

**AGENDA FOR THE BOARD OF TRUSTEES**  
**Monday, August 1, 2016, 7:30 P.M.**

Call to Order  
Roll Call  
Pledge of Allegiance  
Presentation of GFOA Budget Award  
Minutes of Previous Meeting  
Bills and Payroll  
Treasurer's Report  
Public Comment

**REPORTS**

- 16-80            Report and Recommendation of the Plan Commission re: Request for a Resubdivision of the 826, 828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street Properties (Formerly 824 and 836 Chestnut Street) Into 9 Lots (Jacobs Venture II LLC)
- 18-85            Report and Recommendation of Staff re: Increasing the Number of Authorized Class E Liquor Licenses from 13 to 14 for DAO Sushi
- 16-83            Report of Staff re: July 23 Sever Thunderstorm Response and Operation
- 16-84            Report of Staff re: Annexing Certain Territory Excluded from the Village of Riverwoods

**CONSENT AGENDA**

**OLD BUSINESS**

**NEW BUSINESS**

- 16-81            Resolution Approving an Intergovernmental Boundary Change and Revenue Sharing Agreement between the Village of Deerfield and the Village of Riverwoods
- 16-82            Resolution in Support of Federal Railroad Administration Crew Size Rule

Items for discussion by Mayor and Board of Trustees  
Reports of the Village Manager  
Adjournment

July 18, 2016

The regular meeting of the Board of Trustees of the Village of Deerfield was called to order by Mayor Harriet Rosenthal in the Council Chambers of the Village Hall on July 18, 2016, at 7:30 p.m. The clerk called the roll and announced that the following were:

Present: Harriet Rosenthal, Mayor  
Alan Farkas  
Thomas Jester  
Robert Nadler  
William Seiden  
Barbara Struthers

Absent: Dan Shapiro

and that a quorum was present and in attendance. Also present were Kent Street, Village Manager and Village Attorney Peter Coblentz.

PLEDGE OF ALLEGIANCE

Principal Planner Jeff Ryckaert led those in attendance in reciting the Pledge of Allegiance.

REPORT OF DEPARTMENTAL OBJECTIVES – PUBLIC WORKS AND ENGINEERING

Director of Public Works and Engineering, Barbara Little, provided highlights from the six month departmental objectives report. She indicated staff is using a collector application on their smartphones

to collect data and track damaged sidewalk locations, hydrant flushing and other information. The engineering department has removed ash trees affected with Emerald Ash Borer. The department continues to research grants and has identified a number of grants for various upcoming projects. Staff completed a field investigation to identify 700 residents with irrigation systems that are not registered with the Village. Homeowners will be given 30 days to respond to the Village's request to hire a plumber to inspect the irrigation systems. All construction projects are underway.

The Street division kept streets free of snow and ice during the beginning of 2016. They worked 580 hours to clear 22 inches of snow and ice. All equipment has been inspected and is ready for next season. The Village 50/50 tree planting program has nine homeowners that have signed up. The Village planted 1032 trees to replace ash trees.

The Water division meets or exceeds IEPA standards. The Village has seen two-thirds fewer water main breaks this year as in prior years. They are involved in investigating and researching ways to reduce water loss numbers. The Deerfield Road water main replacement program should have a positive response to reducing water leakage.

The Sewer division is working hard reducing the inflow and infiltration in the sanitary sewers. They will clean 30,000 feet by end of year and have already cleaned 15,000 feet so far this year.

Mayor Rosenthal thanked Director Little for the report and expressed appreciation for the efforts of the Public Works and Engineering personnel.

MINUTES OF PREVIOUS MEETING Trustee Struthers moved to approve the minutes from the July 5, 2016, Board of Trustees meeting. Trustee Seiden seconded the motion. The motion passed unanimously on a voice vote.

BILLS AND PAYROLL Trustee Farkas moved to approve the Bills and Payroll dated July 5, 2016. Trustee Seiden seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Struthers (5)

NAYS: None (0)

PUBLIC COMMENT There were no public comments on non-agenda items.

#### REPORTS

REPORT AND RECOMMENDATION OF THE PLAN COMMISSION RE: REQUEST FOR A FINDING OF SUBSTANTIAL CONFORMANCE FOR CHANGES TO THE PREVIOUSLY APPROVED PLAN FOR VENUE ONE AT 550 LAKE COOK ROAD The Plan Commission held a Public Hearing on June 30, 2016, to consider a request for a finding of substantial conformance for changes to the previously approved plan for Venue One at 550 Lake Cook Road. The Plan Commission voted unanimously in favor of recommending approval to eliminate the crosswalk.

Trustee Jester moved to accept the report and recommendation of the Plan Commission. Trustee Farkas seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Struthers (5)

NAYS: None (0)

REPORT AND REVIEW OF COMPREHENSIVE ANNUAL FINANCIAL REPORT BY SIKICH, LLP Finance Director Eric Burk introduced Dan Berg from Sikich, LLP. Mr. Berg noted the Village's financial statements contain an unmodified, clean opinion.

Mr. Berg thanked Mr. Burk for being very prepared, especially with the new government standards. He discussed the new pension reporting. Mr. Berg noted the General Fund grew over the past year, which represents 90% of the operational costs. The Village has nine months of expenditures available in the General Fund.

CONSENT AGENDA

There were no items on the Consent Agenda.

