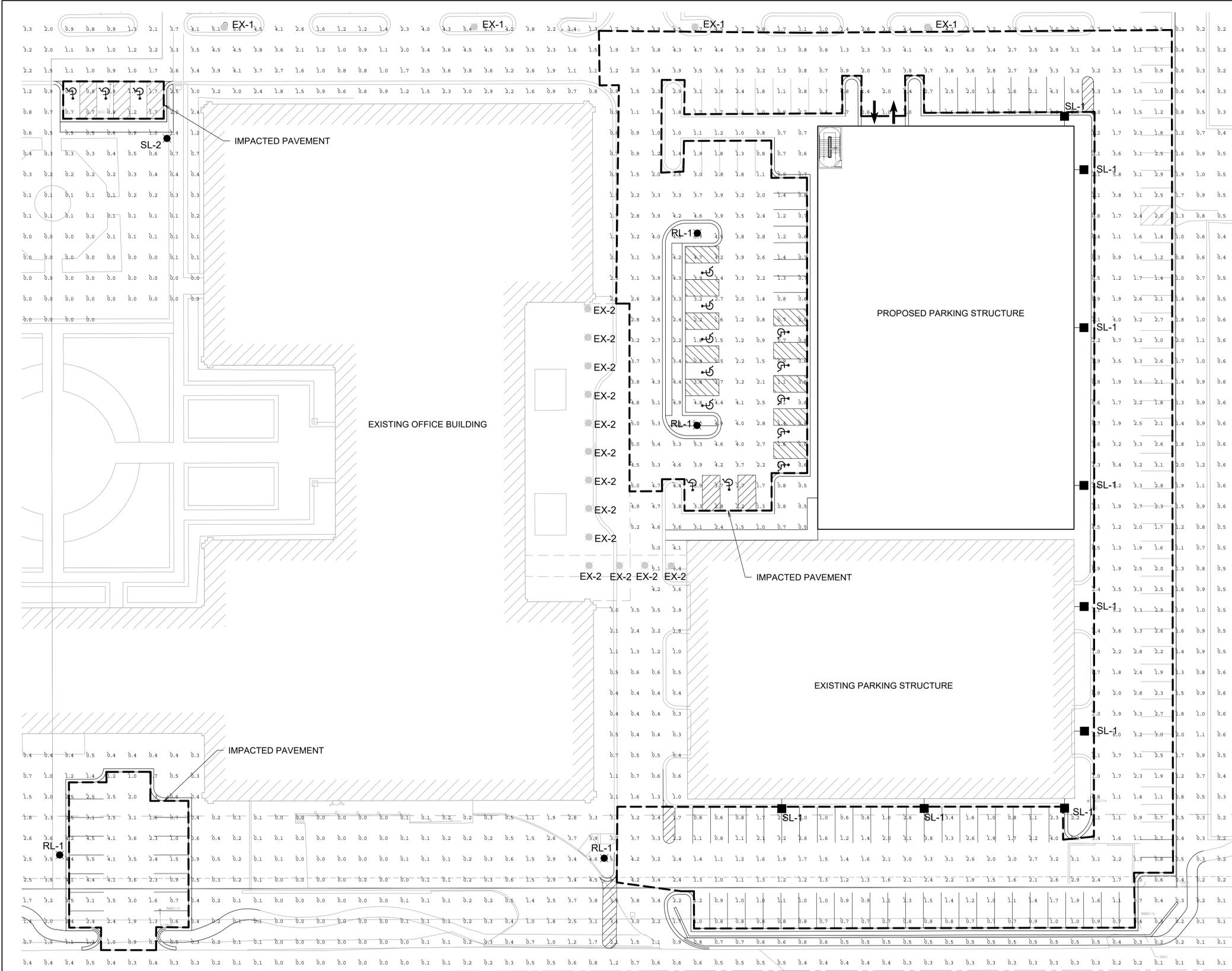
**3 PARKWAY NORTH  
 PARKING STRUCTURE EXPANSION**  
 DEERFIELD, ILLINOIS

PROJECT NO.	96031 WHA
DRAWN BY:	DB
CHECKED BY:	LC
SHEET TITLE:	UTILITY PLAN

**C-500**

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	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
IMPACTED PARKING LOT PAVEMENT	2.25	5.8	0.6	3.75	9.67

SYMBOL	DESCRIPTION	QUANT.	LLF	MOUNTING	CONFIG.
EX-1	EXISTING AREA LIGHT (TO REMAIN). 400W METAL HALIDE T5 KIM FIXTURE 26'-6" MOUNTING HEIGHT.	N/A	0.70	ROUND POLE (EX), STRAIGHT STEEL, 0'-3" CONC. FOUND.	SINGLE FIXTURE.
EX-2	EXISTING CANOPY LIGHT (TO REMAIN). 100W INCANDESCENT LIGHT 25'-0" MOUNTING HEIGHT.	N/A	0.70	UNDERMOUNTED TO CANOPY	SINGLE FIXTURE.

SYMBOL	DESCRIPTION	QUANTITY	LLF	COLOR	MOUNTING	CONFIG.	CATALOG NO. & NOTES
SL-1	KIM LIGHTING CC25P4 AREA LIGHT, 56 LEDS, 700MA, 150 WATT, TYPE 4 DIST, 20'-0" WALL MOUNTING HEIGHT.	9	0.90	4000K	WALL MOUNTED	1 FIXTURE	1W-CC25P4P70-WH-150LED480
SL-2	KIM LIGHTING CC17P3 AREA LIGHT, 60 LEDS, 350MA, 75 WATT, TYPE 3 DIST, 11'-6" MOUNTING HEIGHT.	1	0.90	4000K	10'-0" POLE, ROUND STEEL, 0'-3" CONC. FOUND.	1 FIXTURE	PT-CC17P3P35-WH-60LED480
RL-1	EXISTING AREA LIGHT (RELOCATED), 400W METAL HALIDE T5 KIM FIXTURE 26'-6" MOUNTING HEIGHT.	4	0.70	NA	ROUND STEEL, 0'-3" CONC. FOUND.	1 FIXTURE	NA

- NOTES:
- THE LIGHT POLE LOCATIONS ON THIS PLAN SHOW THE RECOMMENDED PLACEMENT. ADJUSTMENTS TO THESE LOCATIONS MAY BE REQUIRED TO ACCOMMODATE SITE CONDITIONS.
  - PAVEMENT CALCULATION AREAS ARE TAKEN WITHIN THE LIMITS OF IMPACTED PAVEMENT OUTLINED ON THIS PLAN.
  - THE PHOTOMETRIC PLAN WAS PREPARED USING THE FIXTURES IN THE SCHEDULE ON THIS SHEET.
  - PHOTOMETRIC CALCULATIONS FOR THE PROPOSED PARKING STRUCTURE ARE NOT INCLUDED IN THIS PLAN.

### Curvilinear LED with PicoEmitter

#### CC/CCS17 & CC/CCS21 LED Post Top Mount

**FEATURES**

- LED models incorporating patented LED PicoEmitter technology
- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- Dark-Sky compliant, full-cutoff optics with flat glass lens
- Features exclusive w/Hubb technology
- Wireless system for 0-100% full range dimming control
- Programmable autonomous operation

**ORDERING INFORMATION (Example)**

FM	DB	A-30	POLE / POLE ARM
CC17P3ES	60LSK120		PR12-5125FM/DB

**COMPRESSOR OUTPUT**

### CC/CCS25 Curvilinear LED with PicoPrism

#### CC/CCS25 LED Post Top Mount

**FEATURES**

- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- LED models with up to 19,000+ lumen output, 350mA or 700mA drive currents
- Dark-Sky compliant, full-cutoff optics
- Features exclusive w/Hubb technology
- Wireless system for 0-100% full range dimming control
- Programmable autonomous operation

**ORDERING INFORMATION (Example)**

FM	DB	A-30	POLE / POLE ARM
CC25P3PS	60LSK120		PR12-5125FM/DB

**COMPRESSOR OUTPUT**

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www.walkerparking.com

Photo: Numa & Dispiere  
EIR: JACZ Lighting Solutions

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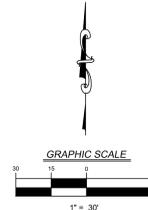


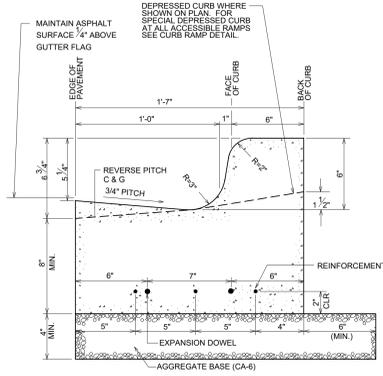
OWNERS AND/OR SUBS LOGO

**3 PARKWAY NORTH**  
**PARKING STRUCTURE EXPANSION**  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION	ISSUED
1	07-21-16	PLAN COMMISSION	

PROJECT NO: 96031.WHA  
DRAWN BY: SJJ  
CHECKED BY: JWB  
SHEET TITLE:  
**PHOTOMETRIC PLAN**  
**P-100**

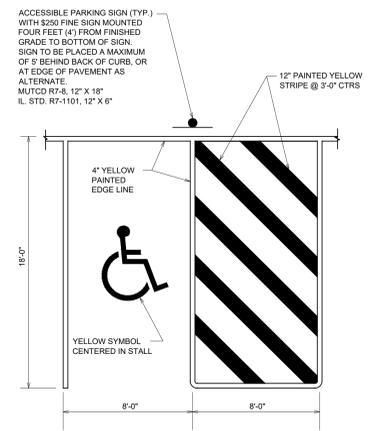




	STANDARD PITCH	REVERSE PITCH
EP	0.00	0.00
GUTTER FLAG	-1/4" (+0.021)	+1/4" (+0.021)
FLOW LINE	-1" (+0.083)	-1" (+0.083)
TIC	+5" (+0.417)	+7" (+0.583)

- NOTES:
- REINFORCEMENT: PROVIDE 3 No. 5 STEEL BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
  - EXPANSION JOINT: PLACE AT ENDS OF ALL RADII. 5' ON EACH SIDE OF DRAINAGE STRUCTURES AND AT 45' MAX. INTERVALS IN STRAIGHT CURB & GUTTER. PROVIDE No. 6x18' LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THRU EXPANSION JOINTS. 3/4" THICK BITUMINOUS FILLER MATERIAL.
  - CONTRACTION JOINT: PROVIDE 2" DEEP CONTRACTION JOINTS AT 15' INTERVALS.
  - 2x4" LONG THE BAR ON 2'-6" CENTERS SHALL BE PROVIDED WHEN CURB IS ADJACENT TO P.C. PAVEMENT.
  - PROVIDE 2 NO. 6x2'-6" LONG THE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.

B6.12 CURB AND GUTTER

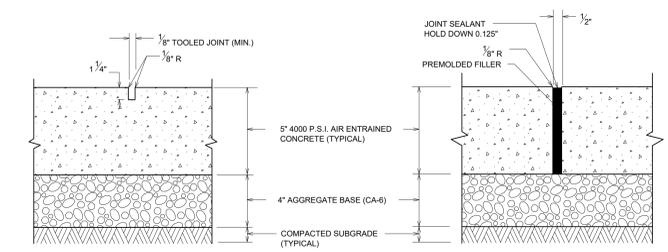


ACCESSIBLE PARKING STALL DETAIL



ACCESSIBLE PARKING SIGN WITH \$250 FINE SIGN MUTCD R7-8, 12" x 18" IL STD. R7-1101, 12" x 6"

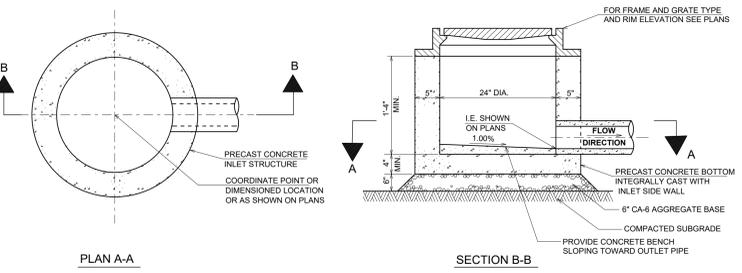
ACCESSIBLE PARKING SIGN



CONTRACTION JOINT DETAIL EXPANSION JOINT DETAIL

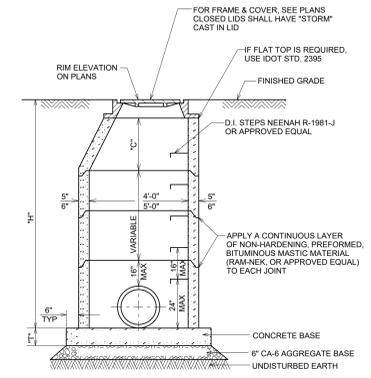
NOTE: UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE 5'-0" O.C. AND EXPANSION JOINTS TO BE 40'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.

CONCRETE SIDEWALK JOINTS



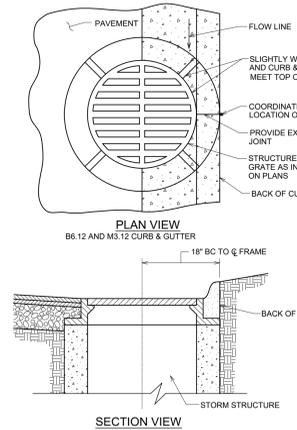
NOTE: 1. WHEN RIM ADJUSTMENTS ARE REQUIRED TO MATCH FINAL GRADE, THE ADJUSTMENT SHALL BE COMPLETED WITH A MAXIMUM OF TWO PRECAST CONCRETE RINGS SET IN A BED OF PREFORMED, NON-HARDENING MASTIC (RUB-R-NEK OR APPROVED EQUAL). MAXIMUM HEIGHT ADJUSTMENT SHALL BE TWELVE INCHES.

2' DIAMETER INLET - TYPE A

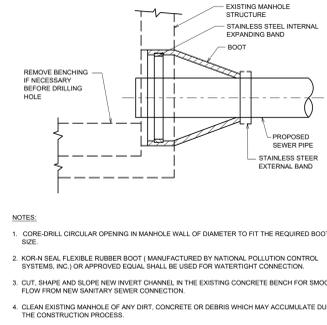


- NOTES:
- WHEN "H" EQUALS 12 FT. OR LESS, "T" = 6" FOR "H" OVER 12 FT. "T" = 10"
  - ADJUSTMENTS TO ELEVATION OF FRAME SHALL BE ACCOMPLISHED WITH PRECAST CONCRETE RINGS WITH A FULL MORTAR BED. MAXIMUM ADJUSTMENT - 12" USING A MAXIMUM OF 2 RINGS.
  - FOR COORDINATE LOCATION SEE UTILITY SHEET.
  - THE FLAT SLAB TOP MAY BE USED IN LIEU OF THE TAPERED TOPS AT THE OPTION OF THE CONTRACTOR OR WHEN FIELD CONDITIONS PROHIBIT THE USE OF TAPERED TOPS.
  - STEPS SHALL BE EMBEDDED INTO A WALL A MINIMUM OF 4" STEPS SHALL NOT BE EXTENDED TO THE OUTSIDE.
  - FOR 4'-0" DIA.: C = 2'-8"; FOR 5'-0" DIA.: C = 3'-6".

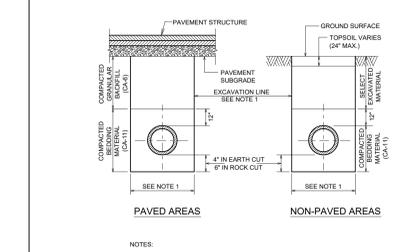
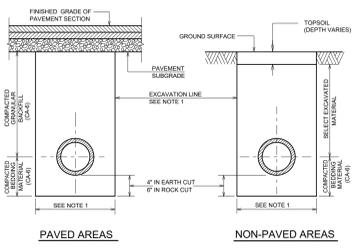
4' AND 5' DIAMETER STORM MANHOLE



FRAME LOCATION DETAIL



SANITARY SEWER CONNECTION TO EXISTING MANHOLE

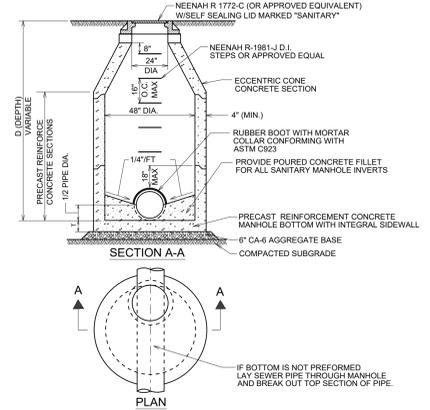


NOTES: 1. EXCAVATION LINE: PIPE SIZES UP TO AND INCLUDING 24", USE I.D. PLUS 20" PIPE SIZES OVER 24", USE O.D. PLUS 24" 2. LIMITS OF TRENCH BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS.

NOTES: 1. EXCAVATION LINE: PIPE SIZES UP TO AND INCLUDING 24", USE I.D. PLUS 20" PIPE SIZES OVER 24", USE O.D. PLUS 24" 2. LIMITS OF TRENCH GRANULAR BACKFILL SHALL EXTEND 2' OUTSIDE ALL PAVED AREAS. 3. BEDDING MATERIAL FOR PVC PIPE INSTALLATION SHALL COMPLY WITH ASTM D-2321 - CLASS 1

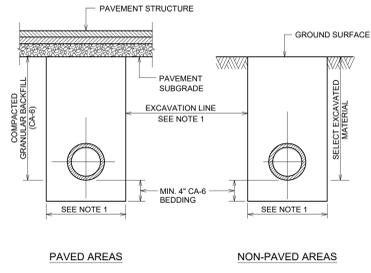
TRENCH BACKFILL SECTIONS FOR STORM SEWER

TRENCH BACKFILL SECTIONS FOR PVC SANITARY SEWER

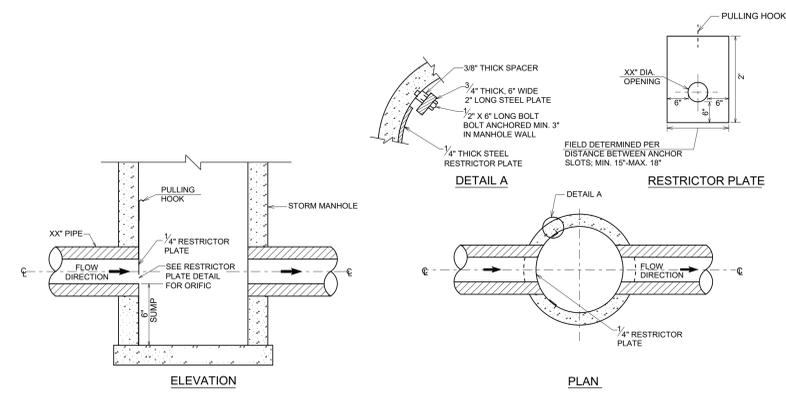


- NOTES:
- SANITARY MANHOLES ARE TO COMPLY WITH THE SECTION 32 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND IDOT HIGHWAY STANDARDS.
  - WHEN MANHOLE DEPTH IS 12' OR LESS, T = 8" WHEN MANHOLE DEPTH IS OVER 12', T = 10"
  - PROVIDE AN EXTERNAL CHIMNEY SEAL.

4' SANITARY SEWER MANHOLE



TRENCH BACKFILL SECTIONS FOR WATER MAIN



MANHOLE WITH PLATE RESTRICTOR

**WALKER**  
PARKING CONSULTANTS  
505 Drive Road  
Deerfield, IL 60015  
847.697.2600 Ph  
847.697.7499 Fax  
www.walkerparking.com

Project Name & Discipline  
EIR/EA/AS/Utility/Transportation

V3 Companies  
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Chicago, IL 60637  
830.724.9200 phone  
830.724.9202 fax  
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**V3**  
Vista, Virtute, Virtute... The Vision to Transform with Excellence.  
OWNERS AND/OR SUBS LOGO

**3 PARKWAY NORTH**  
PARKING STRUCTURE EXPANSION  
DEERFIELD, ILLINOIS

NO.	DATE	DESCRIPTION	ISSUED
2	08/11/18	PLAN COMMISSION	
1	07/21/18	PLAN COMMISSION	

PROJECT NO: 96031.WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:  
**CONSTRUCTION DETAILS**

**C-600**

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## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

<b>Catalog #</b>		<b>Type</b>
<b>Project</b>		
<b>Comments</b>		<b>Date</b>
<b>Prepared by</b>		

## SPECIFICATION FEATURES

### Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

### Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 6000K CCT and 3000K CCT.

### Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

### Mounting

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Round pole adapter included.

For wall mounting, specify wall mount bracket option. 3G vibration rated. **QUICK MOUNT ARM:** Arm is bolted directly to the pole and the fixture slides onto the quick mount arm and is secured via a single fastener, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

### Warranty

Five-year warranty.

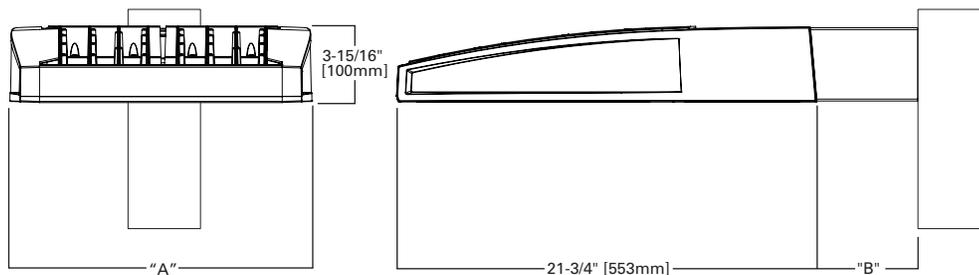


## GLEON GALLEON LED

**1-10 Light Squares**  
**Solid State LED**

**AREA/SITE LUMINAIRE**

## DIMENSIONS

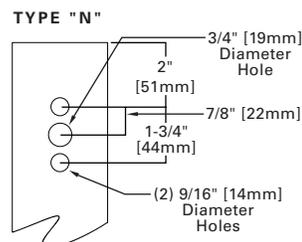


### DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

### DRILLING PATTERN



### CERTIFICATION DATA

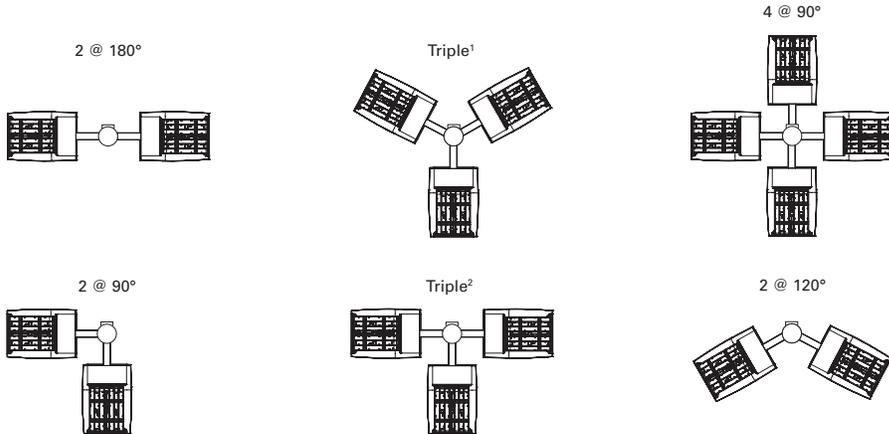
UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated  
DesignLights Consortium™ Qualified\*

### ENERGY DATA

**Electronic LED Driver**  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

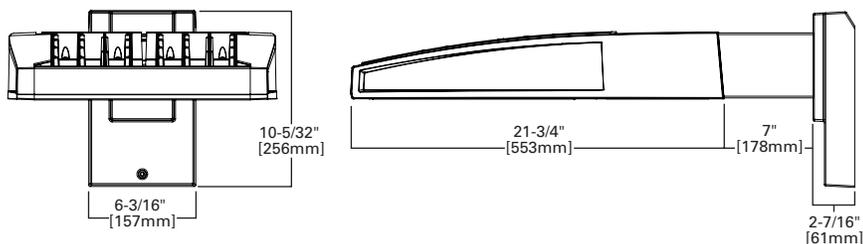
**ARM MOUNTING REQUIREMENTS**

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)

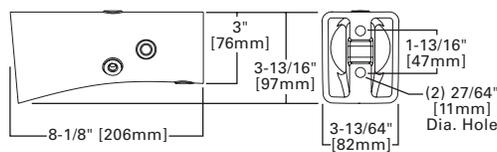


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

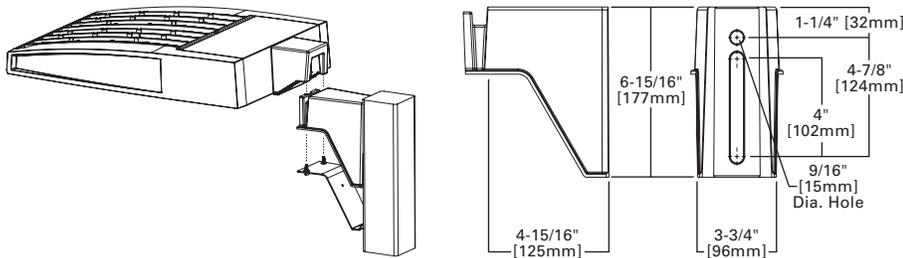
**STANDARD WALL MOUNT**



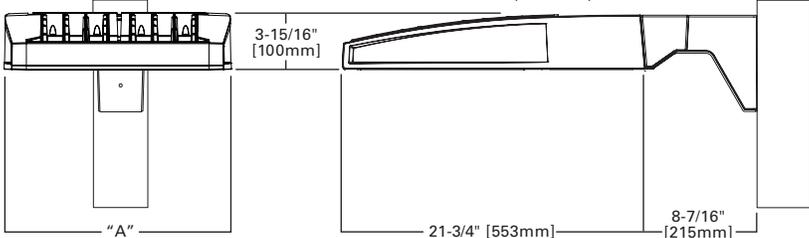
**MAST ARM MOUNT**



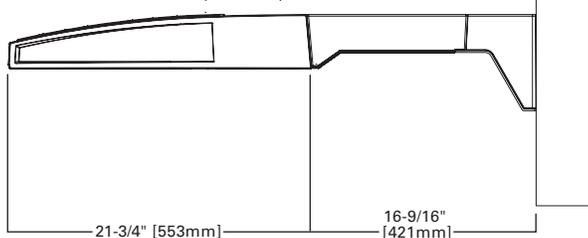
**QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)**



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

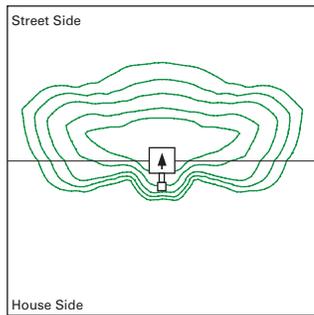


**QUICK MOUNT ARM DATA**

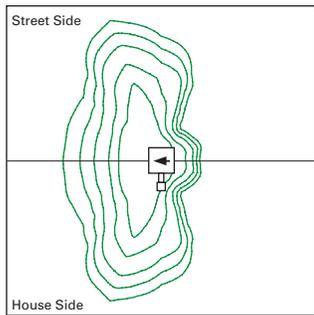
Number of Light Squares <sup>1,2</sup>	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 <sup>3</sup>	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

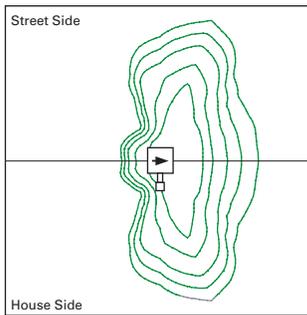
**OPTIC ORIENTATION**



**Standard**



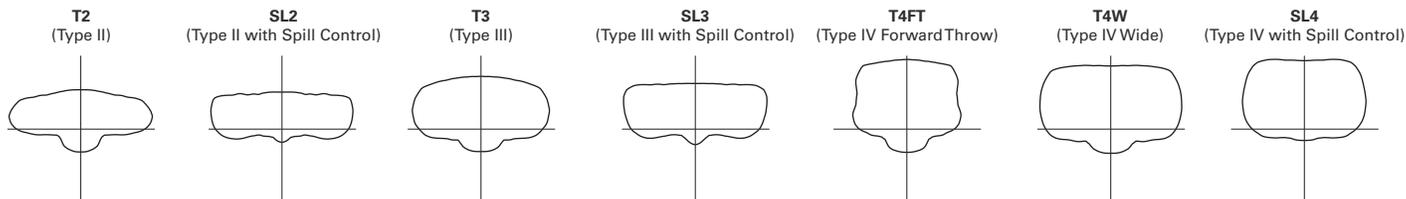
**Optics Rotated Left @ 90° [L90]**



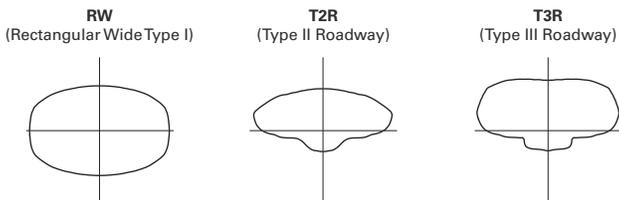
**Optics Rotated Right @ 90° [R90]**

**OPTICAL DISTRIBUTIONS**

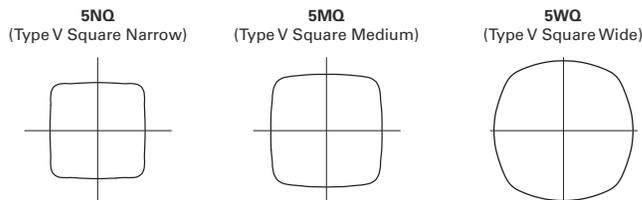
**Asymmetric Area Distributions**



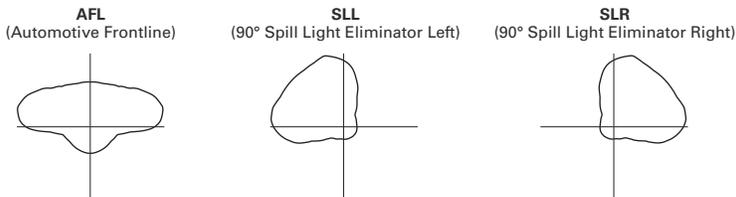
**Asymmetric Roadway Distributions**



**Symmetric Distributions**



**Specialized Distributions**



## NOMINAL POWER AND LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	1A	1A	1A	1A	1A	1A	1A	1A	1A	1A	
Nominal Power (Watts)	56	107	157	213	264	315	370	421	475	528	
Input Current @ 120V (A)	0.47	0.90	1.31	1.79	2.21	2.64	3.09	3.51	3.96	4.41	
Input Current @ 208V (A)	0.28	0.51	0.74	1.02	1.25	1.48	1.76	1.99	2.22	2.50	
Input Current @ 240V (A)	0.25	0.45	0.65	0.90	1.10	1.30	1.55	1.75	1.95	2.20	
Input Current @ 277V (A)	0.23	0.41	0.59	0.82	1.00	1.18	1.41	1.59	1.77	2.00	
Optics											
T2	Lumens	5,272	10,303	15,373	20,313	25,168	30,118	35,618	40,357	45,018	49,842
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T2R	Lumens	5,597	10,938	16,321	21,565	26,719	31,974	37,813	42,844	47,792	52,914
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5
T3	Lumens	5,374	10,501	15,669	20,704	25,652	30,697	36,303	41,134	45,884	50,802
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3R	Lumens	5,493	10,735	16,017	21,164	26,222	31,379	37,110	42,048	46,904	51,930
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	Lumens	5,405	10,562	15,760	20,824	25,801	30,875	36,514	41,372	46,150	51,096
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	5,335	10,426	15,556	20,555	25,468	30,476	36,042	40,838	45,554	50,436
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	Lumens	5,263	10,285	15,347	20,278	25,124	30,066	35,556	40,288	44,940	49,756
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	Lumens	5,373	10,500	15,667	20,701	25,649	30,693	36,298	41,128	45,878	50,794
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	Lumens	5,105	9,976	14,886	19,669	24,370	29,163	34,488	39,078	43,591	48,262
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	Lumens	5,542	10,830	16,160	21,352	26,455	31,658	37,439	42,421	47,320	52,392
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
5MQ	Lumens	5,644	11,029	16,457	21,745	26,942	32,241	38,128	43,202	48,191	53,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
5WQ	Lumens	5,659	11,059	16,501	21,803	27,014	32,327	38,230	43,317	48,320	53,498
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	Lumens	4,722	9,227	13,767	18,191	22,539	26,971	31,897	36,141	40,315	44,635
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	Lumens	5,492	10,732	16,014	21,159	26,216	31,372	37,101	42,038	46,893	51,918
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
AFL	Lumens	5,512	10,771	16,072	21,236	26,311	31,486	37,236	42,191	47,063	52,107
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## NOMINAL POWER AND LUMENS (700MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	
Nominal Power (Watts)	38	72	105	138	176	210	243	276	314	348	
Input Current @ 120V (A)	0.32	0.59	0.86	1.14	1.45	1.72	2	2.28	2.58	2.86	
Input Current @ 208V (A)	0.21	0.36	0.51	0.67	0.87	1.02	1.18	1.34	1.53	1.69	
Input Current @ 240V (A)	0.19	0.32	0.45	0.59	0.77	0.90	1.04	1.18	1.35	1.49	
Input Current @ 277V (A)	0.20	0.29	0.40	0.51	0.69	0.80	0.91	1.02	1.20	1.31	
Optics											
T2	Lumens	3,854	7,531	11,237	14,847	18,395	22,013	26,033	29,497	32,904	36,430
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	Lumens	4,091	7,995	11,929	15,762	19,529	23,370	27,638	31,316	34,932	38,676
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	Lumens	3,928	7,676	11,453	15,133	18,750	22,437	26,534	30,065	33,537	37,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3R	Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,124	30,733	34,283	37,957
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	Lumens	3,951	7,720	11,519	15,221	18,858	22,567	26,688	30,240	33,732	37,347
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	3,900	7,620	11,370	15,024	18,615	22,276	26,343	29,849	33,296	36,864
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	Lumens	3,847	7,518	11,217	14,821	18,364	21,975	25,988	29,447	32,847	36,368
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL3	Lumens	3,927	7,675	11,451	15,131	18,747	22,434	26,531	30,061	33,533	37,126
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	Lumens	3,731	7,292	10,880	14,376	17,812	21,315	25,208	28,562	31,861	35,275
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
5NQ	Lumens	4,051	7,916	11,811	15,606	19,336	23,139	27,365	31,006	34,587	38,294
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	Lumens	4,125	8,062	12,029	15,894	19,692	23,565	27,869	31,577	35,224	38,999
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5WQ	Lumens	4,136	8,083	12,061	15,936	19,745	23,628	27,943	31,661	35,318	39,103
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	3,451	6,744	10,063	13,296	16,474	19,714	23,314	26,416	29,467	32,625
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
RW	Lumens	4,014	7,844	11,704	15,465	19,162	22,930	27,118	30,726	34,274	37,948
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	Lumens	4,029	7,873	11,747	15,522	19,231	23,014	27,216	30,838	34,399	38,086
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## NOMINAL POWER AND LUMENS (530MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	
Nominal Power (Watts)	30	54	80	105	130	159	184	209	234	259	
Input Current @ 120V (A)	0.25	0.45	0.66	0.86	1.07	1.32	1.52	1.72	1.93	2.14	
Input Current @ 208V (A)	0.17	0.28	0.39	0.51	0.63	0.78	0.9	1.02	1.14	1.26	
Input Current @ 240V (A)	0.17	0.25	0.35	0.45	0.55	0.70	0.80	0.90	1.00	1.10	
Input Current @ 277V (A)	0.19	0.24	0.32	0.40	0.49	0.64	0.72	0.80	0.89	0.98	
Optics											
T2	Lumens	3,079	6,017	8,978	11,862	14,697	17,588	20,800	23,567	26,289	29,106
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4
T2R	Lumens	3,269	6,388	9,531	12,593	15,603	18,672	22,082	25,020	27,909	30,900
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
T3	Lumens	3,138	6,133	9,150	12,091	14,980	17,926	21,200	24,021	26,795	29,667
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3R	Lumens	3,208	6,269	9,354	12,359	15,313	18,325	21,671	24,555	27,390	30,326
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T4FT	Lumens	3,156	6,168	9,203	12,161	15,067	18,030	21,323	24,160	26,950	29,839
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4W	Lumens	3,116	6,088	9,084	12,004	14,872	17,797	21,047	23,848	26,602	29,453
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL2	Lumens	3,074	6,006	8,962	11,842	14,672	17,558	20,764	23,527	26,244	29,056
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL3	Lumens	3,138	6,132	9,149	12,089	14,978	17,924	21,197	24,018	26,791	29,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL4	Lumens	2,981	5,826	8,693	11,486	14,231	17,030	20,140	22,820	25,456	28,184
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
5NQ	Lumens	3,236	6,324	9,437	12,469	15,449	18,487	21,863	24,773	27,634	30,595
	BUG Rating	B1-U0-G0	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2
5MQ	Lumens	3,296	6,441	9,610	12,698	15,733	18,828	22,266	25,229	28,142	31,158
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5WQ	Lumens	3,305	6,458	9,636	12,732	15,775	18,878	22,325	25,296	28,217	31,241
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	2,757	5,388	8,040	10,623	13,162	15,751	18,627	21,105	23,543	26,066
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4
RW	Lumens	3,207	6,267	9,351	12,356	15,309	18,320	21,666	24,549	27,384	30,319
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
AFL	Lumens	3,219	6,290	9,385	12,401	15,365	18,387	21,745	24,638	27,484	30,429
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family <sup>1,2</sup>	Light Engine	Number of Light Squares <sup>3</sup>	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AE=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 <sup>4</sup> 08=8 <sup>4</sup> 09=9 <sup>5</sup> 10=10 <sup>5</sup>	LED=Solid State Light Emitting Diodes	E1=(120-277V) 347=347V <sup>6</sup> 480=480V <sup>6,7</sup>	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5N0=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm <sup>8</sup> MA=Mast Arm Adapter <sup>9</sup> WM=Wall Mount QM=Quick Mount Arm (Standard Length) <sup>10</sup> QMEA=Quick Mount Arm (Extended Length) <sup>11</sup>
<b>Options</b> (Add as Suffix)					<b>Accessories</b> (Order Separately)		
2L=Two Circuits <sup>12,13</sup> 7030=70 CRI / 3000K <sup>14</sup> 8030=80 CRI / 3000K <sup>15</sup> 7050=70 CRI / 5000K <sup>15</sup> 7060=70 CRI / 6000K <sup>14</sup> 530=Drive Current Factory Set to 530mA <sup>16</sup> 700=Drive Current Factory Set to 700mA <sup>16</sup> P=Button Type Photocontrol (120, 208, 240 or 277V) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle HA=50°C High Ambient <sup>13,17</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>18,19,20,21</sup> MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,25</sup> MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height <sup>18,19,20,21,22,26</sup> MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height <sup>18,19,20,21,23,26</sup> MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height <sup>18,19,20,21,24,26</sup> MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,25,26</sup> MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>18,19,20,21,23</sup> MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>18,19,20,21,24</sup> MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,25</sup> DIMRF-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>27</sup> DIMRF-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>27</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing <sup>28</sup> HSS=Factory Installed House Side Shield <sup>29</sup> CE=CE Marking <sup>30</sup>					OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=NEMA Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>31</sup> GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit <sup>10</sup> GLEON-QM-EA=Quick Mount Extended Length Arm Kit <sup>11</sup> LS/HSS=Field Installed House Side Shield <sup>29,32</sup>		

## NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- 2L is not available with MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. For 8030, factor 7030 IES files x .92 (8% lumen loss). For 7050, use 7060 IES files.
- 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 50°C lumen maintenance data applies to 530mA and 700mA drive currents.
- Consult factory for more information.
- Utilizes internal step-down transformer when 347V or 480V is selected.
- The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Not available with HA option.
- Approximately 22" detection diameter at 8' mounting height.
- Approximately 40" detection diameter at 20' mounting height.
- Approximately 60" detection diameter at 40' mounting height.
- Approximately 100" detection diameter at 40' mounting height.
- Replace X with number of light squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt application information.
- Not available with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the DIMRF, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- One required for each Light Square.