OLD BUSINESS

ORDINANCE AMENDING CHAPTER 3, ALCOHOLIC BEVERAGES, OF THE MUNICIPAL CODE TO CREATE A CLASS O LICENSE CLASSIFICATION TO ALLOW BEER AND WINE IN ITS ORIGINAL PACKAGE AT AUTOMOBILE CONVENIENCE FOOD SHOP AND ISSUANCE OF ONE CLASS O LICENSE – 2R	Mayor Rosenthal noted there were changes made during the First Reading of the Ordinance. Mr. Coblenz noted the changes, including limiting the location of the alcoholic beverage coolers to the rear half of the building.  Trustee Seiden moved to adopt the Ordinance. Trustee Farkas seconded the motion. The motion passed by the following vote:
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AYES: Farkas, Jester, Nadler, Seiden, Struthers (5)  
NAYS: None (0)

NEW BUSINESS

ORDINANCE O-16-15 AMENDING CHAPTER 3, ALCOHOLIC BEVERAGES OF THE MUNICIPAL CODE TO REDUCE THE NUMBER OF CLASS E LIQUOR LICENSES FROM SIXTEEN (16) TO THIRTEEN (13)	An Ordinance amending Chapter 3, Alcoholic Beverages, of the Municipal Code to reduce the number of Class E Liquor Licenses from sixteen (16) to thirteen (13).  Mayor Rosenthal indicated this was a housekeeping issue.
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Trustee Struthers moved to waive the First Reading and adopt the Ordinance. Trustee Nadler seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Struthers (5)  
NAYS: None (0)

DISCUSSION

<u>TRUSTEE IN THE TOWN</u>	Trustee Seiden reported he and Trustee Jester would be available to answer questions at the Farmer's Market on Saturday from 9 a.m. to noon.
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<u>MONARCHE PLEDGE</u>	Trustee Jester indicated milkweed seeds would
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August. be given away at the first Farmer's Market in

EXECUTIVE SESSION

Mr. Street reported there would be an Executive Session to discuss Section 2C.1 Personnel.

Trustee Seiden moved to go into Executive Session. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Farkas, Jester, Nadler, Seiden, Struthers (5)

NAYS: None (0)

ADJOURNMENT

There being no further business or discussion, Trustee Jester made a motion to adjourn the meeting. Trustee Farkas seconded the motion. The motion passed unanimously. The meeting was adjourned at 8:21 p.m.

The next regular Board of Trustees meeting will take place on August 1, 2016 at 7:30 pm.

APPROVED:

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Mayor

ATTEST:

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Village Clerk

**BILLS & PAYROLL  
FOR THE  
AUGUST 1, 2016  
VILLAGE BOARD MEETING**

Vendor	Invoice #	Description	Org	Obj	Total Invoice
ADAMS, AARON	22-0215/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	26.76
ADVANCED TREECARE	1031-10025I	TREE & STUMP REMOVAL	102037	5365	756.00
ADVANCED TREECARE	1031-10026I	TREE & STUMP REMOVAL	102037	5365	889.00
ADVANCED TREECARE	1031-10027I	TREE & STUMP REMOVAL	102037	5365	1,850.00
ADVANCED TREECARE	1031-10064I	TREE & STUMP REMOVAL	102037	5365	5,341.50
ADVANCED TREECARE	1031-9568I	TREE & STUMP REMOVAL	102037	5365	1,900.00
ADVANCED TREECARE	1031-9697I	TREE & STUMP REMOVAL	102037	5365	430.00
					<u>11,166.50</u>
AGINS, STEVEN	51-0390/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	183.11
AMERICAN OUTFITTERS LTD	220317	APPAREL: BIKE OFFICER	106034	5130	231.96
AMERICANEAGLE.COM INC	232663	WEBSITE HOSTING & MAINT - JUL 16	101210	5370	150.00
BANNER PLUMBING SUPPLY CO INC	2182609	COPPER FITTINGS & SOLDER	502050	5421	44.22
BERY, PAUL OR JOYCE	549912	TREE APPLICATION REFUND	100001	4232	75.00
BOLLINGER LACH & ASSOCIATES INC	17981-02	BRIERHILL RD RECON/PH II/052916-063016	222082	5362	46,217.81
BRANIFF COMMUNICATIONS INC	0030363	SIREN MAINTENANCE	106010	5388	1,173.80
BURRIS EQUIPMENT CO.	RI77745	POST DRIVER RENTAL	102050	5310	224.00
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	101111	5540	152.38
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	101330	5540	77.08
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	102010	5540	112.93
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	102110	5540	112.93
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	106010	5550	302.09
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	502010	5540	278.02
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	542010	5540	38.10
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	542052	5540	184.75
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	602019	5550	38.72
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	702050	5540	35.74
CALL ONE	1119314-071516	HARDLINE TELECOM - JUL 16	930000	2150	1,872.48
					<u>3,205.22</u>
CHAPUT, JOHN OR DIANE	547726	TREE APPLICATION REFUND	100001	4232	75.00
CHICAGO TRIBUNE MEDIA GROUP	CTCM525222	LEGAL NOTICE: 1144 OAKLEY RESUB	101330	5336	53.09
CHICAGO TRIBUNE MEDIA GROUP	CTCM544530/4245727	LEGAL NOTICE - ANNUAL TREASURER'S REPORT	101111	5337	940.80
CHICAGO TRIBUNE MEDIA GROUP	CTCM545109	LEGAL NOTICE: TAYLOR JUNCTION RESUB	101330	5336	45.09
					<u>1,038.98</u>
CHRISTOPHER B. BURKE ENGINEERING LTD	130206	KATES RD WTR TWR PAINTING: 052916-062516	222082	5362	804.89
CHRISTOPHER B. BURKE ENGINEERING LTD	130395	ESTATE DR/DEER LK RD RECON/PH I/052916-062516	222082	5362	2,546.25
					<u>3,351.14</u>
CINTAS	022327890	CLOTHING - LARSEN/WRF	542052	5130	351.56
CINTAS	022340042	MATS - VH	101111	5320	64.45
CINTAS	022340043	MATS - PW/ENG/TRN STN	102010	5320	91.39
CINTAS	022340043	MATS - PW/ENG/TRN STN	102038	5320	91.36
CINTAS	022340043	MATS - PW/ENG/TRN STN	502010	5320	91.39
CINTAS	022340043	MATS - PW/ENG/TRN STN	542010	5320	91.39
CINTAS	022340044	CLOTHING - JANES	542052	5130	226.78
CINTAS	022340045	CLOTHING - BEALER	102110	5130	71.98
CINTAS	022340046	CLOTHING - BEALER	102110	5130	97.14
CINTAS	022340047	MATS - WRF	542052	5320	89.55
CINTAS	022343068	OFFICE SUPPLIES	101111	5320	64.45
					<u>1,331.44</u>
COLLINS, EDWARD OR DOROTHY	545775	TREE APPLICATION REFUND	100001	4232	75.00
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	101111	5540	101.52
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	101210	5540	101.52
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	101330	5540	101.52
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	102010	5540	20.30
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	102110	5540	50.76
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	106010	5550	101.52
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	502010	5540	15.24
COMCAST CABLE	44661595	VOICE TRUNK SERVICE (VH) - AUG 16	542052	5540	15.23
					<u>507.61</u>
COMED	0039019040-052716	A/C 0039019040 05/23/2016 TO 06/22/2016	102050	5510	146.31
COMED	0210000007-062716	A/C 0210000007 05/25/2016 TO 06/23/2016	542052	5510	30.80
COMED	0233100028-060316	A/C 0233100028 05/04/2016 TO 06/03/2016	102050	5510	1,136.29
COMED	0263148072-062116	A/C 0263148072 05/20/2016 TO 06/21/2016	502031	5510	124.32
COMED	0297076067-062816	A/C 0297076067 05/26/2016 TO 06/27/2016	542052	5510	90.33
COMED	0441157035-062116	A/C 0441157035 05/20/2016 TO 06/21/2016	102050	5510	35.81
COMED	0507100076-062416	A/C 0507100076 05/25/2016 TO 06/24/2016	542052	5510	124.21
COMED	0593070056-072116	A/C 0593070056 06/21/2016 TO 07/21/2016	102050	5510	33.84
COMED	0603118092-022316	A/C 0603118092 05/25/2016 TO 06/22/2016	542052	5510	30.87
COMED	0744127017-062316	A/C 0744127017 05/25/2016 TO 06/23/2016	542052	5510	38.12
COMED	1093039047-062116	A/C 1093039047 05/20/2016 TO 06/21/2016	602038	5510	19.31
COMED	1476603014-072216	A/C 1476603014 06/22/2016 TO 07/22/2016	542052	5510	75.16
COMED	1695047067-061716	A/C 1695047067 05/18/2016 TO 06/17/2016	102050	5510	2,528.97
COMED	1695047076-060316	A/C 1695047076 05/04/2016 TO 06/03/2016	102050	5510	136.69
COMED	2055118031-062116	A/C 2055118031 05/20/2016 TO 06/21/2016	102050	5510	35.46
COMED	2763162001-062316	A/C 2763162001 05/25/2016 TO 06/23/2016	502031	5510	94.05
					<u>4,680.54</u>
COOK COUNTY TREASURER	2016-2	TRAFFIC SIGNAL MAINT: APR 16 - JUN 16	102050	5611	4,553.25
COPENHAVER, ARLENE	547828	TREE APPLICATION REFUND	100001	4232	75.00