# Curvilinear LED with PicoEmitter™

## CC/CCS17 & CC/CCS21 LED Post Top Mount

SITE / ROADWAY



CCS

### FEATURES

- LED models incorporating patented LED PicoEmitter technology
- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- Dark-Sky compliant, full-cutoff optics with flat glass lens

### Features exclusive wiHUBB technology

- Wireless system for 0-10VDC full range dimming control
- Programmable autonomous operation



### ORDERING INFORMATION (Example)

<b>FM</b>		<b>CC17P3E35</b>		<b>DB</b>		<b>60L5K120</b>		<b>A-30</b>	
<b>MOUNTING</b>		<b>EPA</b>		<b>FIXTURE FINISH</b>					
		17"	21"	<b>BL</b> Black					
	<b>FM</b> Flush Mount	0.7	1.0	<b>DB</b> Dark Bronze					
	<b>PT</b> Post Tenon Mount	0.7	1.0	<b>LG</b> Light Gray					
	<b>DM</b> Direct Mount	—	1.0	<b>SG</b> Stealth Gray					
<b>NOTE:</b> EPA is for Fixture only				<b>PS</b> Platinum Silver					
				<b>WH</b> White					
				<b>CC</b> Custom Color*					
				*Consult representative					

FIXTURE - POST TOP MOUNT					
	CC-17"	CCS-17"	CC-21"	CCS-21"	Current
Type I	CC17P1	CCS17P1	CC21P1	CCS21P1	E35 = 350mA
Type II	CC17P2	CCS17P2	CC21P2	CCS21P2	
Type III	CC17P3	CCS17P3	CC21P3	CCS21P3	
Type IV	CC17P4	CCS17P4	CC21P4	CCS21P4	
Type V	CC17P5	CCS17P5	CC21P5	CCS21P5	
Type R	CC17PR	CCS17PR	CC21PR	CCS21PR	
Type L	CC17PL	CCS17PL	CC21PL	CCS21PL	

ELECTRICAL MODULE <sup>2</sup>		
Source	Color Temperature	Voltages
60L 60 LEDs 64W	2K Amber	120 120V
	3K 3000K	208 208V
	4K 4000K	240 240V
120L 120 LEDs 130W	5K 5000K	277 277V
		347 347V <sup>1</sup>
		480 480V <sup>1</sup>

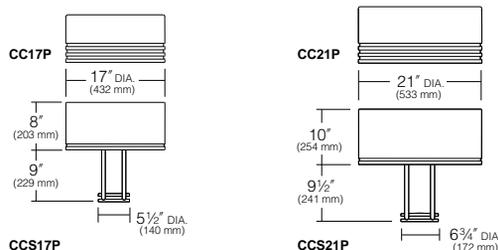
**PRA12-5125FM/DB**

### POLE / POLE ARM

See Arms & Poles Selection Guide at [www.kimlighting.com](http://www.kimlighting.com) for pole EPA & ordering.

<sup>1</sup> Due to current unavailability of 347V and 480V drivers, specification of these voltages may feature an integral step-down transformer.  
<sup>2</sup> Driver has a 0-10V dimming interface with a dimming range of 10-100%. Compatible with most control systems.  
<sup>3</sup> Junction box in wall must provide adequate fixture support.  
<sup>4</sup> Use only in high-vandalism situations. Useful life is limited by UV discoloration from sunlight.  
<sup>5</sup> Specify pole diameter if round, voltage and color, e.g. SCL-R4/277/BL.

HID to LED Upgrade Kits available. Contact factory.



# Curvilinear LED with PicoEmitter™

## CC17 & CC21 LED Arm Mount

### FEATURES

- LED models incorporating patented LED PicoEmitter technology
- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- Dark-Sky compliant, full-cutoff optics with flat glass lens

#### Features exclusive wiHUBB technology

- Wireless system for 0-10VDC full range dimming control
- Programmable autonomous operation



CC/CCS



SITE / ROADWAY

### ORDERING INFORMATION (Example)

<b>1A</b>	<b>CC17A3E35</b>	<b>DB</b>	<b>60L5K120</b>	<b>A-30</b>	<b>—</b>	<b>PRA12-5125A/DB</b>
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MOUNTING		EPA 17'	EPA 21'
1A	1 Arm Side Mt.	0.9	1.2
2B	2 Arm Side Mt.	1.8	2.4
2L	2 Arm Side Mt.	1.6	2.2
3T	3 Arm Side Mt.	2.5	3.4
3Y	3 Arm Side Mt.	2.5	3.4
4C	4 Arm Side Mt.	2.8	3.9
1W	Single Wall Mt.	—	—

NOTE: EPA is for Fixture only

FIXTURE - ARM MOUNT					
	CC-17"	CCS-17"	CC-21"	CCS-21"	Current
Type I	CC17A1	CCS17A1	CC21A1	CCS21A1	E35 = 350mA
Type II	CC17A2	CCS17A2	CC21A2	CCS21A2	
Type III	CC17A3	CCS21A3	CC21A3	CCS21A3	
Type IV	CC21A4	CCS21A4	CC21A4	CCS21A4	
Type V	CC21A5	CCS21A5	CC21A5	CCS21A5	
Type R	CC21AR	CCS21AR	CC21AR	CCS21AR	
Type L	CC21AL	CCS21AL	CC21AL	CCS21AL	

FIXTURE FINISH		
<b>BL</b>	Black	
<b>DB</b>	Dark Bronze	
<b>LG</b>	Light Gray	
<b>SG</b>	Stealth Gray	
<b>PS</b>	Platinum Silver	
<b>WH</b>	White	
<b>CC</b>	Custom Color*	

\*Consult representative

FIXTURE OPTIONS		
<b>1W</b>	Wall Mounting <sup>3</sup>	<b>CGL</b> Convex Glass Lens
<b>A-30</b>	120 Volt photocell	<b>NFO</b> Neighbor Friendly Optic
<b>A-31</b>	208 Volt photocell	<b>CGL</b> Convex Glass Lens
<b>A-32</b>	240 Volt photocell	<b>REV</b> Accent Reveals (CC only)
<b>A-33</b>	277 Volt photocell	<b>L17F</b> Polycarbonate Lens <sup>3</sup>
<b>A-34</b>	480 Volt photocell	<b>L21F</b> Polycarbonate Lens <sup>3</sup>
<b>A-35</b>	347 Volt Photocell	<b>WIH-IM</b> In-Fixture wireless control module
<b>2A-30</b>	120 Volt Photocell	<b>SCL-R</b> Pole Occupancy Sensor up to 16' ht., Round <sup>5</sup>
<b>2A-31</b>	208 Volt Photocell	<b>SCL-S</b> Pole Occupancy Sensor up to 16' ht., Square <sup>5</sup>
<b>2A-32</b>	240 Volt Photocell	<b>SCH-R</b> Pole Occupancy Sensor up to 30' ht., Round <sup>5</sup>
<b>2A-33</b>	277 Volt Photocell	<b>SCH-S</b> Pole Occupancy Sensor up to 30' ht., Square <sup>5</sup>
<b>2A-34</b>	480 Volt Photocell	
<b>2A-35</b>	347 Volt Photocell	

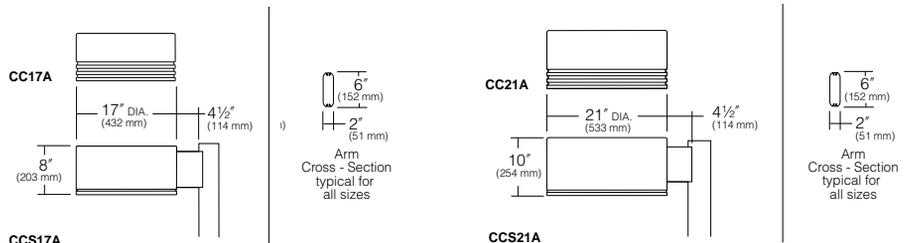
ELECTRICAL MODULE <sup>2</sup>		
Source	Color Temperature	Voltages
60L 60 LEDs 64W	<b>2K</b> Amber	<b>120</b> 120V
	<b>3K</b> 3000K	<b>208</b> 208V
120L 120 LEDs 130W	<b>4K</b> 4000K	<b>240</b> 240V
	<b>5K</b> 5000K	<b>277</b> 277V
		<b>347</b> 347V <sup>1</sup>
		<b>480</b> 480V <sup>1</sup>

POLE / POLE ARM	
See Arms & Poles Selection Guide at <a href="http://www.kimlighting.com">www.kimlighting.com</a> for pole EPA & ordering.	

SLIPFITTER MOUNTING OPTIONS	
HORIZONTAL	
HSF for Pole Davit Arm	
VERTICAL	
4" Round, Standard Fixtures	
<b>VSF-1SA</b>	1 fixture side mt.
<b>VSF-2SB</b>	2 fixtures side mt. 180°
<b>VSF-2SL</b>	2 fixtures side mt. 90°
<b>VSF-3ST</b>	3 fixtures side mt. 90°
<b>VSF-3SY</b>	3 fixtures side mt. 120°
<b>VSF-4SC</b>	4 fixtures side mt. 90°
4" Square, Standard Fixtures	
<b>SVSF-1SA</b>	1 fixture side mt.
<b>SVSF-2SB</b>	2 fixtures side mt. 180°
<b>SVSF-2SL</b>	2 fixtures side mt. 90°
<b>SVSF-3ST</b>	3 fixtures side mt. 90°
<b>SVSF-4SC</b>	4 fixtures side mt. 90°

<sup>1</sup> Due to current unavailability of 347V and 480V drivers, specification of these voltages may feature an integral step-down transformer.  
<sup>2</sup> Driver has a 0-10V dimming interface with a dimming range of 10-100%. Compatible with most control systems.  
<sup>3</sup> Junction box in wall must provide adequate fixture support.  
<sup>4</sup> Use only in high-vandalism situations. Useful life is limited by UV discoloration from sunlight.  
<sup>5</sup> Specify pole diameter if round, voltage and color, e.g. SCL-R4/277/BL.

HID to LED Upgrade Kits available. Contact factory.



# CC/CCS25 Curvilinear LED with PicoPrism™

## CC/CCS25 LED Post Top Mount

SITE / ROADWAY



CCS

### FEATURES

- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- LED models with up to 19,000+ lumen output, 350mA or 700mA drive currents
- Dark-Sky compliant, full-cutoff optics

### Features exclusive wiHUBB technology

- Wireless system for 0-10VDC full range dimming control
- Programmable autonomous operation



### ORDERING INFORMATION (Example)

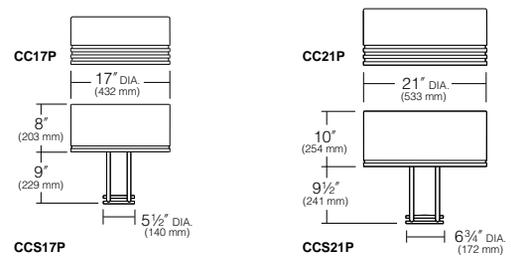
<b>FM</b>	<b>CC25P3P35</b>	<b>DB</b>	<b>60L5K120</b>	<b>A-30</b>	<b>PRA12-5125FM/DB</b>								
<b>MOUNTING</b>		<b>FIXTURE FINISH</b>		<b>FIXTURE OPTIONS</b>									
EPA 25'		<b>BL</b> Black <b>DB</b> Dark Bronze <b>LG</b> Light Gray <b>SG</b> Stealth Gray <b>PS</b> Platinum Silver <b>WH</b> White <b>CC</b> Custom Color* *Consult representative		<b>A-25</b> Photocell receptacle <b>A-30</b> 120 Volt photocell <b>A-31</b> 208 Volt photocell <b>A-32</b> 240 Volt photocell <b>A-33</b> 277 Volt photocell <b>A-34</b> 480 Volt photocell <b>A-35</b> 347 Volt Photocell <b>REV</b> Accent Reveals (CC only) <b>WIH-IM</b> In-fixture wireless control module									
<table border="1"> <tr> <th>Mounting</th> <th>EPA</th> </tr> <tr> <td>FM Flush Mount</td> <td>1.2</td> </tr> <tr> <td>PT Post Tenon Mount</td> <td>1.2</td> </tr> <tr> <td>DM Direct Mount</td> <td>1.2</td> </tr> </table> NOTE: EPA is for Fixture only		Mounting	EPA	FM Flush Mount	1.2	PT Post Tenon Mount	1.2	DM Direct Mount	1.2			<b>NFO</b> Neighbor Friendly Optic <b>SCL-R</b> Pole Occupancy Sensor up to 16' ht., Round <sup>3</sup> <b>SCL-S</b> Pole Occupancy Sensor up to 16' ht., Square <sup>3</sup> <b>SCH-R</b> Pole Occupancy Sensor up to 30' ht., Round <sup>3</sup> <b>SCH-S</b> Pole Occupancy Sensor up to 30' ht., Square <sup>3</sup>	
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FIXTURE - POST TOP MOUNT			
	CC-25"	CCS-25"	Current
Type I	CC25P1	CCS25P1	P35 350 mA PicoPrism
Type II	CC25P2	CCS25P2	P70 700 mA PicoPrism
Type III	CC25P3	CCS25P3	
Type IV	CC25P4	CCS25P4	
Type V	CC25P5	CCS25P5	
Type R	CC25PR	CCS25PR	
Type L	CC25PL	CCS25PL	

ELECTRICAL MODULE <sup>1</sup>		
Source	Color Temperature	Voltages
96L 96 LEDs 106W at 350mA, 219W at 700mA	2K Amber	120 120V
	3K 3000K	208 208V
	4K 4200K	240 240V
	5K 5100K	277 277V
		347 347V <sup>2</sup>
		480 480V <sup>2</sup>

<sup>1</sup> Driver has a 0-10V dimming interface with a dimming range of 10-100%. Compatible with most control systems.  
<sup>2</sup> Due to current unavailability of 347V and 480V drivers, specification of these voltages may feature an integral step-down transformer.  
<sup>3</sup> Specify pole diameter if round, voltage and color, e.g. SCL-R4/277/BL.

HID to LED Upgrade Kits available. Contact factory.



# CC/CCS25 Curvilinear LED with PicoPrism™

## CC/CCS25 LED Arm Mount

### FEATURES

- Classic, curvilinear style luminaire for architectural relevance and reduced wind loads
- LED models with up to 19,000+ lumen output, 350mA or 700mA drive currents
- Dark-Sky compliant, full-cutoff optics

### Features exclusive wiHUBB technology

- Wireless system for 0-10VDC full range dimming control
- Programmable autonomous operation



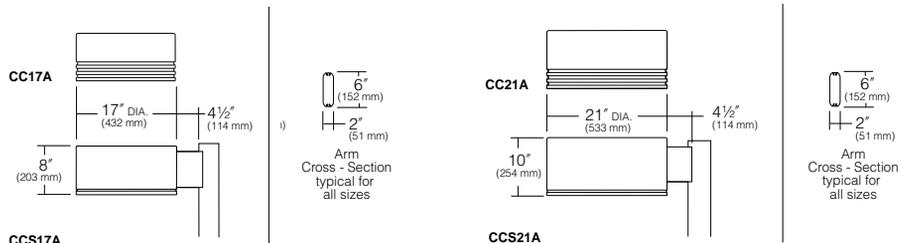
SITE / ROADWAY

### ORDERING INFORMATION (Example)

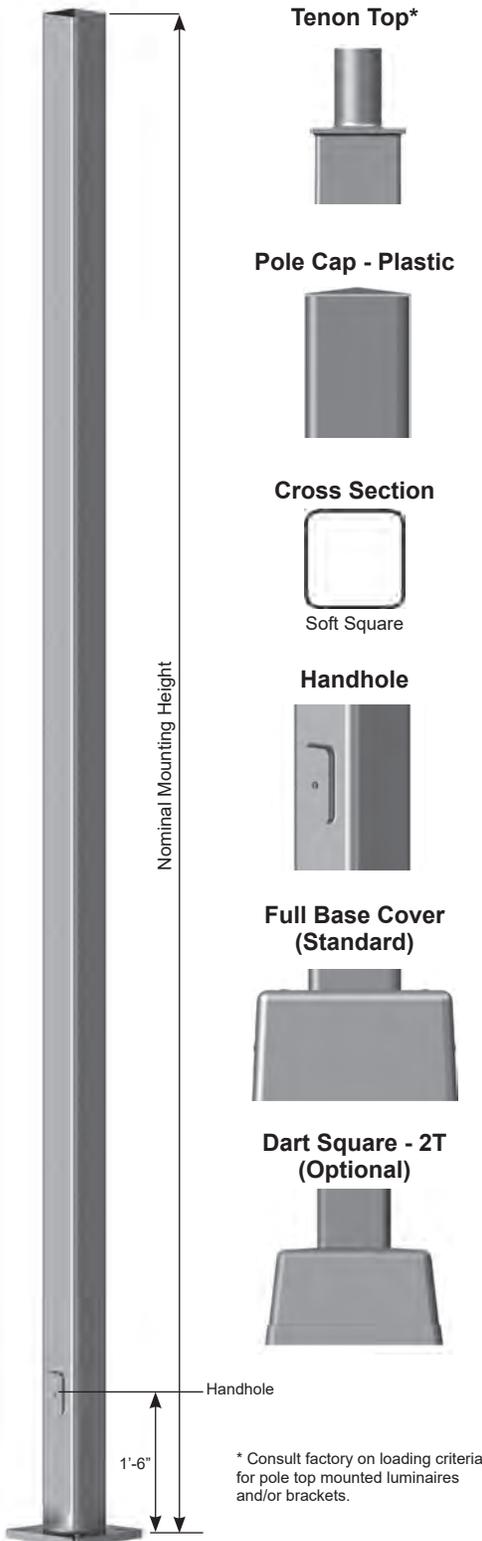
<b>1A</b>	<b>CC25A3P35</b>	<b>DB</b>	<b>60L5K120</b>	<b>A-30</b>	<b>—</b>	<b>PRA12-5125A/DB</b>																																																
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HID to LED Upgrade Kits available. Contact factory.



Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: _____ Quote: _____	Customer Approval: _____ Date: _____



## SPECIFICATIONS

**Pole Shaft** - The pole shaft is fabricated from hot rolled welded steel tubing of one-piece construction with a minimum yield strength of 55 KSI.

**Pole Top** - A removable pole cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. For top mount luminaire and/or bracket consult the factory. Consult the luminaire manufacturer for correct tenon size or drill pattern. Other pole top options include pole cap only (PC) or plain top (PL) which is typical when the pole top diameter matches the necessary slip fit dimensions

**Handhole** - A reinforced handhole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each handhole includes a cover and the cover attachment hardware. All pole assemblies are provided with a 2.5" x 5" rectangular handhole. Handhole dimensions are nominal.

**Base Cover** - A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Additional base cover options, including the dart square (2T) cast aluminum cover, are available upon request.

**Anchor Bolts** - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

**Hardware** - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

**Finish** - Standard finishes are either Galvanized (GV) or Finish Painted (FP). Additional finish options including Finish Paint over Galvanizing (FPGV) or any of the V-PRO™ Finish Coating Systems are available upon request. See the product ordering code for color options.

**Design Criteria** - Please reference Design Criteria Specification for appropriate design conditions.

# SOFT SQUARE STEEL DS330

## Fatigue Resistant

Job Name: _____	Client Name: _____
Job Location - City: _____ State: _____	Created By: _____ Date: _____
Product: _____ Quote: _____	Customer Approval: _____ Date: _____

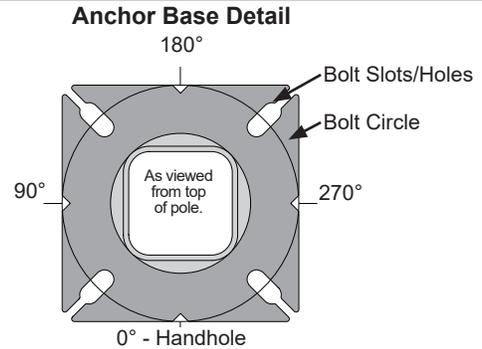
### DESIGNATION, LOAD AND DIMENSIONAL DATA

NOMINAL MOUNTING HEIGHT	DESIGN INFORMATION						POLE DIMENSIONS <sup>3</sup>				DESIGNATION
	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST		SHAFT BASE SQUARE <sup>3</sup> (IN)	SHAFT TOP SQUARE (IN)	WALL THK (GA)	STRUCTURE WEIGHT <sup>2</sup> (LBS)	
	MAX EPA <sup>1</sup> (SQFT)	MAX WEIGHT <sup>1</sup> (LBS)	MAX EPA <sup>1</sup> (SQFT)	MAX WEIGHT <sup>1</sup> (LBS)	MAX EPA <sup>1</sup> (SQFT)	MAX WEIGHT <sup>1</sup> (LBS)					
10'-0"	30.6	765	23.8	595	18.9	473	4.00	4.00	11	75	400Q100
12'-0"	24.4	610	18.8	470	14.8	370	4.00	4.00	11	90	400Q120
14'-0"	19.9	498	15.1	378	11.7	293	4.00	4.00	11	100	400Q140
16'-0"	15.9	398	11.8	295	8.9	223	4.00	4.00	11	115	400Q160
18'-0"	12.6	315	9.2	230	6.7	168	4.00	4.00	11	125	400Q180
20'-0"	9.6	240	6.7	167	4.5	150	4.00	4.00	11	140	400Q200
	17.7	443	12.7	343	9.4	235	5.00	5.00	11	185	500Q200
	28.1	703	21.4	535	16.2	405	5.00	5.00	7	265	500W200
25'-0"	4.8	150	2.6	100	1.0	50	4.00	4.00	11	170	400Q250
	10.8	270	7.7	188	5.4	135	4.00	4.00	7	245	400W250
	9.8	245	6.3	157	3.7	150	5.00	5.00	11	225	500Q250
	18.5	463	13.3	333	9.5	238	5.00	5.00	7	360	500W250
30'-0"	6.7	168	4.4	110	2.6	65	4.00	4.00	7	291	400W300
	4.7	150	2.0	50	N/A	N/A	5.00	5.00	11	265	500Q300
	10.7	267	6.7	167	3.9	100	5.00	5.00	7	380	500W300
	19.0	475	13.2	330	9.0	225	6.00	6.00	7	520	600W300
35'-0"	5.9	150	2.5	100	N/A	N/A	5.00	5.00	7	440	500W350
	12.4	310	7.6	190	4.2	105	6.00	6.00	7	540	600W350
40'-0"	7.2	180	3.0	75	N/A	N/A	6.00	6.00	7	605	600W400

- Maximum EPA (Effective Projected Area) and weight values are based on side mounted fixtures only. Consult factory on loading criteria for pole top mounted luminaires and/or brackets. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.
- Structure weight is a nominal value which includes the pole shaft and base plate only.
- Belled-bottom will have reduced thickness due to the cold-working process. However, the belled-bottom meets or exceeds the structural capacity of the original square section. In addition, the rounded section provides better fatigue resistance.

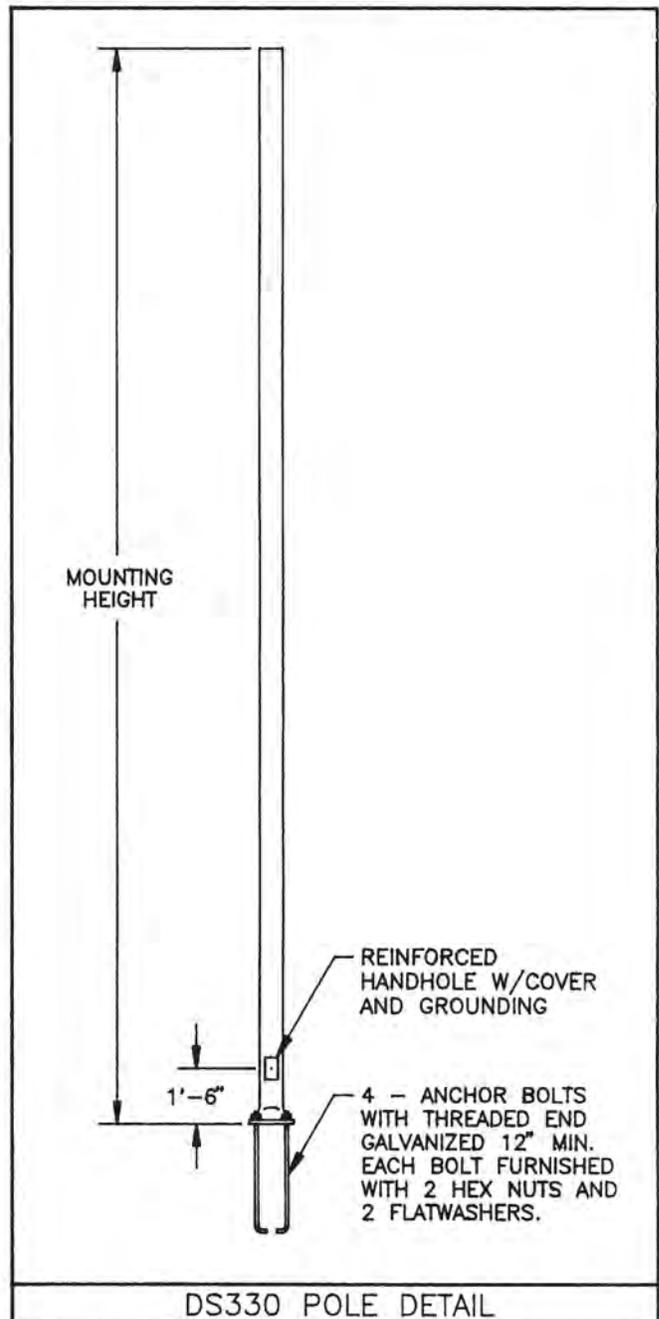
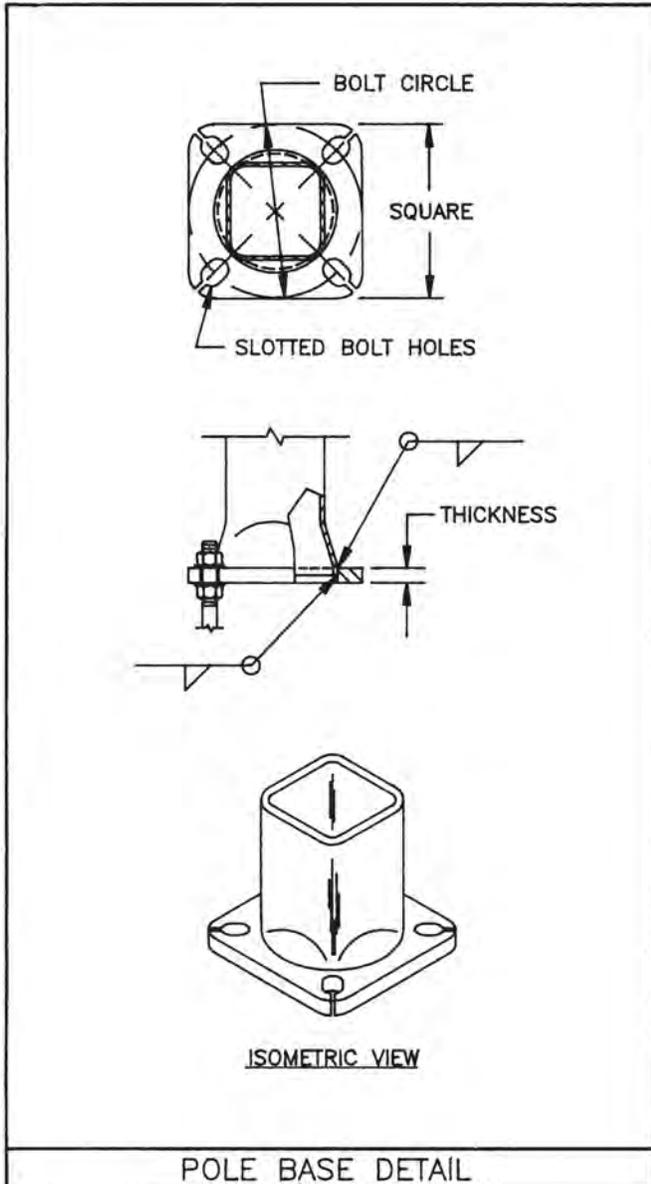
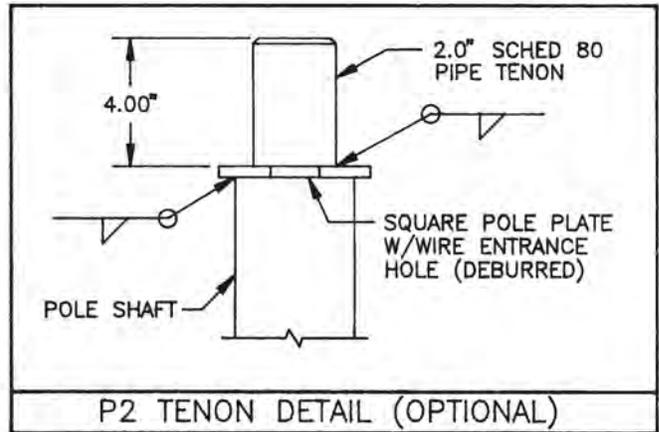
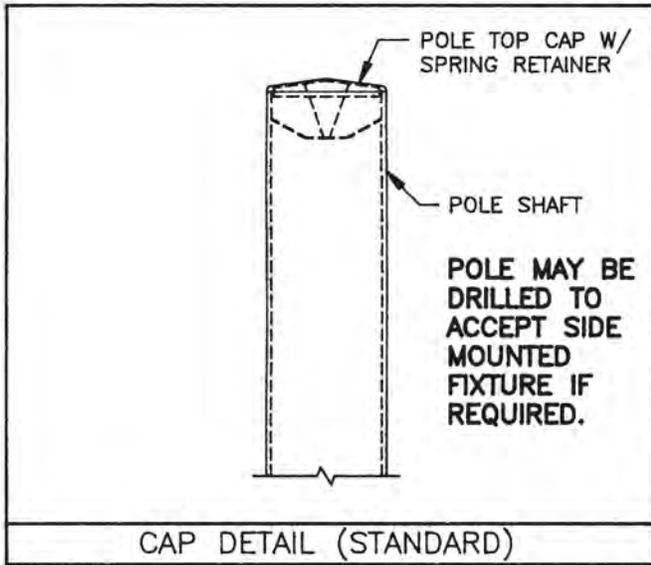
### ANCHORAGE DATA

POLE		BASE PLATE				ANCHOR BOLTS			
POLE BASE SQUARE (IN)	WALL THK (GA)	BOLT CIRCLE		SQUARE (IN)	THK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)	± (IN)	
		DIA (IN)	± (IN)						
4.00	11	8.50	0.50	8.25	0.750	0.75 x 17.00 x 3.00	3.50	0.25	
4.00	7	8.50	0.50	8.25	0.875	0.75 x 17.00 x 3.00	3.63	0.25	
5.00	11	11.00	1.00	11.00	1.000	0.75 x 17.00 x 3.00	3.75	0.25	
5.00	7	11.00	1.00	11.00	1.000	0.75 x 17.00 x 3.00	3.75	0.25	
6.00	7	12.00	1.00	12.50	1.000	1.00 x 36.00 x 4.00	4.25	0.25	



### STANDARD ORDERING CODE STRUCTURE

MODEL	DESIGNATION	FIXTURE MOUNTING	FINISH SYSTEM	STANDARD COLOR OPTIONS	BASE COVER	ANCHOR BOLTS	SUPPLEMENTAL INFO
DS330		<b>Drill Mounting (See Orientation)</b> D1 = (1) Drillings @ 270° D2 = (2) Drillings @ 90° & 270° D4 = (4) Drillings @ 0°, 90°, 180°, & 270° D5 = (2) Drillings @ 90° & 180° D6 = (3) Drillings @ 90°, 180°, & 270°  <b>Tenon Mounting</b> P2 = 2.38" OD x 4" tenon P4 = 4.00" OD x 6" tenon P5 = 2.88" OD x 4" tenon P6 = 2.88" OD x 5" tenon P7 = 2.38" OD x 5" tenon P9 = Special Size (Specify)  <b>Other Options</b> PC = Pole Cap PL = Plain Top (No Cap)	GV = Galvanized FP = Finish Painted -----OPTIONAL----- FPGV = Finish Paint over Galvanizing VP30 = V-PRO™ 30 System VP32 = V-PRO™ 32 System VP53 = V-PRO™ 53 System VP54 = V-PRO™ 54 System VP57 = V-PRO™ 57 System VP100 = V-PRO™ 100 System VP105 = V-PRO™ 105 System	GV = Galvanized BK = Black DB = Dark Bronze MB = Medium Bronze WH = White LG = Light Gray CB = Bronze DG = Dark Green ST = Sandstone HG = Hunter Green SG = Slate Gray SL = Silver SC = Special Color (Specify)	FBC = Full Base Cover -----OPTIONAL----- 2T = Square Dart Cover	AB = With Anchor Bolts LAB = Without Anchor Bolts	



SPC7207 03/16 valmontstructures.com carries the most current spec information and supersedes these guidelines.



## TRAFFIC AND PARKING MEMORANDUM

DATE: July 20, 2016  
TO: Wright Heerema Architects  
FROM: Peter W. Reinhofer, P.E.  
RE: Three Parkway North  
Proposed Parking Expansion  
Deerfield, Illinois

---

V3 Companies of Illinois, Ltd. is working with Wright Heerema Architects on the proposed parking expansion for 3 Parkway North located along Parkway North Boulevard east of Saunders Road in Deerfield, Illinois. The proposed expansion includes redesigning a portion of the existing surface parking lot and the expansion of the three-story parking garage east of the office building. There are no proposed modifications of the existing office building.

### *Proposed Plan*

3 Parkway North currently consists of a five story office building with a gross floor area of approximately 255,092 square feet. The office building is accompanied by a surface lot to the north and east of the building and a three story parking garage to the east of the building. Vehicles enter and exit the parking garage through four full access driveways, with two each located on the east side and west side of the garage. The drive aisles of the parking garage carry two-way traffic. The parking lot for 3 Parkway North is accessible through a driveway on Parkway North with 3 Parkway North signage and a second driveway on Parkway North adjacent to the 4 Parkway North office building to the west.

A number of modifications are proposed to the existing 3 Parkway North parking lots as part of this proposed parking expansion. A new three story parking garage is proposed to the north of the existing parking garage. The new garage will require reconfiguring the surface lot immediately east of the front door to the office building, which includes a large portion of the ADA parking spaces on the site. The curb line of the parking area south of the existing parking garage will be shifted further south to accommodate an additional row of parking. A pocket of ADA parking spaces will be added on the north edge of the building and a small surface lot will be constructed south of the building, which is accessible only from Hawthorne Lane. A new driveway connection is also proposed to Hawthorne Lane from the 3 Parkway North parking lot.

The conceptual site plan is attached to this memo.

### *Traffic*

The Parkway North Center business park, which includes 3 Parkway North, consists of a variety of land uses including hotel, office, and residential uses. The Parkway North Center business park is accessible from Saunders Road to the west of the business park, Deerfield Road to the north of the business park, and Hawthorne Lane to the south of the business park. Saunders Road and Deerfield Road are designated as arterials while Hawthorne Lane operates as a secondary access roadway. The business park is served internally by Parkway North, a collector roadway, which travels through the business park and creates signalized intersections at both Saunders Road and Deerfield Road. Driveways and internal roadways are provided to each of the individual complexes in the Parkway North Center business park on Parkway North.

Weekday peak hour traffic counts in the vicinity of 3 Parkway North have been recently collected. Traffic counts at the intersection of Saunders Road and Parkway North were collected by V3 Companies on January 26, 2016, while counts for the 3 Parkway North and 4 Parkway North driveways were collected by Eriksson Engineering Associates in January 2015. The existing traffic volumes are summarized in the attached exhibit.

It is our understanding that the proposed parking expansion does not include any modifications to the existing office building. The proposed reconfiguration of the parking lots in addition to the new driveway on Hawthorne Lane will slightly alter existing traffic patterns in the area.

The existing traffic counts illustrate that inbound trips to 3 Parkway North are nearly evenly split between Saunders Road and Deerfield Road. Following the construction of the Hawthorne Lane driveway, it is anticipated that all trips currently originating from Deerfield Road will continue to use Deerfield Road and Parkway North to enter the parking lot as there is no convenient connection between Deerfield Road and Hawthorne Lane.

Inbound trips from Saunders Road may utilize Hawthorne Lane to access the parking lot when the connection is constructed, but the volume is expected to be limited. It is anticipated that southbound Saunders Road traffic will continue to use Parkway North due to the traffic signal providing protected left turns into the business park. Northbound right turning traffic on Saunders Road may divert to Hawthorne Lane to access the parking garage and surface lots or continue their existing route along Parkway North. Since the diverted traffic will be making right turns along Saunders Road, the impact should be minimal to the operations of the local roadways.



Outbound trips are expected to be influenced by the same factors as drivers will likely take the shortest route and choose paths with the least delays. This may lead to northbound Saunders traffic using Hawthorne Lane to exit via right turn onto Saunders Road instead of Parkway North; however, southbound Saunders traffic will likely continue to use Parkway North due to the traffic signal providing protected left turns onto Saunders Road. Similar to the inbound traffic, since the diverted traffic will be making right turns from Hawthorne Lane onto northbound Saunders Road, the impact should be minimal to the operations of the local roadways. Therefore, it is anticipated that the intersections of Saunders Road/Parkway North and Saunders Road/Hawthorn Lane will likely operate similarly to the existing conditions.

Overall, the proposed parking expansion and circulation modifications will not have adverse impact to the local roadway network and the modified traffic flow into and out of the parking lots is safe and efficient.

#### *On Site Circulation*

3 Parkway North is accessible through a full access driveway on Parkway North that has 3 Parkway North signage and through cross access to a 4 Parkway North full access driveway to the west. Surface parking lots are located north and east of the office building while the parking garage is located east of the office building. The full access driveway on Parkway North is the main north-south drive aisle that travels through the site and separates the office building from the surface and garage parking and will also align with the future access to Hawthorne Lane.

The existing parking garage is accessible via four full access driveways, with two each located on the east and west ends of the structure. All drive aisles through the surface parking and parking garage are marked for two-way traffic. Most vehicle trips to and from the parking garage travel along the main north-south drive aisle and use the full access driveway on Parkway North. The addition of an external driveway to Hawthorne Lane will divert some traffic from Parkway North to Hawthorne Lane, which will modify the existing on site circulation by allowing garage traffic to enter and exit the garage directly without driving along the office building frontage. The direct access should reduce interactions between pedestrians and vehicles, improving on site circulation as well as pedestrian circulation.

Also, the reconfiguration of the surface lot east of the main building entrance will consolidate the existing three parking aisles into two parking aisles and reduce the number of surface lots accessible via the main drive aisle. This will greatly reduce the interactions between through vehicles, turning vehicles, and pedestrians walking between the parking lots and front door, further improving on site circulation, particularly for the vehicles parking in the ADA spaces.



The configuration of the proposed garage will also alter on site circulation. The proposed garage includes a driveway on the north edge of this building. This driveway will allow access to only the first floor of the proposed garage. While this represents a relatively small portion of total available parking, vehicles originating from Parkway North can access the proposed north entrance to the garage without driving along the east frontage of the building. The second and third floors of the proposed garage are accessible via proposed cross access to the existing garage. These new floors will be marked and signed for one-way, counter-clockwise traffic flow to improve efficiency.

### *Pedestrian Circulation*

The proposed site plan includes several improvements to pedestrian circulation. New sidewalks are provided that will connect the reconfigured surface lot east of the office building to the front door. The additional parking garage spaces will direct pedestrians to stairwells located at the northwest corner of the proposed garage and the stairwells of the existing garage and funnel pedestrians to an external door at the southwest corner of the proposed garage. New sidewalks will be provided along the north edge of the existing garage that will connect the proposed garage and new external door to the office front door.

Finally, as previously discussed, vehicle traffic on the main drive aisle along the east frontage of the building may experience reduced traffic due to vehicles diverting from Parkway North to Hawthorne Lane, the altered access to the parking garage, and consolidation of surface parking drive aisles. Any reduction in traffic along the north-south drive aisle will reduce the number of vehicle/pedestrian conflicts.