Vendor	Invoice #	Description	Org	Obj	Total Invoice
CURTIS 1000 INC	4548121	BUSINESS CARDS: HALL (DOUBLE-SIDED)	106034	5130	87.78
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	101111	5335	64.92
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	101210	5335	64.92
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	101330	5335	64.95
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	102010	5335	64.92
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	102110	5335	64.92
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	502010	5335	64.92
CURTIS 1000 INC	4592240	LETTERHEAD (SECOND PAGE)	542052	5335	64.92
CURTIS 1000 INC	4599000	BUSINESS CARDS: KASS	106010	5335	28.09
CURTIS 1000 INC	8070853	CREDIT: HALL	106034	5130	<u>(48.29)</u>
					522.05
DANIEL CREANEY COMPANY	39797	ENGINEERING SERVICES - SUMMIT DR	102110	5362	2,875.00
DANIELS, PAUL OR DOLORES	547791	TREE APPLICATION REFUND	100001	4232	75.00
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	101111	5335	2,130.00
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	101111	5337	3,045.00
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	101210	5386	20.89
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	101210	5387	20.89
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	101210	5387	20.89
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	502010	5335	260.85
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	502010	5337	580.87
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	542010	5335	117.80
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	542010	5337	262.33
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	582030	5337	93.69
DATAPROSE LLC	DP1601383	UTILITY STMTS & LATE NOTICES: MAY 16	582030	5390	42.07
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	101210	5386	21.52
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	101210	5387	21.52
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	502010	5335	275.43
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	502010	5337	615.85
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	542010	5335	124.39
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	542010	5337	278.13
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	582030	5337	99.33
DATAPROSE LLC	DP1601712	UTILITY STMTS & LATE NOTICES: JUN 16	582030	5390	<u>44.42</u>
					8,075.87
DEHNE LAWN & LEISURE INC	105809	TRIMMER HEAD ASSEMBLY (2)	542052	5470	59.90
DELLINGER ELECTRIC, INC	5913	SERVICE CALL - POLICE ELEVATOR WELL	101330	5322	134.00
DEMUTH INC	HP3245	EMERGENCY SEWER REPAIR	542051	5365	11,500.00
DEMUTH INC	HP3258	TELEWISE/LOCATE - LAKE COOK ROAD	542051	5365	<u>800.00</u>
					12,300.00
DOUGLAS TRUCK PARTS	17072	SPOT LIGHT PARTS - SQUADS	702050	5470	94.05
ELEVATOR INSPECTION SERVICES COMPANY INC	61355	ELEVATOR INSPECTION	101330	5365	80.00
ELEVATOR INSPECTION SERVICES COMPANY INC	61364	ELEVATOR INSPECTIONS	101330	5365	<u>160.00</u>
					240.00
FEDERAL EXPRESS CORP	5-478-67388	MAILINGS - PW/ENG	102110	5337	30.03
FEDERAL EXPRESS CORP	5-478-67388	MAILINGS - PW/ENG	542052	5335	<u>28.06</u>
					58.09
FERGUSON, BARBARA	547508	TREE APPLICATION REFUND	100001	4232	75.00
FGK SERVICES INC	0716-10-1	CEILING LIGHT FIXTURE CLEANING	102038	5321	214.00
FIORE NURSERY AND LANDSCAPE SUPPLY	1101125	SCREENING PLANTS - 1755 PORTAGE PASS	102037	5365	383.00
FISHER, CALLIE	26-0515/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	124.90
FISHMAN, ADAM AND ANNETTE BAEZ	542718/55913	901 CASTLEWOOD - DEPOSIT REFUND	910000	2423	1,050.00
FITZGERALD, DAVID	07262016	EXP REIMB - REPLENISH IPASS	101210	5211	100.00
FLEMING, VICTORIA	542948/56072	1224 HACKBERRY - DEPOSIT REFUND	910000	2423	500.00
FORD, CHAD	11-0295/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	79.05
GALLS LLC	005641606	APPAREL: DAVIE	106034	5130	47.08
GALLS LLC	005648415	APPAREL: DAVIE	106034	5130	27.83
GALLS LLC	005649248	APPAREL: KUHLLERS/FOSTER	106034	5130	<u>82.54</u>
					157.45
GB SPRINKLER SYSTEMS INC	50661	SPRINKLING SYSTEM CHECK	102037	5914	404.00
GEUDER, JUDITH	06302016	FAMILY DAYS EXP REIMB	101210	5386	7.59
GEUDER, JUDITH	07152016	FAMILY DAYS EXP REIMB	101210	5386	<u>9.77</u>
					17.36
GEWALT-HAMILTON ASSOCIATES INC	4382.900-4	TRAFFIC STUDY: DEERFIELD/CHESTNUT	106010	5370	1,000.00
GHA TECHNOLOGIES INC	9861011	PRINTER TONER	101111	5460	163.00
GHA TECHNOLOGIES INC	9870265	PRINTER TONERS	106010	5460	575.60
GHA TECHNOLOGIES INC	9870265	PRINTER TONERS	542052	5460	377.33
GHA TECHNOLOGIES INC	9871925	COMPUTER MONITORS	101330	5810	147.65
GHA TECHNOLOGIES INC	9871925	COMPUTER MONITORS	102110	5810	<u>147.65</u>
					1,411.23
GONZALES TREE SERVICE	546908	TREE APPLICATION REFUND - 440 WILLOW AVE	100001	4232	75.00
GORDON, KIRSTEN	54-0095/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	41.51
GRAINGER INC	9166163619	HVAC FILTERS	102010	5320	81.76
GRAINGER INC	9166163619	HVAC FILTERS	502010	5320	81.76
GRAINGER INC	9166163619	HVAC FILTERS	542010	5320	<u>81.76</u>
					245.28

Vendor	Invoice #	Description	Org	Obj	Total Invoice
GRAND PRIX CAR WASH	063116	SQUAD CAR WASHES - JUN 16	106034	5326	66.00
GRAND PRIX CAR WASH	063116/CD	CAR WASH - CD	101330	5322	<u>3.50</u>
					69.50
GUY SCOPELLITI ORIGINAL LANDSCAPING CO.	28839	TREE INSTALLATION (3) - 995 BRAND	102037	5365	480.00
GUY SCOPELLITI ORIGINAL LANDSCAPING CO.	28840	TURF REPAIR - CENTRAL & JONQUIL	102050	5365	150.80
GUY SCOPELLITI ORIGINAL LANDSCAPING CO.	29196	CLEAN UP SERVICES - 1219 CARLISLE	102050	5365	151.25
GUY SCOPELLITI ORIGINAL LANDSCAPING CO.	29197	CLEAN UP SERVICES - 1119 GREENTREE AVE	102050	5365	<u>82.50</u>
					864.55
HD SUPPLY WATERWORKS	F734277	HYDRANT EXTENSIONS	502050	5421	1,522.90
HD SUPPLY WATERWORKS	F739481	HYDRANT EXTENSION	502050	5421	<u>655.00</u>
					2,177.90
HERMAN, GEORGE	24-0535/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	72.61
HIGHLAND PARK FORD	106605	A/C LINE - SQUAD #3	702050	5470	61.02
HODGES, STACI OR CHRIS	548851	TREE APPLICATION REFUND	100001	4232	75.00
HOME DEPOT CREDIT SERVICES	3063071	DRILL BITS/TAPCONS - WRF	542052	5470	41.64
HOME DEPOT CREDIT SERVICES	4062947	HEAT SHRINK TUBING - STREETLIGHT WIRES	102050	5410	15.84
HOME DEPOT CREDIT SERVICES	4592705	DRILL/BITS	502054	5410	230.91
HOME DEPOT CREDIT SERVICES	5062575	SWITCH - WRF	542052	5470	15.96
HOME DEPOT CREDIT SERVICES	5062630	MISC REPAIR & MAINT SUPPLIES - 1219 CARLISLE	101210	5365	53.87
HOME DEPOT CREDIT SERVICES	5062662	FLARING TOOL	502050	5421	25.46
HOME DEPOT CREDIT SERVICES	5062689	TRIM FOR SCREENS - WRF	542052	5470	84.73
HOME DEPOT CREDIT SERVICES	6062430	CEILING TILES	102010	5320	45.39
HOME DEPOT CREDIT SERVICES	6062430	CEILING TILES	502010	5320	45.37
HOME DEPOT CREDIT SERVICES	6062430	CEILING TILES	542010	5320	45.39
HOME DEPOT CREDIT SERVICES	6171956	CREDIT MEMO - RETURNED ITEM(S)	102010	5320	(4.13)
HOME DEPOT CREDIT SERVICES	6171956	CREDIT MEMO - RETURNED ITEM(S)	502010	5320	(4.12)
HOME DEPOT CREDIT SERVICES	6171956	CREDIT MEMO - RETURNED ITEM(S)	542010	5320	(4.13)
HOME DEPOT CREDIT SERVICES	6592409	MISC REPAIR & MAINT SUPPLIES - 1219 CARLISLE	101210	5365	<u>202.87</u>
					795.05
IBM CORP	1618964	SOFTWARE MAINTENANCE AGREEMENT: 2016	176020	5323	1,644.16
ILEAS	DUES5915	ANNUAL DUES	106010	5330	120.00
ILLINOIS ASSN OF CHIEFS OF POLICE	KEANE-DEERFI-16	2016 DUES - KEANE	106010	5330	95.00
ILLINOIS ASSN OF CHIEFS OF POLICE	SLIOZI-DEERFI-16	2016 DUES - SLIOZIS	106010	5330	<u>220.00</u>
					315.00
ILLINOIS ASSN OF WASTEWATER AGENCIES	3812	TECH COMMITTEE MEETING - JANES	542052	5210	50.00
ILLINOIS PAPER & COPIER COMPANY	IN233087	PRINTER/COPIER PAPER (20 CARTONS)	101111	5335	184.50
ILLINOIS PAPER & COPIER COMPANY	IN233087	PRINTER/COPIER PAPER (20 CARTONS)	101210	5335	153.75
ILLINOIS PAPER & COPIER COMPANY	IN233087	PRINTER/COPIER PAPER (20 CARTONS)	101330	5335	123.00
ILLINOIS PAPER & COPIER COMPANY	IN233087	PRINTER/COPIER PAPER (20 CARTONS)	106010	5335	<u>153.75</u>
					615.00
ILLINOIS SECTION AWWA	200024038	SEMINAR - GEHRKE/OLMSTEAD/LENZ	502010	5210	96.00
IRGANG, MICHAEL	546649/56261	1032 WAYNE - DEPOSIT REFUND	910000	2423	200.00
JANES, BRANDON	07082016	TRAVEL EXP REIMB - IAWWA MEETING	542052	5211	115.56
JG UNIFORMS, INC	3777	APPAREL: HILL	106020	5130	142.70
JG UNIFORMS, INC	3778	APPAREL: WALSH	106034	5130	421.50
JG UNIFORMS, INC	3779	APPAREL: KASS	106034	5130	1,468.13
JG UNIFORMS, INC	3782	VEST COVERS: SEVERAL	106010	5130	296.00
JG UNIFORMS, INC	3782	VEST COVERS: SEVERAL	106034	5130	578.00
JG UNIFORMS, INC	4044	APPAREL: KUPSAK	106034	5130	35.99
JG UNIFORMS, INC	4045	BADGES: FRY/MAZARIEGOS/MELVIN	106010	5130	102.50
JG UNIFORMS, INC	4045	BADGES: FRY/MAZARIEGOS/MELVIN	106033	5130	102.50
JG UNIFORMS, INC	4045	BADGES: FRY/MAZARIEGOS/MELVIN	106034	5130	102.50
JG UNIFORMS, INC	4046	APPAREL: KASS	106034	5130	420.00
JG UNIFORMS, INC	4047	APPAREL: HURY	106034	5130	29.80
JG UNIFORMS, INC	4178	APPAREL: LORENZ	106034	5130	12.00
JG UNIFORMS, INC	4179	APPAREL: KASS	106034	5130	88.50
JG UNIFORMS, INC	4243	MOURNING BANDS	106010	5130	<u>22.44</u>
					3,822.56
JOHNSON, JONATHAN	23-0265/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	65.17
JONATHAN'S PORTRAITS	3914	BOARD/STAFF PHOTOS	101210	5387	900.00
KASIMATIS, JEROME J	41-0715/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	170.94
KEENAN, JUSTIN	2532-MAPS	PRINTING EXP REIMB - WATER SYSTEM MAPS	502010	5335	165.16
KONKE ELECTRIC INC	2144	STREET LIGHT REPAIR	102037	5914	925.00
KROPP, ANTHONY	062416	TRAVEL REIMB	106034	5211	74.60
LAKE COUNTY CHIEFS OF POLICE	TMK2016	DUES: KEANE	106010	5330	50.00
LEADSONLINE	236936	SOFTWARE RENEWAL - INVESTIGATIONS	106010	5370	2,848.00
LEIPZIG, GORDON	546831/56180	58 LARKDALE - DEPOSIT REFUND	910000	2410	500.00
LEIPZIG, GORDON	546831/56180	58 LARKDALE - DEPOSIT REFUND	910000	2423	<u>500.00</u>
					1,000.00
LINDCO EQUIPMENT SALES, INC	151128E	SNOGO MODEL MP SNOW REMOVER LESS TRADE-IN	211150	5810	141,832.00
MADURA, STEPHEN OR KERRI	549365	TREE APPLICATION REFUND	100001	4232	75.00
MANOR HOMES OF DEERFIELD HOA	546102	TREE APPLICATION REFUND	100001	4232	75.00
MARK, WARREN OR LINDA	547721	TREE APPLICATION REFUND	100001	4232	75.00