### *Parking*

3 Parkway North currently includes a surface lot with 601 parking spaces and a three story parking garage with 198 parking spaces, providing a total of 799 parking spaces, including 16 ADA parking spaces. The proposed parking expansion includes 242 new parking spaces in the proposed garage and 96 new surface parking spaces. However, the configuration of the proposed parking garage results in a reduction of 158 surface spaces and 10 garage spaces. Therefore, the net parking provided on the proposed site plan consists of 539 surface parking spaces and 430 garage parking spaces, for a total of 969 parking spaces. This includes 20 ADA parking spaces.

The existing and proposed parking totals are summarized in Table 1.



**Table 1: Existing and Proposed Parking Summary**

Type of Parking	Existing Spaces	Total Spaces in Proposed Condition	Net Change
Surface Lot	601	539	-62
Garage	198	430	+232
ADA (Included in Surface or Garage Count)	(16)	(20)	(+4)
<b>Total</b>	<b>799</b>	<b>969</b>	<b>+170</b>

It is our understanding that the existing parking provided for the 3 Parkway North office building is meeting the current parking demand. The addition of 170 parking spaces to provide a total of 969 parking spaces will continue to meet the existing parking demand for the office building.

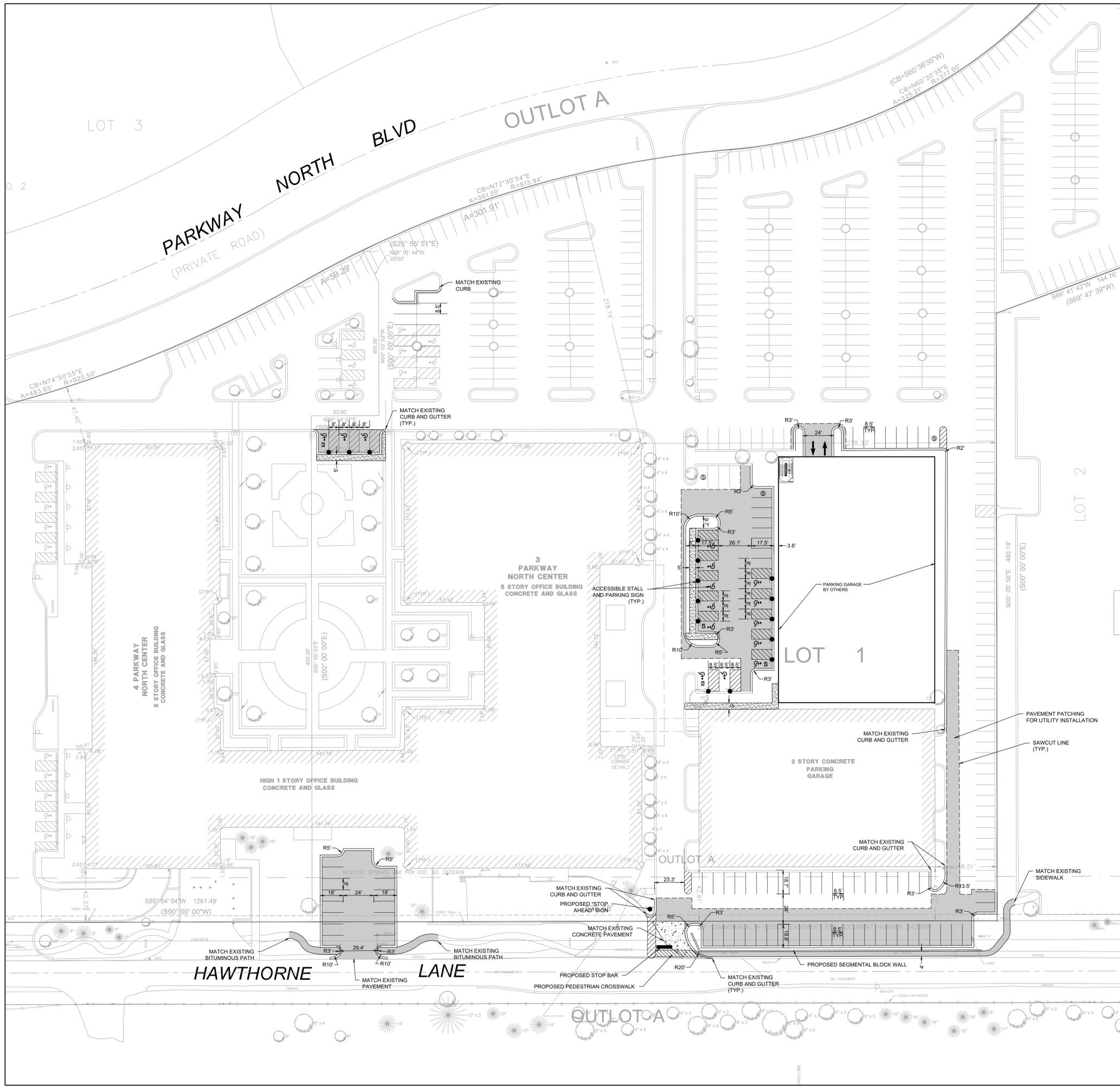
The number of ADA parking spaces is determined by the Illinois Accessibility Code (IAC). Table 2 provides a summary of the required number of accessible parking spaces based upon the total off-street parking provided. Based on the proposed parking providing 969 parking spaces, the Code requires two percent of the total spaces, which equals 20 spaces. The 20 ADA parking spaces provided satisfies the IAC requirement.

**Table 2: ADA Parking Space Requirement per Illinois Accessibility Code**

Total Off-Street Parking Provided	Required Minimum Number of Accessible Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2% of total number
Over 1000	20 Plus 1 for each 100 over 1000



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**LAYOUT NOTES:**

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

PROPOSED ASPHALT PAVING  
(SECTION TO MATCH EXISTING)  
ANTICIPATED SECTION TO BE:  
1.5" SURFACE COURSE  
2" BINDER COURSE  
6" AGGREGATE BASE COURSE (CA-6)  
TO BE VERIFIED BY GEOTECHNICAL ENGINEER

**PARKING SUMMARY**

**EXISTING**  
SURFACE PARKING STALLS = 601 (INCLUDES 16 ACCESSIBLE STALLS)  
GARAGE PARKING STALLS = 198  
**TOTAL NET PARKING STALLS = 799 (INCLUDES 16 ACCESSIBLE STALLS)**

**PROPOSED**  
SURFACE PARKING STALLS GAINED = +96  
SURFACE PARKING STALLS LOST = -158  
EXISTING SURFACE PARKING STALLS = 601  
NET SURFACE PARKING STALLS = 539 (INCLUDES 18 ACCESSIBLE STALLS)

PROPOSED GARAGE PARKING STALLS GAINED = +242  
EXISTING GARAGE PARKING STALLS LOST = -19  
EXISTING GARAGE PARKING STALLS = 198  
NET GARAGE PARKING STALLS = 430 (INCLUDES 2 ACCESSIBLE STALLS)  
**TOTAL NET PARKING STALLS = 969 (INCLUDES 20 ACCESSIBLE STALLS)**



Project Name & Location  
E:\198696031\96031\1\DRAWINGS\CAD\LD\ISO\SHEET DRAWINGS\C-300

**V3 Companies**  
7325 James Avenue  
Suite 200  
Deerfield, IL 60015  
830.724.9200 phone  
830.724.9202 fax  
www.v3co.com

**V3**  
Visio, Vertere, Virtute... The Vision to Transform with Excellence™

OWNERS AND/OR SUBS LOGO

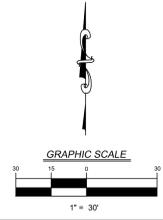
**3 PARKWAY NORTH**  
PARKING STRUCTURE EXPANSION  
DEERFIELD, ILLINOIS

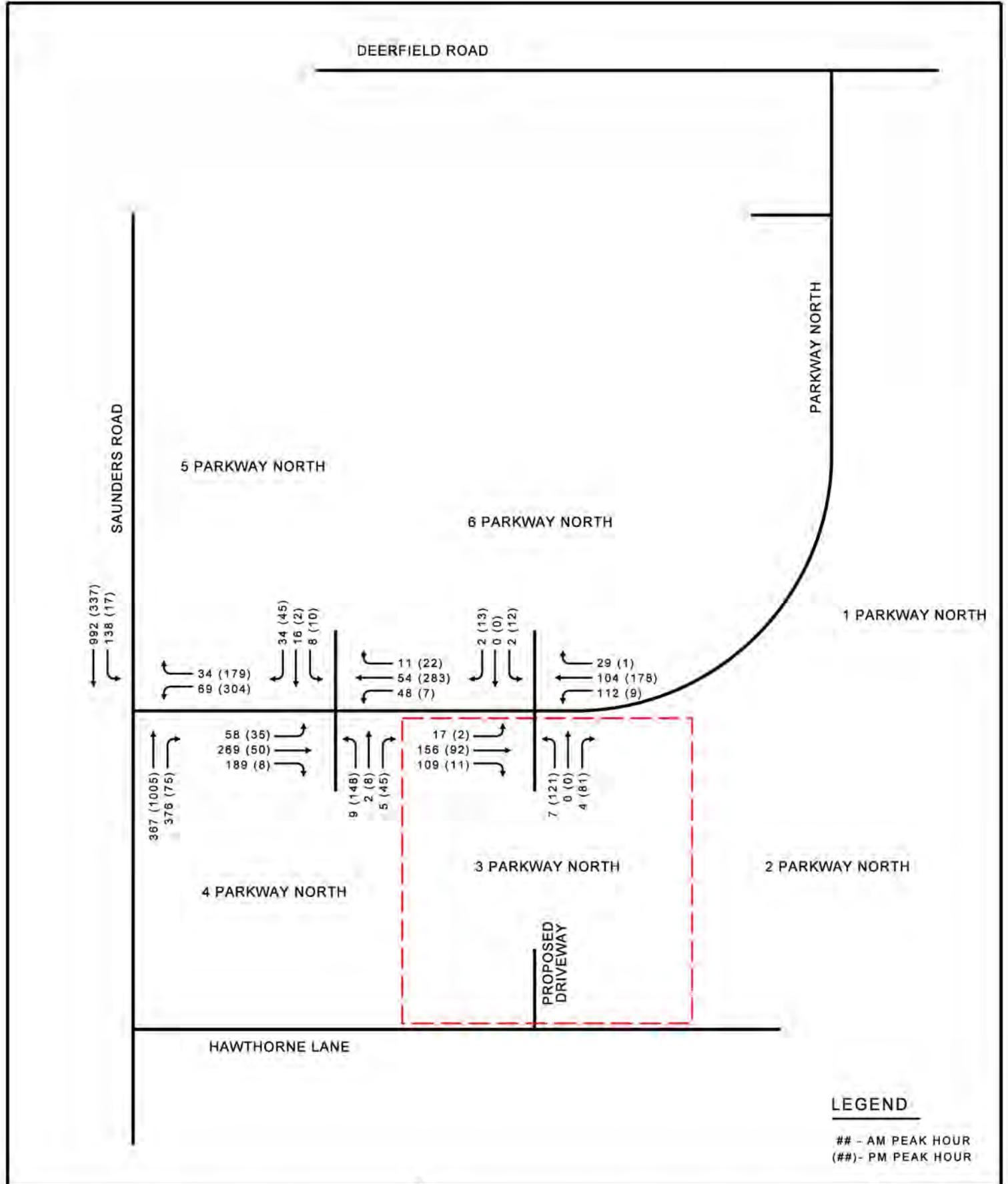
NO.	DATE	DESCRIPTION	ISSUED
1	07/21/16	PLAN COMMISSION	

PROJECT NO: 96031-WHA  
DRAWN BY: DB  
CHECKED BY: LC  
SHEET TITLE:

**LAYOUT AND PAVING PLAN**

**C-300**





**LEGEND**

## - AM PEAK HOUR  
 (##) - PM PEAK HOUR

3 PARKWAY NORTH

**EXISTING TRAFFIC VOLUME**

DEERFIELD

ILLINOIS





## Deerfield-Bannockburn Fire Protection District

### Bureau of Fire Prevention

500 Waukegan Road • Deerfield, Illinois 60015 • (847) 945-4088 • Fax (847) 945-8951

July 29, 2016

Jeff Ryckaert  
Village of Deerfield  
Principal Planner  
850 Waukegan Road  
Deerfield, Illinois 60015

RE: Site plan review for 3 Parkway North Blvd. Parking Structure

Dear Mr. Ryckaert:

The Fire Prevention Bureau has completed the site plan review for the proposed premises using the International Building Code 2012 Edition and adopted local ordinances. The fire department recommends approval of this project as long as the following items are addressed:

1. The parking garage shall be equipped with a Class I manual dry standpipe per IFC Section 905.3.
2. The parking garage shall be equipped with a fire department connection located within 100 feet of a municipal fire hydrant per local ordinance.

If you have any questions, or would like to set up a meeting, please do not hesitate to contact us.

Have a safe day,

Brian McCarthy  
Fire Marshal

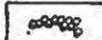
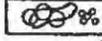
Cc: Wright Heerema Architects



Previously Approved Phase IV Landscape Plan

Previously Approved  
Phase IV Landscaping

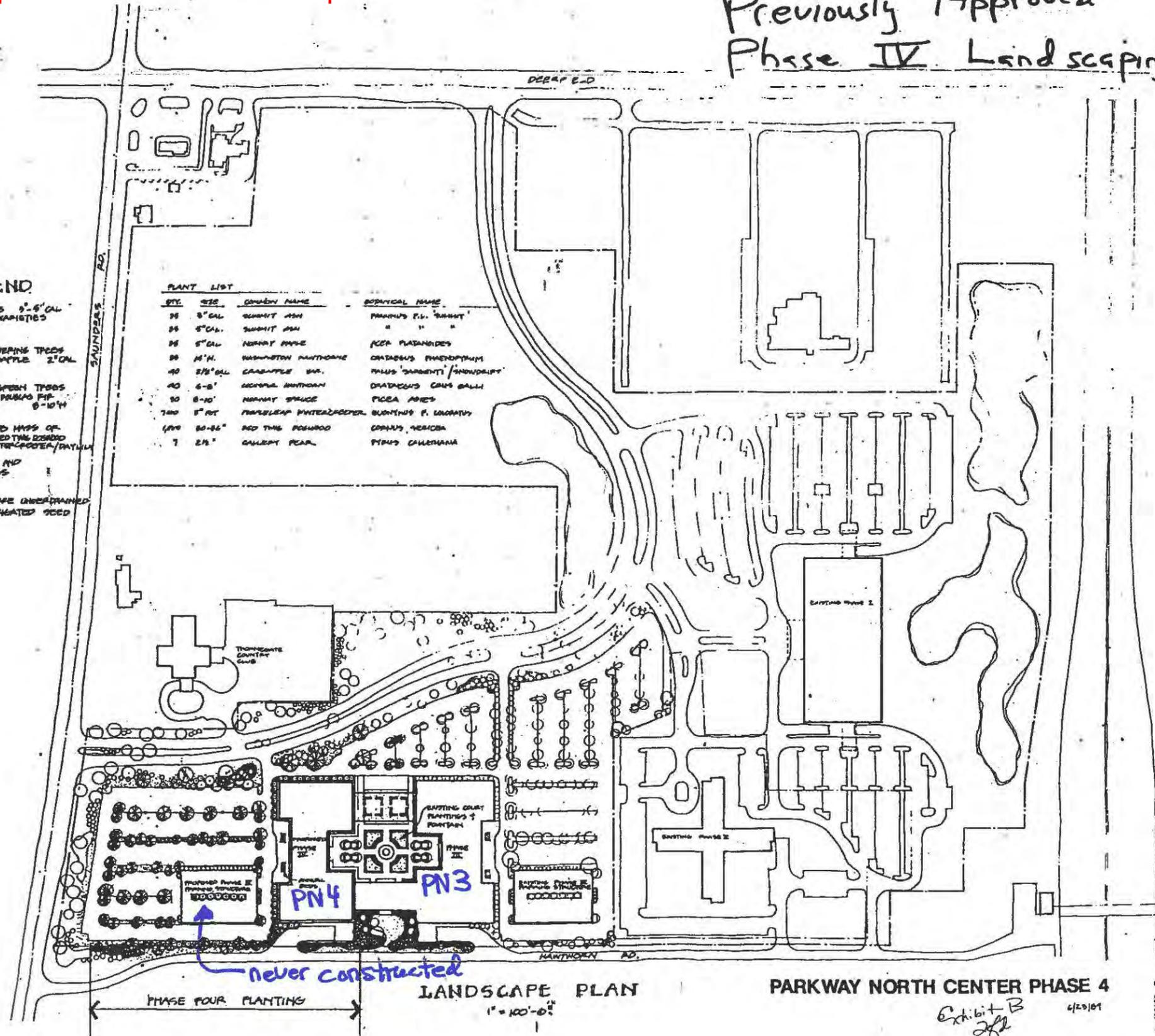
PLANTING LEGEND

-  PROPOSED TREES 9'-8' CAL ASH & MAPLE VARIETIES
-  PROPOSED FLOWERING TREES HAWTHORN, CRABAPPLE 2' CAL. QUINCE PEAR
-  PROPOSED EVERGREEN TREES NORWAY SPRUCE, PYRAMIDAL FIRS 8-10' H
-  FLOWERING SHRUB MASS OR GROUNDCOVER RED-TWIG DOGWOOD, PURPLELEAF WINTERCREEPER/PATULA
-  EXISTING TREE AND SHRUB PLANTINGS

ALL PLANTINGS ARE OVERDRAINED  
ALL LAWN IS IRRIGATED SEED

PLANT LIST

QTY	SIZE	COMMON NAME	BOTANICAL NAME
25	8' CAL	SUMMIT ASH	FRAXINUS P.L. 'SUMMIT'
25	8' CAL	SUMMIT ASH	"
25	8' CAL	NORWAY SPRUCE	PICEA PLATANIDES
25	14' H	WASHINGTON REDTONGUE	CRATAEGUS PHAEOPTERIS
40	2 1/2' CAL	CRABAPPLE VAR.	MALUS 'SARACENTIS' 'SNOOWDRIFT'
40	6-8'	SCORPION HYDRANGEA	CRATAEGUS COUS BALLY
50	8-10'	NORWAY SPRUCE	PICEA ABIES
700	8' HT	PURPLELEAF WINTERCREEPER	SCUMMUS P. LONGITVUS
100	20-24"	RED TWIG DOGWOOD	CORNUS VESICOSA
7	24"	GALLET PEAR	PIRUS CAMERIANA



never constructed

PHASE FOUR PLANTING

LANDSCAPE PLAN  
1" = 100'-0"

PARKWAY NORTH CENTER PHASE 4

Exhibit B  
2/2

4/20/01

J  
1001

June 22, 2016

# John Buck sells Deerfield offices for \$80 million

By [Ryan Ori](#)

[REPRINTS](#)

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9 Parkway Blvd. North was one of the buildings in the deal.

PHOTO BY COSTAR GROUP

Development firm John Buck sold three Deerfield office buildings for about \$80 million, one of the largest office sales in the Chicago suburbs so far this year, as the firm focuses on real estate projects in the city.

A venture of Chicago-based Fulcrum Asset Advisors on June 10 bought buildings at 3, 6 and 9 Parkway Blvd. North, Fulcrum said.

Fulcrum confirmed the acquisition in a statement from Seattle-based brokerage Collier International. Rosemont-based Colliers principals Steven Kling and Darryl Silverman will represent Fulcrum in leasing the buildings.

The statement did not name the price for the Parkway North buildings, which people familiar with the deal said was about \$80 million, or about \$165 per square foot. The sale price could not yet be found in Lake County property records.

Fulcrum also did not name its investment partner in the deal, which sources said is White Plains, N.Y.-based True North Management Group.

“We see Parkway North as the premier corporate headquarters office park in Chicago, and are planning to invest in the existing amenities, especially the incredible café and winter garden at Three Parkway North, as well as develop service and amenity enhancements that deliver an extraordinary tenant experience,” Peter Broccolo, a Fulcrum principal, said in an emailed statement. “The location and quality of the buildings put Parkway North at the top of the list of suburban business parks.”

Fulcrum has invested in several office buildings in Chicago and the suburbs. Last year, it was part of a venture that sold the 24-story office tower at **33 N. Dearborn St.** in the Loop for \$62 million.

### **MONDELEZ HQ**

The Parkway North office park, which has six Class A office buildings constructed between 1988 and 2000, is between the Lake Cook Road and Deerfield Road interchanges on Interstate 94.

The largest building bought by the Fulcrum venture is Three Parkway North, a five-story, 244,407-square-foot building whose tenants include the headquarters of snack company **Mondelez International** and **GCG Financial**. The building is 70 percent leased.

The other buildings are the four-story, 96,054-square-foot Six Parkway North, which is 96 percent leased to tenants including Walgreen Boots Alliance and the North American headquarters of Dutch pharmaceuticals company Lundbeck, and five-story, 132-867-square-foot Nine Parkway North, which is 60 percent leased to firms including the headquarters of IT firm Meridian Group International.

After being hit hard during the recession, the suburban office market has improved over the past several years. **First-quarter vacancy** of 18.9 percent was just above a 14-year low, according to Chicago-based Jones Lang LaSalle.

In the other largest year-to-date deal in the suburbs, Philadelphia-based Equus Capital Partners is paying almost \$80 million for the two-tower Mid America Plaza in west suburban Oakbrook Terrace, Crain's **recently reported**.

### **DEAL ENDS BUCK'S INVOLVEMENT IN PARK**

John Buck's three-building sale in Deerfield winds down the Chicago-based firm's involvement in the office park. Buck bought five of the six large buildings in the complex and a smaller structure in **a \$168 million deal in 2008**.

Previously, Buck sold **Ten Parkway North** for \$25 million in 2010 and **Four Parkway North** for \$40.9 million in 2012, according to Lake County records. Last year, it sold a smaller structure at Five Parkway North for just over \$1.2 million, according to county records.

Including the three-building sale to Fulcrum, Buck sold off the portfolio for about \$147 million combined, 13 percent less than its 2008 price.

Kevin Hites, Buck's chief investment officer, did not respond to requests for comment.

Early this year, Buck also sold an office building **in Rolling Meadows** as the firm focuses on developing a **new 35-story office tower** at 151 N. Franklin St. in the Loop, where insurer CNA Financial will be the namesake tenant. Buck also is seeking tenants to fill CNA's iconic red building at 333 S. Wabash Ave., which Buck bought from CNA as part of the lease deal in the new building.

## **CRAIN'S**

Crain's Chicago Business | 150 N. Michigan Ave., 16th Floor | Chicago, IL 60601

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**REQUEST FOR BOARD ACTION**

16-84-2

**Agenda Item:** \_\_\_\_\_

**Subject:** Ordinance Annexing Certain Territory Excluded from the Village of Riverwoods – 2R

\_\_\_\_\_

\_\_\_\_\_

**Action Requested:** Final Approval

\_\_\_\_\_

Village Manager’s Office

**Originated By:** \_\_\_\_\_

Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

A report and recommendation annexing certain territory excluded from the Village of Riverwoods was accepted at the August 1, 2016, Board meeting. A first reading was held on August 15, 2016.

The boundary change involves excluding part of Deerfield Road and the Deer Run Drive property south of Deerfield Road from Riverwoods and annexing that property to Deerfield.

**Reports and Documents Attached:**

Ordinance

Exhibit/Map

September 6, 2016

**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
EXCLUDED FROM THE VILLAGE OF RIVERWOODS**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this**

**\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
EXCLUDED FROM THE VILLAGE OF RIVERWOODS**

---

**WHEREAS**, the property hereinafter legally described is unoccupied territory lying along the boundary line between two adjoining municipalities, to wit, the Village of Riverwoods and the Village of Deerfield; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Riverwoods have determined that the best interests of the Village of Riverwoods would be served by excluding said territory from the Village of Riverwoods, and providing for the annexation of said territory to the Village of Deerfield; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Deerfield have determined that the best interests of the Village of Deerfield would be served by annexing said excluded territory to the Village of Deerfield;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the territory hereinafter described, upon exclusion from the Village of Riverwoods, be and the same is hereby annexed to the Village of Deerfield:

## Legal Description of Annexed Territory

That part of the Southwest Quarter of Section 30 and the Northwest Quarter of Section 31, all in Township 43 North, Range 12 East of the Third Principal Meridian, taken as a tract and described as follows:

Beginning at the Northeast corner of the Northwest Quarter of said Section 31 (also being the Southeast corner of the Southwest Quarter of said Section 30); thence South 00 degrees 31 minutes 45 seconds West on an assumed bearing along the East line of the Northwest Quarter of said Section 31, 110.00 feet to the South line of the Illinois State Tollway acquisition Parcel T11A-63.1 also being the South line of Deerfield Road; thence North 89 degrees 51 minutes 52 seconds West along said last described line and the North line of Lot 1 in Ten Parkway North Resubdivision, recorded January 11, 1999 as Document No. 4272642 a distance of 672.20 feet to the East line of Outlot A in said Ten Parkway North Resubdivision; (the following three (3) calls being along lines common with said Outlot A and the Deerfield Road right of way) thence North 00 degrees 31 minutes 45 seconds East, 15.35 feet; thence North 55 degrees 11 minutes 10 seconds West, 78.47 feet; thence North 89 degrees 51 minutes 52 seconds West, 68.74 feet to a point of intersection with a line drawn perpendicular to the Northeast corner of Lot 1 in Parkway North Center Resubdivision No. 4 recorded April 25, 2013 as Document No. 6985836; thence North 00 degrees 08 minutes 08 seconds East 100.00 feet perpendicular to the North line of the Deerfield Road right of way and the Southerly line of said Block 1 Riverwoods Country Club Estates Subdivision, recorded November 3, 1961 as Document No. 1128512; (the following two (2) calls being along said last described lines); thence South 89 degrees 51 minutes 52 seconds East, 334.67 feet; thence North 85 degrees 17 minutes 43 seconds East, 474.03 feet to the East line of the Southwest Quarter of said Section 30; thence South 00 degrees 41 minutes 26 seconds West along said last described line, 90.00 feet to the point of beginning in Lake County, Illinois.

**SECTION 2:** Upon the adoption of this ordinance and the ordinance of the Village of Riverwoods excluding said territory, the Village Clerk is hereby authorized and directed to file an accurate map of the annexed territory described in Section 1 of this Ordinance, together with a certified copy of this Ordinance, with the Recorder of Deeds of Lake County, Illinois.

**SECTION 3:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

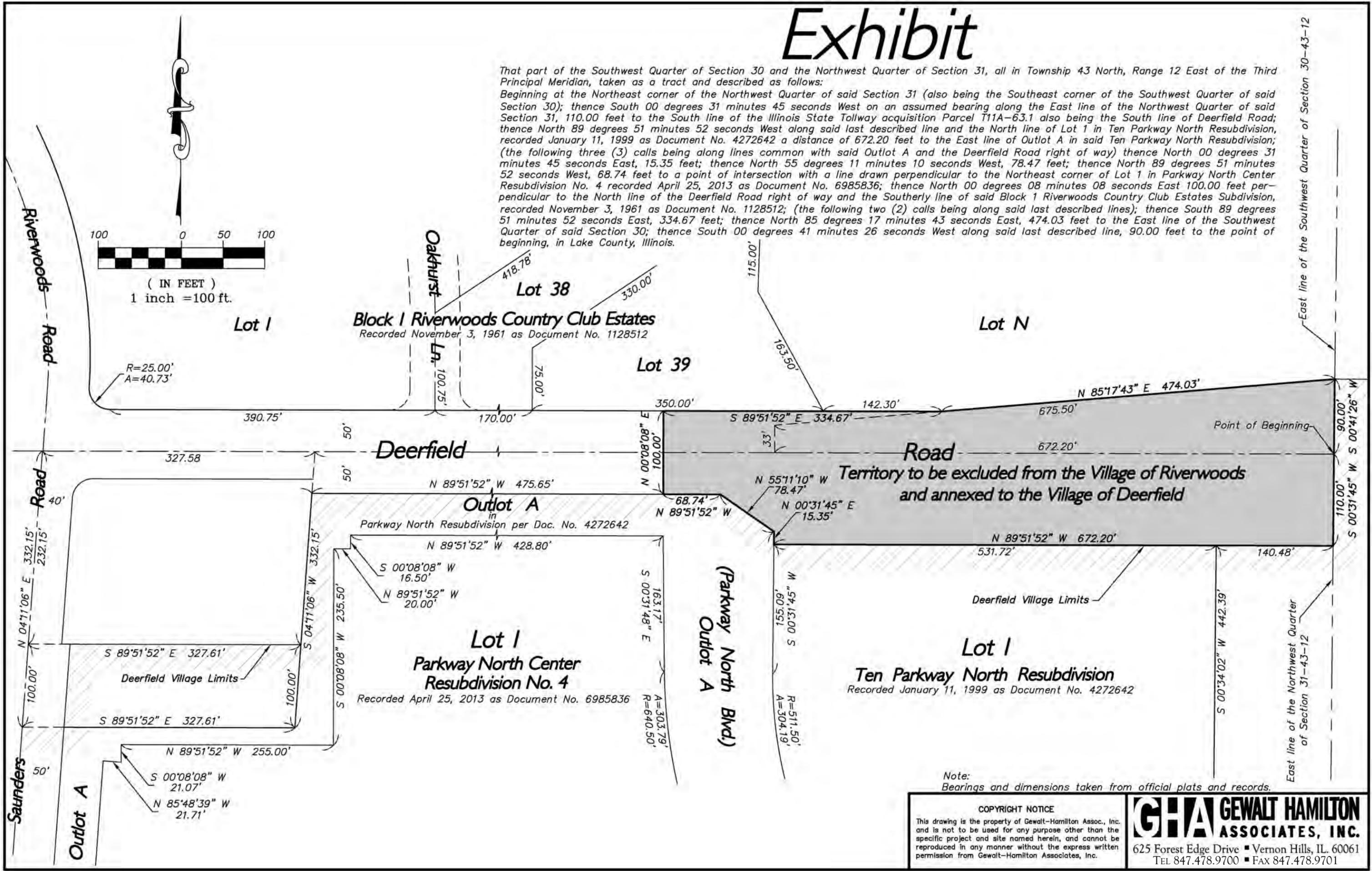
ATTEST:

\_\_\_\_\_  
Village Clerk

# Exhibit

That part of the Southwest Quarter of Section 30 and the Northwest Quarter of Section 31, all in Township 43 North, Range 12 East of the Third Principal Meridian, taken as a tract and described as follows:

Beginning at the Northeast corner of the Northwest Quarter of said Section 31 (also being the Southeast corner of the Southwest Quarter of said Section 30); thence South 00 degrees 31 minutes 45 seconds West on an assumed bearing along the East line of the Northwest Quarter of said Section 31, 110.00 feet to the South line of the Illinois State Tollway acquisition Parcel T11A-63.1 also being the South line of Deerfield Road; thence North 89 degrees 51 minutes 52 seconds West along said last described line and the North line of Lot 1 in Ten Parkway North Resubdivision, recorded January 11, 1999 as Document No. 4272642 a distance of 672.20 feet to the East line of Outlot A in said Ten Parkway North Resubdivision; (the following three (3) calls being along lines common with said Outlot A and the Deerfield Road right of way) thence North 00 degrees 31 minutes 45 seconds East, 15.35 feet; thence North 55 degrees 11 minutes 10 seconds West, 78.47 feet; thence North 89 degrees 51 minutes 52 seconds West, 68.74 feet to a point of intersection with a line drawn perpendicular to the Northeast corner of Lot 1 in Parkway North Center Resubdivision No. 4 recorded April 25, 2013 as Document No. 6985836; thence North 00 degrees 08 minutes 08 seconds East 100.00 feet perpendicular to the North line of the Deerfield Road right of way and the Southerly line of said Block 1 Riverwoods Country Club Estates Subdivision, recorded November 3, 1961 as Document No. 1128512; (the following two (2) calls being along said last described lines); thence South 89 degrees 51 minutes 52 seconds East, 334.67 feet; thence North 85 degrees 17 minutes 43 seconds East, 474.03 feet to the East line of the Southwest Quarter of said Section 30; thence South 00 degrees 41 minutes 26 seconds West along said last described line, 90.00 feet to the point of beginning, in Lake County, Illinois.



Note:  
Bearings and dimensions taken from official plats and records.

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**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

**REQUEST FOR BOARD ACTION**

16-81-2

**Agenda Item:** \_\_\_\_\_

**Subject:** Ordinance Excluding Certain Territory Commonly Known as 780 Saunders Road

\_\_\_\_\_  
From the Village of Deerfield -2R

\_\_\_\_\_  
Final Approval

**Action Requested:** \_\_\_\_\_  
Village Manager's Office

**Originated By:** \_\_\_\_\_  
Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

As stipulated in the Intergovernmental Agreement that was approved on August 1, 2016, the Village Board is required to pass a de-annexation ordinance to exclude the property commonly known as 780 Saunders Road from the Village of Deerfield.

A first reading was held on August 15.

**Reports and Documents Attached:**

Ordinance  
Exhibit

August 15, 2016

**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE EXCLUDING CERTAIN TERRITORY  
COMMONLY KNOWN AS 780 SAUNDERS ROAD  
FROM THE VILLAGE OF DEERFIELD**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this**

**\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE EXCLUDING CERTAIN TERRITORY  
COMMONLY KNOWN AS 780 SAUNDERS ROAD  
FROM THE VILLAGE OF DEERFIELD**

---

**WHEREAS**, the property hereinafter legally described is unoccupied territory lying along the boundary line between two adjoining municipalities, to wit, the Village of Deerfield and the Village of Riverwoods; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Deerfield have determined that the best interests of the Village would be served by excluding said territory from the Village of Deerfield and the annexation of said territory to the Village of Riverwoods;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the territory legally described as follows be and the same is hereby excluded from the Village of Deerfield:

A part of the Northwest Quarter of Section 31, Township 43 North, Range 12 East of the Third Principal Meridian, described as follows: Commencing at the intersection of the center line of Sanders Road (A/K/A Saunders Road) and the North line of said Section 31, said point being 1191.60 feet East from the Northwest corner of said Section; thence South along the center line of Sanders Road (A/K/A Saunders Road) 232.15 feet to the point of beginning; thence East parallel with the North line of said Section, 327.58 feet; thence South parallel with the center line of Sanders Road (A/K/A Saunders Road), 100.00 feet; thence 327.58 feet to said center line; thence North along said center line, 100.00 feet to the true point of

beginning, along with that part of the West half of Sanders Road (A/K/A Saunders Road) lying North of the Westerly prolongation of the Southerly line and South of the Westerly prolongation of the Northerly line of said described tract, in Lake County, Illinois.

**SECTION 2:** Upon the adoption of this ordinance and the adoption of an ordinance of the Village of Riverwoods annexing said territory to the Village of Riverwoods, the Village Clerk is hereby authorized and directed to file an accurate map of the excluded territory described in Section 1 of this Ordinance, together with a certified copy of this ordinance, with the Recorder of Deeds of Lake County, Illinois.

**SECTION 3:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

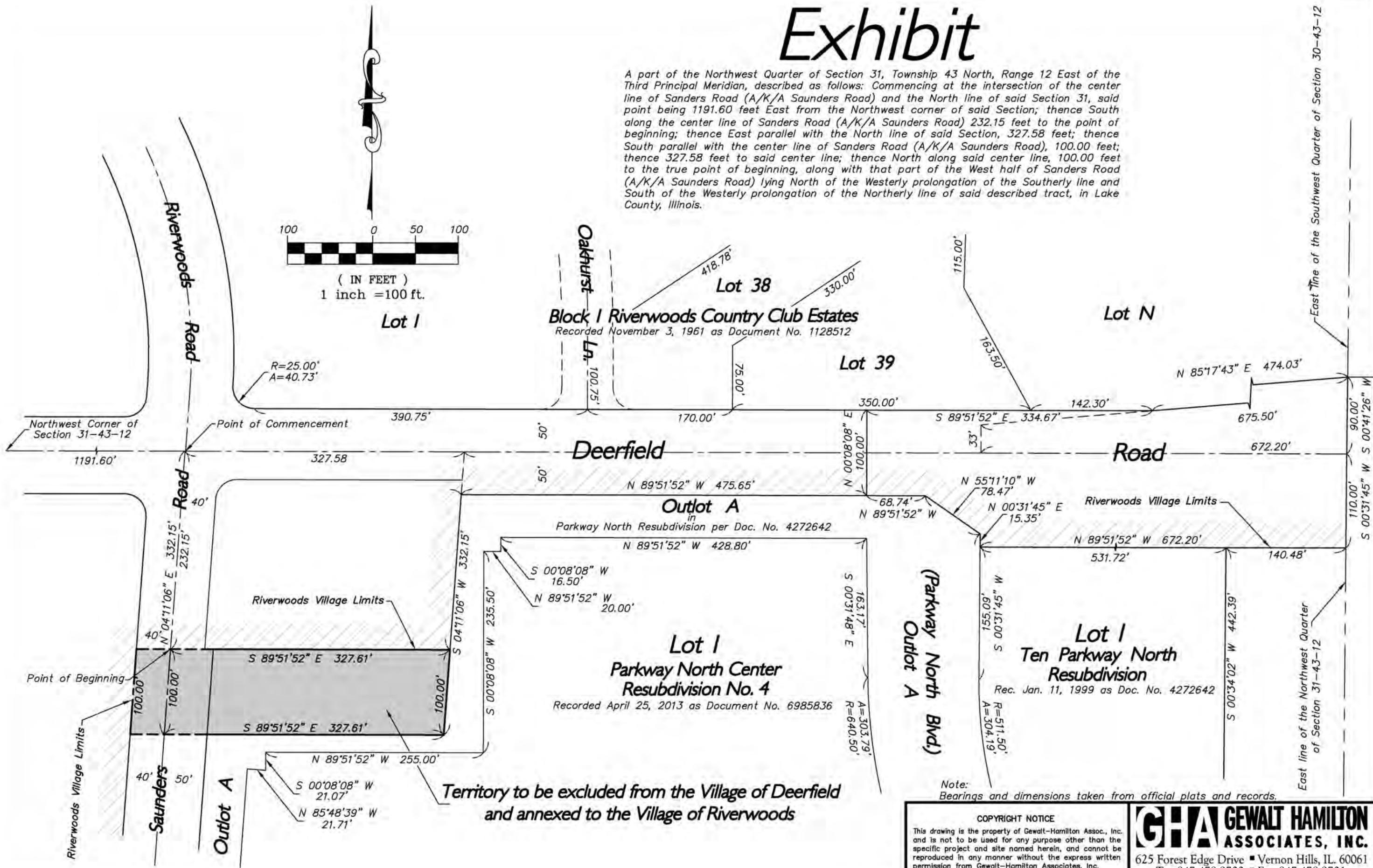
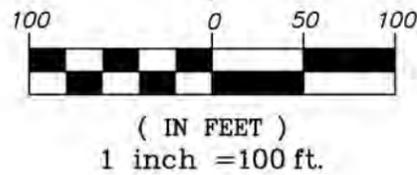
\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

# Exhibit

A part of the Northwest Quarter of Section 31, Township 43 North, Range 12 East of the Third Principal Meridian, described as follows: Commencing at the intersection of the center line of Sanders Road (A/K/A Saunders Road) and the North line of said Section 31, said point being 1191.60 feet East from the Northwest corner of said Section; thence South along the center line of Sanders Road (A/K/A Saunders Road) 232.15 feet to the point of beginning; thence East parallel with the North line of said Section, 327.58 feet; thence South parallel with the center line of Sanders Road (A/K/A Saunders Road), 100.00 feet; thence 327.58 feet to said center line; thence North along said center line, 100.00 feet to the true point of beginning, along with that part of the West half of Sanders Road (A/K/A Saunders Road) lying North of the Westerly prolongation of the Southerly line and South of the Westerly prolongation of the Northerly line of said described tract, in Lake County, Illinois.



Note:  
Bearings and dimensions taken from official plats and records.

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**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

East line of the Southwest Quarter of Section 30-43-12

East line of the Northwest Quarter of Section 31-43-12

**REQUEST FOR BOARD ACTION**

**Agenda Item:** 16-90-2

**Subject:** Ordinance Amending the Village of Deerfield Wage and Salary Plan-R  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Action Requested:** Final Approval  
Administration  
\_\_\_\_\_

**Originated By:** Mayor  
d Board Trustees  
\_\_\_\_\_

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

Reflects changes to the Wage and Salary plan for fiscal year 2016 consistent with previous Village Board direction.