Vendor	Invoice #	Description	Org	Obj	Total Invoice
MARKLE, RONALD	541400/55996	1545 WOODBINE - DEPOSIT REFUND	910000	2423	200.00
MARKLE, RONALD	541401/55996	1545 WOODBINE - DEPOSIT REFUND	910000	2410	500.00
MARKLE, RONALD	541401/55996	1545 WOODBINE - DEPOSIT REFUND	910000	2423	500.00
					1,200.00
MCESSY INVESTMENT COMPANY	070516	PRISONER MEALS: JUN 16	106010	5460	23.70
MCHENRY ANALYTICAL WATER LABORATORY, INC	590994	INDEPENDENT LAB TESTING - WRF	542052	5365	221.20
MEINTZER CONCRETE	1068	CONCRETE REPAIR - 1219 CARLISLE PL	101210	5365	2,246.00
MENONI & MOCOGNI, INC.	1187808	BUNDLE OF MARKING FLAGS - MOSCONI	102050	5421	11.00
MENONI & MOCOGNI, INC.	1189208	BLACK DIRT - SCOPELLITI	102050	5365	151.47
MENONI & MOCOGNI, INC.	1189257	BLACK DIRT - SCOPELLITI	102050	5365	148.67
MENONI & MOCOGNI, INC.	1189311	BLACK DIRT - SCOPELLITI	102050	5365	150.20
MENONI & MOCOGNI, INC.	1189938	STRAW BLANKETS/FABRIC ANCHORS - SCOPELLITI	102050	5365	304.70
MENONI & MOCOGNI, INC.	1192820	BLACK DIRT	102037	5421	148.67
MENONI & MOCOGNI, INC.	1193194	BLACK DIRT	502050	5421	97.67
MENONI & MOCOGNI, INC.	1193498	LIME STONE CAPS FOR BOLLARDS	102037	5914	253.55
MENONI & MOCOGNI, INC.	23750	CULTURED STONE CORNERS - PW	102037	5914	275.00
MENONI & MOCOGNI, INC.	23771	6-FT POSTS (250) - 465 ELM	102050	5421	1,725.00
MENONI & MOCOGNI, INC.	23784	BLACK DIRT - 1579 WOODVALE	102050	5421	1,350.00
MENONI & MOCOGNI, INC.	23785	ORANGE SAFETY FENCE (4X100 FT) - 465 ELM	102050	5421	1,233.00
MENONI & MOCOGNI, INC.	886737893	CONCRETE - 1219 CARLISLE	102050	5421	1,120.00
MENONI & MOCOGNI, INC.	886746708	CONCRETE - 1390 CAROL	102050	5421	912.00
MENONI & MOCOGNI, INC.	886750269	CONCRETE - MONTGOMERY DR & MONTGOMERY CT	102050	5421	2,450.00
MENONI & MOCOGNI, INC.	886760791	CONCRETE - 1370 MONTGOMERY	102050	5421	2,170.00
MENONI & MOCOGNI, INC.	886760793	CONCRETE - 1370 MONTGOMERY	102050	5421	1,120.00
MENONI & MOCOGNI, INC.	886760797	CONCRETE - SUMMIT & PORTAGE PASS	502050	5421	730.00
MENONI & MOCOGNI, INC.	886767038	CONCRETE - 1390 MONTGOMERY	102050	5421	1,680.00
					16,030.93
MERIDIAN IT INC	MITUS-2016-0030204	VOICE GATEWAY ROUTER REPLACEMENT	211150	5810	1,572.50
MICROSYSTEMS INC	1000075044	DIGITAL ARCHIVING - ZONING MAPS/RECORDED PLATS	101210	5365	2,251.05
MOJSA, MAREK	454467/TMR	1109 CENTRAL - TREE MITIGATION REFUND	100001	4462	3,862.50
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33137	LANDSCAPING AND RESTORATION	102037	5365	330.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33137	LANDSCAPING AND RESTORATION	102050	5365	220.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33137	LANDSCAPING AND RESTORATION	602019	5320	110.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33138	LANDSCAPING AND RESTORATION	102037	5365	30.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33138	LANDSCAPING AND RESTORATION	102050	5365	20.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33138	LANDSCAPING AND RESTORATION	602019	5320	10.00
					720.00
MULDROW, JEFF	548157	TREE APPLICATION REFUND	100001	4232	75.00
MUTUAL SERVICES OF HIGHLAND PARK	527731	PEST CONTROL	502010	5410	19.40
MUTUAL SERVICES OF HIGHLAND PARK	528229	BATHROOM LOCK	702050	5470	7.91
MUTUAL SERVICES OF HIGHLAND PARK	528510	STREETScape MAINT SUPPLIES	102037	5914	13.48
					40.79
NAPA AUTO PARTS - WHEELING	397679	PARTS WASHER SOLUTION - WRF	542052	5422	324.59
NAPA AUTO PARTS - WHEELING	397760	STOCK AUTO PARTS	702050	5470	38.59
NAPA AUTO PARTS - WHEELING	398494	SPARK PLUG	502010	5210	8.40
NAPA AUTO PARTS - WHEELING	398689	GENERATOR BELTS - PW	702050	5470	98.42
NAPA AUTO PARTS - WHEELING	398704	GENERATOR BELT - PW	702050	5470	24.42
					494.42
NATIONAL FIRE PROTECTION ASSOC	6655710X	ANUAL MEMBERSHIP - HANSEN	101330	5330	175.00
NORTH EAST MULTI REG TRAINING	209034	TRAINING: KUPSAK	106034	5130	50.00
NORTH SHORE GAS	3500074646765-072116	A/C 3500074646765 06/20/2016 TO 07/19/2016	542052	5520	27.57
NORTH SHORE GAS CO.	07272016	GAS SERVICE DISCONNECT - 630 CENTRAL AVE	101210	5365	750.00
					777.57
OFFICE DEPOT	846831938001	STOCK "CONTACT US" BUSINESS CARDS	106010	5335	26.99
OFFICE DEPOT	846832143001	STOCK "CONTACT US" INFORMATION CARDS	106010	5335	26.99
OFFICE DEPOT	847869941001	OFFICE SUPPLIES	106010	5450	57.76
OFFICE DEPOT	851366408001	OFFICE SUPPLIES	101111	5450	35.09
					146.83
PARMACEK, ERIC	471721/54094	728 FOX HUNT DR - DEPOSIT REFUND	910000	2423	200.00
PEARSON, JOHN THOMAS	47-0415/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	53.83
PHILLIPS, ROBERT W.	219862474	EXP REIMB - IDOT/LAKE COUNTY LUNCH MEETING	102110	5410	81.76
PHILLIPS, WILLIAM	54-0085/REFUND	UTILITY ACCOUNT CREDIT BALANCE REFUND	500000	1270	22.98
PIONEER PRESS	167566129-2016	SUBSCRIPTION (HP NEWS) - 1 YEAR	101210	5213	16.12
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	101111	5337	46.35
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	101210	5337	46.35
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	101330	5337	46.35
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	102010	5337	46.35
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	106010	5337	61.80
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	502010	5337	30.90
PITNEY BOWES	3100351133	QRTLY MAINT: MAY 16 - JUL 16	542010	5337	30.90
					309.00
PRECISION SERVICE & PARTS INC	30IV100738	A/C SWITCH - #700	702050	5470	30.11