The Village Manager and Finance Director will be available to respond to questions. A first reading was held on August 15.

**Reports and Documents Attached:**

Ordinance/Salary Schedule

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. 0-16-**

**AN ORDINANCE AMENDING THE VILLAGE OF DEERFIELD  
WAGE AND SALARY PLAN AND ESTABLISHING THE  
COMPENSATION OF OFFICERS AND EMPLOYEES FOR THE  
FISCAL YEAR 2016 FOR THE VILLAGE OF DEERFIELD**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
By authority of the President  
And Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. 0-16-**

**AN ORDINANCE AMENDING THE VILLAGE OF DEERFIELD  
WAGE AND SALARY PLAN AND ESTABLISHING THE  
COMPENSATION OF OFFICERS AND EMPLOYEES FOR THE  
FISCAL YEAR 2016 FOR THE VILLAGE OF DEERFIELD**

---

BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

**SECTION 1:** That the Village of Deerfield Wage and Salary Plan is hereby amended by substituting the attached pages in lieu of the corresponding pages in the Village of Deerfield Wage and Salary Plan heretofore adopted.

**SECTION 2:** That, effective January 1, 2016, the compensation of all Officers and employees of the Village of Deerfield not otherwise established by a collective bargaining agreement, or by separate ordinance or other provision of the Municipal Code of the Village of Deerfield for fiscal year 2016 shall be determined by the Village Manager and heads of the various Village Departments in the manner and in accordance with the policies, procedures and standards set forth in the Village of Deerfield Wage and Salary Plan adopted April 29, 1974, by Ordinance No. 0-74-23 and as amended hereby.

**SECTION 3:** That, pursuant to and in accordance with the procedures, policies and standards set forth in said Wage and Salary Plan, as hereby amended, the Village Manager and heads of the various Village Departments are hereby authorized to award additional merit pay increases during the fiscal year 2016 to officers and employees, provided that such merit pay raises, in the aggregate, shall not exceed the total amount allocated and budgeted for wages and salaries for officers and employees of each of said departments in the Annual Budget for the fiscal year 2016.

**SECTION 4:** That the Chief of Police is hereby authorized to grant incentive compensation increases to officers of the Police Department holding rank higher than that of Patrolman and to civilian employees of the Police Department for performance of additional duties, provided that such incentive increases and additional compensation, in the aggregate, shall not exceed the total amount allocated and budgeted for incentive compensation for such officers and employees of each of said departments in the Annual Budget for fiscal year 2016.

**SECTION 5:** That the Village Manager and the heads of the several Village Departments may employ persons to serve in any employment position provided for by appropriate action of the Board of Trustees which, upon the effective date of this Ordinance, are unfilled, provided that the compensation for such new employees shall be established in accordance with the procedures, policies and standards set forth in the Village of Deerfield Wage and Salary Plan, as hereby amended. In the event of the severance of employment of any employee during the effective period of this Ordinance, the Village Manager and the heads of the several Village Departments are authorized to employ a replacement therefore; provided that such new employee shall receive compensation in an amount established in accordance with the procedures, policies and standards set forth in the Village of Deerfield Wage and Salary Plan, as hereby amended; provided that in no event shall the total compensation of all employees of a designated department exceed the total amount appropriated and budgeted for in the Annual Budget for compensation for the employees of such department. From time to time during the effective period of this Ordinance, the Village Manager may employ such part-time employees as may be necessary to properly conduct the affairs and operations of the Village, at hourly wage rates from \$8.00 to \$24.00. The authority to employ hereby granted to the Village Manager is subject to the limitation that, in no event shall the total compensation of all employees of a designated department exceed the total amount appropriated in the Annual Budget to pay the compensation of employees of such department.

**SECTION 6:** That the Village Clerk is hereby directed to publish this Ordinance in pamphlet form.

**SECTION 7:** That all ordinances or parts of ordinances in conflict herewith are, to the extent of such conflict, hereby repealed.

**SECTION 8:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

AYES:

NAYS:

ABSENT:

PASSED this \_\_\_\_ day of \_\_\_\_\_, A.D. 2016.

APPROVED this \_\_\_\_ day of \_\_\_\_\_, A.D. 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

VILLAGE OF DEERFIELD  
Salary Schedule - 2016

v 2 8/15/2016

POSITION	ANNUAL STARTING SALARY	ANNUAL SALARY F.Q.E	ICMA	F.Q.E. 110%
<b>ADMINISTRATION</b>				
Village Manager		212,011	1,000	
Assistant Village Manager	108,689	127,869		140,656
Management Analyst	62,468	73,492		80,841
Finance Director	135,839	159,811	1,000	175,792
Director of Community Development	119,567	140,668	1,000	154,734
Building & Code Enforcement Supervisor	102,590	120,694		132,764
Assistant Code Enforcement Supervisor	82,797	97,408		107,148
Village Accountant	73,367	86,314		94,945
Human Resources Coordinator	73,367	86,314		94,945
Computer Systems Coordinator	101,744	119,699		131,669
IT Systems Specialist	70,695	83,170		91,487
Principal Planner	97,693	114,933		126,426
Planner I	77,716	91,431		100,574
Building Inspector	77,716	91,431		100,574
Principal Accounting Clerk	57,420	67,553		74,309
Secretary II	52,214	61,429		67,572
Secretary I	35,387	41,632		45,795
Associate Planner	63,051	74,178		81,596
Accounting Clerk	51,407	60,478		66,526
Fiscal Clerk	49,746	58,524		64,377
Cashier - Receptionist	45,861	53,954		59,350
Financial Secretary (Part Time) hourly	28.14	33.10		36.41
Fiscal Clerk (Part Time) hourly	23.90	28.11		30.93
Secretary Boards & Commissions III (PT) hourly	24.47	28.78		31.66
Secretary Boards & Commissions II (PT) hourly	21.30	25.06		27.57
General Clerk (Part Time) hourly	19.27	22.67		24.93
Secretary I (Part Time) hourly	18.08	21.27		23.39
Administrative Intern (Part Time) hourly	18.50	21.77		23.95
Secretary Boards & Commissions (PT) hourly	16.58	19.51		21.46
<b>PUBLIC WORKS ADMIN./ENGINEERING</b>				
Director	134,014	157,663	1,000	173,430
Clerk Typist (Part Time)	18.24	21.45		23.60
Temporary hourly	20.46	24.07		26.47
Superintendent of Streets & Utilities	106,680	125,506		138,056
Deputy Director of Public Works and Engineering	119,568	140,668		154,735
Project Manager	82,478	97,033		106,737
Engineering Technician	63,869	75,139		82,653
Public Works and Engineering Management Analyst	62,468	73,492		80,841
<b>SEWAGE TREATMENT PLANT</b>				
Treatment Plant Superintendent	94,748	111,468		122,614
Laboratory Director	63,869	75,139		82,653

PUBLIC WORKS CONTRACTUAL

subject to collective bargaining agreement

POLICE ADMINISTRATION

Chief of Police	135,574	159,499	18,500	175,449
Deputy Chief of Police	108,688	127,869		140,655
Commander	100,342	118,050		129,855
Sergeant	92,496	108,819		119,700
Director of Social Services	85,262	100,308		110,339
Social Worker	61,153	71,944		79,139
Police Management Analyst	62,468	73,492		80,841
Secretary II	52,214	61,429		67,572
Records Clerk	54,738	64,398		70,838
Communication Supervisor	100,342	118,050		129,855
Senior Dispatcher	73,367	86,314		94,945
Dispatcher	60,609	71,305		78,435
Community Service Officer	50,098	58,938		64,832
Dispatcher (Part Time) hourly	20.89	24.58		27.04
Secretary I (Part Time) hourly	18.13	21.33		23.46
Parking Warden hourly	17.73	20.86		22.94
Crossing Guard hourly	16.57	19.50		21.45
Cadet hourly	14.12	16.61		18.27
Intern hourly	7.88	9.27		10.20

POLICE PATROL OFFICERS

subject to collective bargaining agreement

## REQUEST FOR BOARD ACTION

**Agenda:16-91**

**Subject:** Authorization to Execute Design Engineering Supplement for Phase II Engineering Consulting Services for the Kates Road Bridge and Roadway Rehabilitation Project

**Action Requested:** Approve design engineering supplement for consulting services: Ciorba Group (\$35,360.04)

**Originated by:** Engineering Department

**Referred to:** Mayor and Board of Trustees

### **Summary of Background and Reason for Request**

The Engineering Department is targeting Pfingsten/Kates Road for rehabilitation in the 2017 construction season. The roadway rehabilitation is planned to be incorporated within the contract to reconstruct the Kates Road Bridge. The scope of work for the roadway portion of the project is to grind and resurface Pfingsten/Kates Road between Lake Cook Road and Waukegan Road, repair any pavement failures, minor drainage improvements, and modernization of the traffic signal at Kates Road and Corporate 500 Drive (addition of pedestrian movements).

In late 2014, the bridge portion of the project was approved for federal funding for all engineering phases and for construction. As such, the Department initiated and completed Phase I engineering and is currently underway with Phase II Engineering (design engineering). Phase II Engineering is expected to be complete by October to allow for bridge and roadway construction in the second half of the 2017 season.

In May of 2016, staff initiated a separate contract with the design engineer to prepare plans, specifications, and bid documents for the roadway portion of the project, in the amount of \$15,018.20. This roadway portion of the project, all engineering phases and construction, was originally expected to be the financial responsibility of the Village with no federal participation. However, we have recently learned that federal funds have become available for the roadway construction portion of the project. The federal funds would cover 80 percent of the cost for all work associated with the rehabilitation of Pfingsten/Kates Road, an estimated \$520,000 (see attached Project Program Information form). To procure the additional funding the Village must prepare a formal Phase I report and more detailed engineering design plans.

We have received a proposal from Ciorba Group for the supplemental engineering work. The proposal, in the amount of \$35,360.04, brings the design fee for the roadway work to a total of \$51,018.20. To allow for construction to take place in 2017, the Village must initiate the additional engineering work at our own cost, without federal reimbursement. The Department has proposed sufficient funding for the additional expenditures in the FY2016 budget. Staff is requesting the Authorization to Execute Design Engineering Supplement for Phase II Engineering Consulting Services for the Kates Road Bridge and Roadway Rehabilitation Project in the amount of \$35,360.04.

### **Reports and Documents Attached**

Project Program Information form

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_



**Project Program Information**

Federally Funded:  Yes  No      Amendment/Supplement: # 1 for CON CE FY 2017 Cost Increase: \$651,000.00

Funding Type(s)			
Fund	Percent	Fund	Percent
Surface Trans Pgm Bridge (STP-BR-On) >200K	80/20		
Surface Trans Pgm Urban (STU)	80/20		

TIP ID Number: 10-14-0025 ITEP Number: \_\_\_\_\_ HPP Bill Number: \_\_\_\_\_ SRTS Number: \_\_\_\_\_

**Project Location(s) & Bridge Information**

Key Route Designation	Functional Classification	Street Name	List termini west or north limit, followed by the east or south limit. Provide GIS Station in decimal miles <a href="http://www.gettingaroundillinois.com">www.gettingaroundillinois.com</a>			
			from/at	Station 0.00	to	Station 0.00
9 3699	5-Major Collector	Phingsten/Kates Road	Waukegan Road	0.00	Lake Cook Road	0.72

Facility Carried	Facility Crossed	Station 0.00	Existing Structure Number	Proposed Structure Number
Phingsten/Kates Road	Metra Milwaukee District	0.38	049-6003	
	North Line			

Type(s) of Work: Bridge Rehab/Remvl/Replmt      Resurfacing

Select the primary scope of work include secondary and other work types

County:  Kane     Lake     Cook    Regional Council Lake County  
 DuPage     McHenry     Will     Various    Project Length: (miles) 0.72

Federal Congressional District(s): 10      Illinois Representative District(s): 58

Local Agency: Village of Deerfield      Local Agency TIN: 36-6005842      DUNS #: 068003185

MFT Section Number: 14-00098-00-BR/14-00098-01-RS      Target Letting Date: 4/28/2017

Estimate of Const. Cost: \$2,529,500.00      Construction Contract No.: \_\_\_\_\_

Non-Participating Cost: \_\_\_\_\_      Non-Participating Items: \_\_\_\_\_

**Project Funding Table**

	State Job Number	Federal Project Number	Federal Fiscal Year	State Fiscal Year	Est. Total Cost	Federal Participation	Local Participation	State Participation*
<input checked="" type="checkbox"/>	P 91 -048-15	BRM-4003(389)	2015	2015	\$116,250.00	\$93,000.00	\$23,250.00	
<input checked="" type="checkbox"/>	D 91 -048-15	BRM-4003(390)	2016	2016	\$140,590.00	\$112,472.00	\$28,118.00	
<input type="checkbox"/>	R 91 - -							
<input checked="" type="checkbox"/>	C 91 -048-15	BRM-4003(391)	2017	2018	\$2,529,500.00	\$2,023,600.00	\$505,900.00	
		Construction Engineering	2017	2018	\$262,950.00	\$202,360.00	\$50,590.00	
		Multi-Phase Agreement	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Type: <input type="checkbox"/> Bi-Phase <input type="checkbox"/> Tri-Phase			

**Contact / General Information**

IDOT MFT Engineer: Alex Househ Alex.Househ@illinois.gov      Planning Liaison: Bruce Christensen, (847) 377-7455

Bridge Project PM: \_\_\_\_\_      Bridge PM Email: \_\_\_\_\_

Program Administrator: Riddle STP-Br/ Christensen STU      Administrator Email: \_\_\_\_\_

Local Agency Contact Name: Tyler Dickinson

Local Agency Email: tdickinson@deerfield.il.us      Local Agency Phone: 847.317.2490

Consultant Company Name: Ciorba      IDOT Design Engineer: Christine Code

Consultant Company TIN: 36-2525351      Consultant Contact: Duane O'Laughlin

Consultant Contact Email: dolaughlin@ciorba.com      Consultant Phone: 773.355.2949

Date Submitted: 7/23/2014      Date Revised: 8/18/2016      Date Completed: \_\_\_\_\_

Comments: Maximum FHWA (STP-Br) participation 80% not to exceed \$1,910,472 for Ph1, Ph2, Con & CE. Max FHWA (STU) participation 80% not to exceed \$520,800 for resurfacing Con & CE

**REQUEST FOR BOARD ACTION**

**Agenda Item:** 16-71

**Subject:** Award of Contract for Roof Replacement at Metra Train Station

**Action Requested:** Award to Waukegan Roofing, Incorporated (NTE \$82,500)

**Originated By:** Department of Public Works and Engineering

**Referred To:** Mayor and Board of Trustees

**Summary of Background and Reason for Request**

Staff is preparing for the replacement of the existing roofing material at the Deerfield Metra train station in accordance with the Intergovernmental Agreement (IGA) between the Village of Deerfield and Metra. The work will include replacement of the existing cedar shake roofing shingles, copper gutter repairs, and copper gutter replacement as needed. The project is being funded by Metra, though as part of the IGA the Village is responsible for soliciting bids, executing contracts with the vendors, and all necessary inspections. The Village will also be a pass through for all payments made to the contractor, which, upon completion, will be reimbursed to the Village by Metra.

On July 29, 2016, the Village held a bid opening at 11:00 AM at the Village Hall. The results of the bids are as follows:

<b>Firm Name</b>	<b>Location</b>	<b>Bid Price</b>
Waukegan Roofing	Waukegan Illinois	\$82,500.00
All American Exterior Solutions	Lake Zurich Illinois	\$85,000.00
Regio Contractors Management	Chicago Illinois	\$103,739.00
L Marshall Inc.	Glenview Illinois	\$159,000.00
Filotto	Cresthill, Illinois	\$200,200.00

The lowest bid was provided by Waukegan Roofing, Incorporated, in the amount of \$82,500. The Village recently utilized the services of Waukegan Roofing Incorporated for the replacement of the roofing material at the Public Works Facility. Their work was of good quality and they provided professional and timely service. Staff recommends that the Mayor and the Village Board award the Contract for Roof Replacement at the Deerfield Road Metra Station be awarded to Waukegan Roofing Incorporated in the amount of \$82,500.

**Reports and Documents Attached:**

None

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**REQUEST FOR BOARD ACTION**

**Agenda Item:** 16-72

**Subject:** Award of Contract for Interior Flooring Replacement at Metra Train Station

**Action Requested:** Award to Integral Flooring Systems (NTE \$54,505)

**Originated By:** Department of Public Works and Engineering

**Referred To:** Mayor and Board of Trustees

**Summary of Background and Reason for Request**

Staff is preparing for the replacement of the existing interior flooring material at the Deerfield Metra train station in accordance with the Intergovernmental Agreement (IGA) between the Village of Deerfield and Metra. The work will include removal of the existing flooring material, repair of subflooring, installation of any necessary underlayment and installation of new wide plank oak flooring. The project is being funded by Metra, though as part of the IGA the Village is responsible for soliciting bids, executing contracts with the vendors, and all necessary inspections. The Village will also be a pass through for all payments made to the contractor, which, upon completion, will be reimbursed to the Village by Metra.

The project was advertised for bids and only one bid was received. The bid that was received is from Integral Flooring Systems, in the amount of \$54,505. Though we have not utilized the services of Integral Flooring Systems in the past we have learned through their many references that they provide exceptional quality and service.

Staff recommends that the Mayor and the Village Board award the Contract for Interior Flooring Replacement at the Deerfield Road Metra Station be awarded to Integral Flooring Systems in the amount of \$54,505.

**Reports and Documents Attached:**

None

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

## REQUEST FOR BOARD ACTION

**Agenda Item:** 16-94

**Subject:** Authorization to Execute Amendment No. 1 to Metra Agreement for Commuter Parking Operation and Maintenance

**Action Requested:** Execute Amendment No. 1

**Originated By:** Public Works and Engineering

**Referred To:** Mayor and Board of Trustees

### **Summary of Background and Reason for Request**

The Village of Deerfield entered into an agreement with Metra for operation and maintenance of the commuter parking facilities adjacent to the Deerfield Road Metra Station in September 1999. As part of that agreement, the Village pays Metra \$7,440.00 as an annual use fee. Prior to the operations and maintenance agreement, the Village had a lease with Metra for the parking areas. The lease had a fee associated with it. The fee was continued when the new operations and maintenance agreement was executed. Metra has now decided that the annual use fee would be better applied to the Village's expenses to operate and maintain the parking lots. Metra is also eliminating the annual use fee for other communities.

Metra has presented the Village with Amendment No. 1 to amend that agreement to eliminate the annual use fee charged to the Village. This annual use fee will be eliminated upon the full execution of the Amendment and payment of the one-time use fee in the amount of Ten Dollars (\$10).

The Department of Public Works and Engineering recommends that the Mayor be authorized to execute the Amendment No. 1 to the Agreement for Commuter Parking Operation and Maintenance. Director Barbara Little will be available at the September 6, 2016 Board meeting to answer any questions.

### **Reports and Documents Attached:**

Amendment No. 1 to Agreement for the Operation and Maintenance of Commuter Parking Facility.

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**AMENDMENT No. 1 TO AGREEMENT FOR THE OPERATION AND  
MAINTENANCE OF COMMUTER PARKING FACILITY**

**THIS AMENDMENT**, dated this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, shall amend and modify the Agreement for the Operation and Maintenance of Commuter Parking Facility entered into on September 21, 1999, Metra No. N00897 (“**Agreement**”) by and between the **Commuter Rail Division of the Regional Transportation Authority**, a division of a municipal corporation (“**Metra**”) and **the Village of Deerfield**, an Illinois municipal corporation (“**Municipality**”). Metra and Municipality are hereafter sometimes individually referred to as a “**Party**” and jointly referred to as the “**Parties.**”

**RECITALS**

- A. The Parties entered into the Agreement to allow Municipality to lease the Premises, as defined in the Agreement, from Metra.
- B. Further, the Agreement allows Municipality to operate and maintain the Parking Facility, as defined in the Agreement and specifies the Parties relative responsibilities thereto.
- C. The Parties have diligently been executing their respective responsibilities under the Agreement and are cooperating fully.
- D. The Parties agree to amend the Agreement to eliminate the annual use fee charged to the Municipality for use of the Premises.