August 1, 2016 Board Meeting

<b>Vendor</b>	<b>Invoice #</b>	<b>Description</b>	<b>Org</b>	<b>Obj</b>	<b>Total Invoice</b>	
<b><u>Pre-Paid Checks</u></b>						
CLERK OF THE CIRCUIT COURT	551248	BOND MONEY TRANSFER	910000	2441	1,075.00	1,075.00
<b>Total Pre-Paid Checks</b>					<b>\$</b>	<b>1,075.00</b>
<b><u>Pre-Paid Wire Transactions</u></b>						
CHICAGO TITLE & TRUST COMPANY N.W.	07132016/630CENTRAL	PURCHASE OF 630 CENTRAL AVE	910000	2453	352,000.00	352,000.00
<b>Total Pre-Paid Wire Transactions</b>					<b>\$</b>	<b>352,000.00</b>
<b>Grand Total</b>					<b>\$</b>	<b>715,142.06</b>

**Village of Deerfield Payroll Summary Report  
JULY 2016**

**FUND 10 GENERAL FUND**

**FINANCE DEPARTMENT**

101111	5110	REGULAR SALARIES	\$ 51,399.73
101111	5111	PART TIME SALARIES	1,538.25
101111	5112	OVERTIME SALARIES	296.07

**ADMINISTRATION**

101210	5110	REGULAR SALARIES	46,469.14
101210	5111	PART TIME SALARIES	3,187.81
101210	5112	OVERTIME SALARIES	-

**COMMUNITY DEVELOPMENT**

101330	5110	REGULAR SALARIES	56,129.74
101330	5111	PART TIME SALARIES	-
101330	5112	OVERTIME SALARIES	741.47

**STREET ADMINISTRATION**

102010	5110	REGULAR SALARIES	19,315.21
102010	5111	PART TIME SALARIES	-
102010	5112	OVERTIME SALARIES	578.54

**STREET SNOW & ICE REMOVAL**

102036	5110	REGULAR SALARIES	-
102036	5111	PART TIME SALARIES	-
102036	5112	OVERTIME SALARIES	-

**STREET FORESTRY**

102037	5110	REGULAR SALARIES	-
102037	5111	PART TIME SALARIES	-
102037	5112	OVERTIME SALARIES	325.19

**STREET TRAIN STATION MAINT**

102038	5110	REGULAR SALARIES	550.66
102038	5111	PART TIME SALARIES	-
102038	5112	OVERTIME SALARIES	-

**STREET MAINTENANCE**

102050	5110	REGULAR SALARIES	43,153.59
102050	5111	PART TIME SALARIES	2,840.26
102050	5112	OVERTIME SALARIES	15,195.13

**ENGINEERING DIVISION**

102110	5110	REGULAR SALARIES	19,786.91
102110	5111	PART TIME SALARIES	3,340.50
102110	5112	OVERTIME SALARIES	\$ 1,270.93

**Village of Deerfield Payroll Summary Report  
JULY 2016**

**POLICE DEPT ADMINISTRATION**

106010	5110	REGULAR SALARIES	\$ 36,670.42
106010	5111	PART TIME SALARIES	-
106010	5112	OVERTIME SALARIES	112.91

**POLICE DEPT COMMUNICATIONS**

106020	5110	REGULAR SALARIES	50,231.05
106020	5111	PART TIME SALARIES	2,949.96
106020	5112	OVERTIME SALARIES	1,694.39

**POLICE DEPT INVESTIGATIONS**

106033	5110	REGULAR SALARIES	51,869.63
106033	5112	OVERTIME SALARIES	2,987.21

**POLICE DEPT PATROL**

106034	5110	REGULAR SALARIES	245,550.52
106034	5111	PART TIME SALARIES	3,036.24
106034	5112	OVERTIME SALARIES	12,768.23

**POLICE DEPT SPEC DETAIL (REIMBURSED)**

106061	5112	OVERTIME SALARIES	34,517.82
		TOTAL FUND 10	<u>\$ 708,507.51</u>

FUND 50 WATER FUND

**WATER DEPARTMENT ADMINISTRATION**

502010	5110	REGULAR SALARIES	\$ 18,059.67
502010	5111	PART TIME SALARIES	756.00
502010	5112	OVERTIME SALARIES	144.33

**WATER DEPT DISTRIBUTION**

502031	5110	REGULAR SALARIES	7,540.22
502031	5112	OVERTIME SALARIES	777.11

**WATER MAIN MAINTENANCE**

502050	5110	REGULAR SALARIES	15,954.83
502050	5111	PART TIME SALARIES	693.00
502050	5112	OVERTIME SALARIES	1,729.24

**WATER METER MAINTENANCE**

502054	5110	REGULAR SALARIES	4,697.92
502054	5111	PART TIME SALARIES	-