**NOW, THEREFORE**, for and in consideration of the foregoing recitals, which by this reference are hereby incorporated into this Amendment, the mutual agreements set forth herein and other good and valuable consideration, the receipt, and sufficiency of which are hereby acknowledged by the Parties, the Parties agree amend the Agreement as follows:

1. The first sentence of Section 1, entitled “**FEE AND TERM,**” is hereby removed in its entirety and replaced with the following sentence:

Municipality agrees to pay Metra a one-time use fee of **TEN DOLLARS (\$10)** for the use of the Premises for the remainder of the Use Term, as defined herein.

2. To the extent the provisions of the Agreement are in conflict with the provisions of this Amendment, the provisions of this Amendment shall control.
3. Terms, not otherwise defined herein, shall have the same meanings ascribed to them in the Agreement. The remaining terms, covenants, provisions and conditions of the Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this Amendment as of the day and year first above written.

**THE COMMUTER RAIL DIVISION OF  
THE REGIONAL TRANSPORTATION  
AUTHORITY:**

**VILLAGE OF DEERFIELD:**

By: \_\_\_\_\_  
Donald A Orseno  
Executive Director/CEO

By: \_\_\_\_\_  
\_\_\_\_\_  
please print name and title

**REQUEST FOR BOARD ACTION**

16-92

**Agenda Item:** \_\_\_\_\_

**Subject:** Resolution Authorizing the Release and Vacation a Certain Storm Sewer Easement  
and the Execution of a Plat of Easement Vacation (Deerbrook Mall)

**Action Requested:** Approval

Village Manager's Office

**Originated By:** \_\_\_\_\_

Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

As part of the due diligence conducted by Deerbrook Mall in relation to the the Jewel-Osco redevelopment project, an old utility easement was found to be running underneath the subject property. Staff has confirmed that the Village has no use for the storm sewer easement and recommends that the Village proceed with vacating the easement, as requested by Deerbrook Mall.

Assistant Lichterman will be available to answer questions.

**Reports and Documents Attached:**

Resolution

Plat of Easement Vacation

**Date Referred to Board:** September 6, 2016

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION AUTHORIZING THE RELEASE AND VACATION  
OF A CERTAIN STORM SEWER EASEMENT AND THE EXECUTION  
OF A PLAT OF EASEMENT VACATION**

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**WHEREAS**, the Village of Deerfield was granted a certain storm sewer easement affecting the property commonly known as Deerbrook Shopping Center located at the southwest corner of Waukegan Road and Lake-Cook Road in the Village of Deerfield, Cook County, Illinois; and

**WHEREAS**, said storm sewer easement (the “Easement”) was recorded in the Office of the Cook County Recorder of Deeds as Document No. 22017939 and is depicted on the Plat of Easement vacation prepared by Spaceco, Inc., a copy of which is attached hereto as **Exhibit A** to this Resolution; and

**WHEREAS**, the owner of the Deerbrook Shopping Center has requested that the Village of Deerfield release and vacate the Easement because it clouds the ability to redevelop portions of the Deerbrook Shopping Center property affected by the Easement; and

**WHEREAS**, the Village of Deerfield has determined that it has no storm sewer facilities located within said Easement and that the Village has no current or anticipated future interest in locating storm sewer drainage facilities within the Easement; and

**WHEREAS**, the corporate authorities of the Village of Deerfield are of the opinion that it is in the best interests of the Village of Deerfield to release and vacate the Village’s interest in said Easement;

NOW THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the corporate authorities of the Village of Deerfield hereby authorize and approve the release and vacation of the storm sewer easement recorded in the Office of the Cook County Recorder of Deeds as Document No. 22017939 as more fully described on the Plat of Easement Vacation attached hereto as **Exhibit A** to this Resolution.

**SECTION 2:** That the Village President and Village Clerk are hereby authorized to execute and deliver such Plat of Easement Vacation in its final form for and on behalf of the Village of Deerfield provided that such Plat of Easement Vacation is in substantially the form attached hereto as **Exhibit A**.

**SECTION 3:** That this Resolution, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Resolution should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Resolution should be inconsistent with any non-preemptive state law, this Resolution shall supersede state law in that regard within its jurisdiction.

**SECTION 4:** That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

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PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

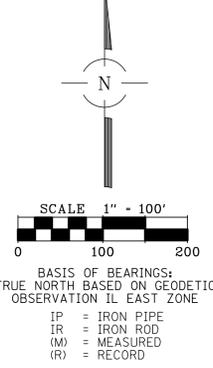
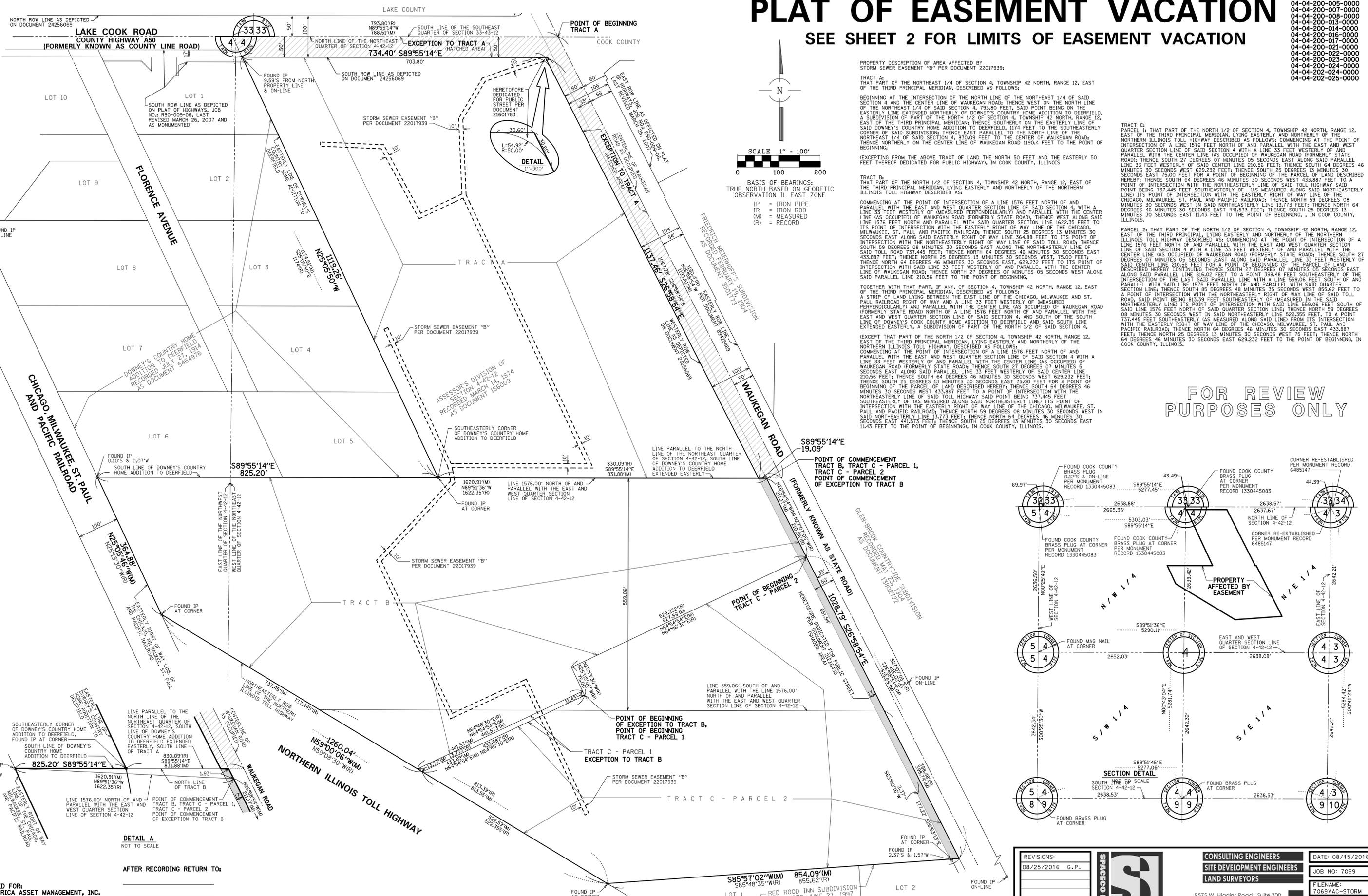
ATTEST:

\_\_\_\_\_  
Village Clerk

# PLAT OF EASEMENT VACATION

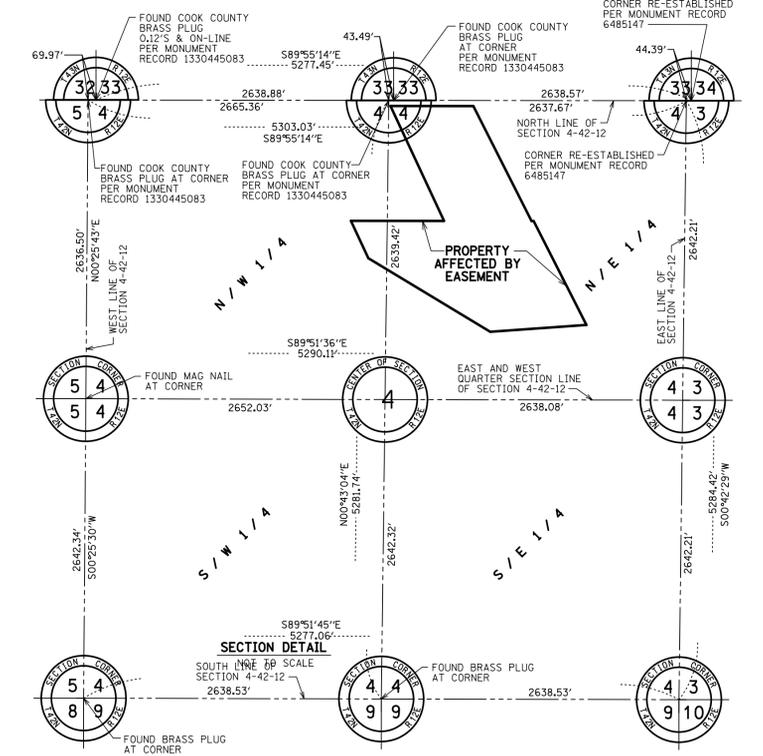
SEE SHEET 2 FOR LIMITS OF EASEMENT VACATION

P.I.N.'s  
 04-04-200-005-0000  
 04-04-200-007-0000  
 04-04-200-008-0000  
 04-04-200-013-0000  
 04-04-200-014-0000  
 04-04-200-016-0000  
 04-04-200-017-0000  
 04-04-200-021-0000  
 04-04-200-022-0000  
 04-04-200-023-0000  
 04-04-200-024-0000  
 04-04-202-024-0000  
 04-04-202-025-0000



PROPERTY DESCRIPTION OF AREA AFFECTED BY STORM SEWER EASEMENT "B" PER DOCUMENT 22017939:  
 TRACT A: THAT PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE SOUTH 27 DEGREES 07 MINUTES 05 SECONDS EAST ALONG SAID PARALLEL LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD) 1174 FEET TO THE SOUTHEASTLY CORNER OF SAID SUBDIVISION; THENCE EAST PARALLEL TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4, 830.09 FEET TO THE CENTER OF WAUKEGAN ROAD; THENCE NORTHERLY ON THE CENTER LINE OF WAUKEGAN ROAD 1150.4 FEET TO THE POINT OF BEGINNING.  
 (EXCEPTING FROM THE ABOVE TRACT OF LAND THE NORTH 50 FEET AND THE EASTERLY 50 FEET THEREOF DEDICATED FOR PUBLIC HIGHWAY), IN COOK COUNTY, ILLINOIS  
 TRACT B: THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE WEST ALONG SAID LINE 1576 FEET NORTH OF AND PARALLEL WITH SAID QUARTER SECTION LINE 1622.35 FEET TO ITS POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST ALONG SAID EASTERLY RIGHT OF WAY LINE 364.88 FEET TO ITS POINT OF INTERSECTION WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID TOLL ROAD; THENCE SOUTH 59 DEGREES 08 MINUTES 30 SECONDS EAST ALONG THE NORTHEASTERLY LINE OF SAID TOLL ROAD 737.445 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 433.887 FEET; THENCE NORTH 25 DEGREES 13 MINUTES 30 SECONDS WEST 75.00 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 629.232 FEET TO ITS POINT OF INTERSECTION WITH SAID LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE OF WAUKEGAN ROAD; THENCE NORTH 27 DEGREES 07 MINUTES 05 SECONDS EAST ALONG SAID PARALLEL LINE 210.56 FEET TO THE POINT OF BEGINNING.  
 TOGETHER WITH THAT PART, IF ANY, OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
 A STRIP OF LAND LYING BETWEEN THE EAST LINE OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT OF WAY AND A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD) NORTH OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4, AND SAID SOUTH LINE OF SAID SECTION 4, AND SAID SOUTH LINE EXTENDED EASTERLY, A SUBDIVISION OF PART OF THE NORTH 1/2 OF SAID SECTION 4,  
 (EXCEPT THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE SOUTH 27 DEGREES 07 MINUTES 05 SECONDS EAST ALONG SAID PARALLEL LINE 33 FEET WESTERLY OF SAID CENTER LINE 210.56 FEET; THENCE SOUTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 433.887 FEET; THENCE NORTH 25 DEGREES 13 MINUTES 30 SECONDS WEST 75.00 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 629.232 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

FOR REVIEW PURPOSES ONLY



DETAIL A  
 NOT TO SCALE  
 AFTER RECORDING RETURN TO:

PREPARED FOR:  
 MID-AMERICA ASSET MANAGEMENT, INC.  
 ONE PARKVIEW PLAZA  
 OAK BROOK TERRACE, IL 60181

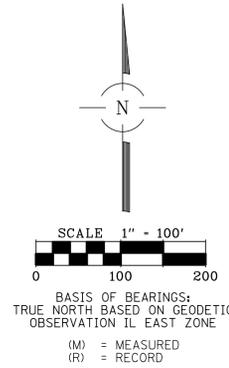
REVISIONS: 08/25/2016 G.P.		CONSULTING ENGINEERS	DATE: 08/15/2016
		SITE DEVELOPMENT ENGINEERS	JOB NO: 7069
		LAND SURVEYORS	FILE NAME: 7069VAC-STORM
			SHEET 1 OF 2

9575 W. Higgins Road, Suite 700,  
 Rosemont, Illinois 60018  
 Phone: (847) 696-4060 Fax: (847) 696-4065

# PLAT OF EASEMENT VACATION

## SEE SHEET 1 FOR OVERALL BOUNDARY INFORMATION

P.I.N.'s OF PROPERTY AFFECTED  
 BY VACATION OF EASEMENT:  
 04-04-200-017-0000  
 04-04-200-013-0000  
 04-04-200-014-0000



CHICAGO, MILWAUKEE, ST. PAUL  
 AND PACIFIC RAILROAD

DOWNEY'S COUNTRY HOME  
 ADDITION TO DEERFIELD  
 RECORDED JULY 27, 1914  
 AS DOCUMENT 5464976

POINT OF COMMENCEMENT  
 OF STORM SEWER EASEMENT "B"  
 PER DOCUMENT 22017939  
 SOUTHEAST CORNER OF DOWNEY'S  
 COUNTRY HOME  
 ADDITION TO DEERFIELD

POINT OF BEGINNING  
 OF STORM SEWER  
 EASEMENT "B" PER  
 DOCUMENT 22017939

ASSESSOR'S DIVISION OF  
 SECTION 4-42-12  
 RECORDED MARCH 14, 1874  
 AS DOCUMENT 156009

FREDRICK WERDHOFF'S SUBDIVISION  
 RECORDED FEBRUARY 19, 1904  
 AS DOCUMENT 350173

GLEN BROOK COUNTY SIDE SUBDIVISION  
 RECORDED MAY 23, 1904  
 AS DOCUMENT 13602722

NORTHERN ILLINOIS TOLL HIGHWAY

PREPARED FOR:  
 MID-AMERICA ASSET MANAGEMENT, INC.  
 ONE PARKVIEW PLAZA  
 OAK BROOK TERRACE, IL 60181

PROPERTY DESCRIPTION OF AREA AFFECTED BY PARTIAL VACATION OF STORM SEWER EASEMENT "B" PER DOCUMENT 22017939:

TRACT A:  
 THAT PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4 AND THE CENTER LINE OF WAUKEGAN ROAD; THENCE WEST ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4, 793.80 FEET, SAID POINT BEING ON THE EASTERLY LINE EXTENDED NORTHERLY OF DOWNEY'S COUNTRY HOME ADDITION TO DEERFIELD, A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE SOUTHERLY ON THE EASTERLY LINE OF SAID DOWNEY'S COUNTRY HOME ADDITION TO DEERFIELD, 1174 FEET TO THE SOUTHEASTLY CORNER OF SAID SUBDIVISION; THENCE EAST PARALLEL TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4, 830.09 FEET TO THE CENTER OF WAUKEGAN ROAD; THENCE NORTHERLY ON THE CENTER LINE OF WAUKEGAN ROAD 1190.4 FEET TO THE POINT OF BEGINNING.

(EXCEPTING FROM THE ABOVE TRACT OF LAND THE NORTH 50 FEET AND THE EASTERLY 50 FEET THEREOF DEDICATED FOR PUBLIC HIGHWAY), IN COOK COUNTY, ILLINOIS.

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF THE LAND DESCRIBED ON THE ATTACHED PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN BY THE PLAT FOR THE USES AND PURPOSES AS INDICATED THEREON AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

PRINTED NAME \_\_\_\_\_

SIGNATURE \_\_\_\_\_

ADDRESS: \_\_\_\_\_

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF \_\_\_\_\_ ) SS

I HEREBY CERTIFY THAT THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE IS KNOWN TO ME AS SUCH OWNER.

GIVEN UNDER MY HAND AND NOTORIAL SEAL

THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**VILLAGE ENGINEER CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF COOK & LAKE ) SS

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF DEERFIELD, COOK AND LAKE COUNTY, ILLINOIS, AT A MEETING HELD ON

THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

VILLAGE ENGINEER \_\_\_\_\_

**ABROGATION CERTIFICATE**

THE UNDERSIGNED AUTHORIZED REPRESENTATIVE HEREBY RELEASE AND ABROGATE ALL UTILITY RIGHTS WITHIN THE HEREON DESCRIBED PART OF SAID REAL ESTATE NOTED HEREON AS "HEREBY VACATED".

VILLAGE OF DEERFIELD

BY: \_\_\_\_\_ NAME: \_\_\_\_\_ (PLEASE PRINT)

TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

FOR REVIEW  
 PURPOSES ONLY

NOTES:  
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS, SETBACK LINES AND OTHER RESTRICTIONS WHICH MAY BE FOUND IN A CURRENT TITLE REPORT, LOCAL ORDINANCES OR OTHER INSTRUMENTS HAVE NOT BEEN SHOWN.

ONLY STORM SEWER EASEMENT "B" PER DOCUMENT 22017939 HAS BEEN SHOWN HEREON FOR CLARITY PURPOSES.

STATE OF ILLINOIS )  
 COUNTY OF COOK ) SS

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-00157 DO HEREBY DECLARE THAT WE HAVE PREPARED THE PLAT HEREON DRAWN FOR THE PURPOSE OF VACATING EASEMENT AREAS AS SHOWN, AND THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID VACATION.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.

GIVEN UNDER OUR HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ IN ROSEMONT, ILLINOIS.

GABRIELA PTASINSKA, I.P.L.S., No. 035-3893  
 LICENSE EXPIRES: 11-30-2016  
 9015818KORBR@spaceco.com

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS NOT SHOWN.

REVISIONS: 08/25/2016 G.P.		CONSULTING ENGINEERS SITE DEVELOPING ENGINEERS LAND SURVEYORS	DATE: 08/15/2016 JOB NO: 7069 FILENAME: 7069VAC-STORM SHEET 2 OF 2
PREPARED FOR: MID-AMERICA ASSET MANAGEMENT, INC. ONE PARKVIEW PLAZA OAK BROOK TERRACE, IL 60181		9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	