502054	5112	OVERTIME SALARIES	197.87
		TOTAL FUND 50	<u>\$ 50,550.19</u>

**Village of Deerfield Payroll Summary Report  
JULY 2016**

FUND 54 SEWER FUND

**SEWER ADMINISTRATION**

542010	5110	REGULAR SALARIES	\$ 11,706.29
542010	5111	PART TIME SALARIES	840.00
542010	5112	OVERTIME SALARIES	30.95

**SEWER LINE MAINTENANCE**

542031	5110	REGULAR SALARIES	14,986.42
542031	5111	PART TIME SALARIES	-
542031	5112	OVERTIME SALARIES	469.65

**SEWER CLEANING**

542051	5110	REGULAR SALARIES	11,435.24
542051	5111	PART TIME SALARIES	658.88
542051	5112	OVERTIME SALARIES	1,913.42

**WASTEWATER TREATMENT FACILITY**

542052	5110	REGULAR SALARIES	49,328.04
542052	5111	PART TIME SALARIES	756.00
542052	5112	OVERTIME SALARIES	2,351.05
TOTAL FUND 54			\$ 94,475.94

FUND 58 REFUSE FUND

**REFUSE LEAF COLLECTION**

582053	5110	REGULAR SALARIES	\$ -
582053	5111	PART TIME SALARIES	-
582053	5112	OVERTIME SALARIES	-
TOTAL FUND 58			\$ -

FUND 60 PARKING LOTS - RESIDENTIAL

**COMM PARK COMBINED REVENUE**

602019	5110	REGULAR SALARIES	\$ 916.82
602038	5110	REGULAR SALARIES	916.82
602038	5112	OVERTIME SALARIES	-
TOTAL FUND 60			\$ 1,833.64

FUND 70 GARAGE FUND

**GARAGE FUND EXPENDITURES**

702050	5110	REGULAR SALARIES	\$ 11,853.40
702050	5112	OVERTIME SALARIES	92.85
TOTAL FUND 70			\$ 11,946.25

**TOTAL ALL FUNDS \$ 867,313.53**

To the Finance Director:

The payment of the above listed accounts has been approved by the Board of Trustees at their meeting held on August 1, 2016 and you are hereby authorized to pay them from the appropriate funds.

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(Treasurer)

**TREASURER'S REPORT**  
**June 30, 2016**

HIGHLIGHT REPORT  
June 30, 2016

**SALES TAX (non home-rule)\***

SALES MONTH	RECEIPT MONTH	2014 ACTUAL	2015 ACTUAL	2016 ACTUAL	% CHANGE PRIOR YR. PERIOD	TOTAL 12 MONTHS RUNNING	% CHANGE ANNUAL TOTALS
						3,848,695	
October	January	331,326	371,192	278,067	-25.1%	3,851,200	0.1%
November	February	268,123	270,906	315,746	16.6%	3,836,803	-0.4%
December	March	290,046	351,164	287,077	-18.2%	3,877,603	1.1%
January	April	255,689	282,558	330,267	16.9%	3,822,491	-1.4%
February	May	238,998	218,180	256,915	17.8%	3,720,354	-2.7%
<b>March</b>	<b>June</b>	<b>304,788</b>	<b>283,631</b>	<b>248,202</b>	<b>-12.5%</b>	3,692,259	-0.8%
April	July	298,666	301,171		0.8%	3,599,134	-2.5%
May	August	311,357	296,960		-4.6%	3,643,974	1.2%
June	September	335,985	376,785		12.1%	3,579,887	-1.8%
July	October	348,688	293,576		-15.8%	3,627,596	1.3%
August	November	431,169	329,032		-23.7%	3,666,331	1.1%
September	December	345,199	317,104		-8.1%	3,630,902	-1.0%
<b>TOTAL</b>		<b>3,760,034</b>	<b>3,692,259</b>	<b>1,716,274</b>			<b>-5.7%</b>
YTD Subtotal		<u>1,688,970</u>	<u>1,777,631</u>	<u>1,716,274</u>			

**MAJOR REVENUE SOURCES**

Revenue Items	June	Fiscal YTD	Projected YTD	Variance	FY Budget	Current FY Projection
Sales Tax (non-HR)	321,264	2,592,688	2,500,000	92,688	5,000,000	5,000,000
Home Rule Sales Tax	260,344	2,187,024	2,075,000	112,024	4,150,000	4,150,000
Water Sales	266,882	1,544,373	2,120,000	(575,627)	4,240,000	4,240,000
Interest*	45,381	118,875	92,500	26,375	185,000	185,000
Sewer Use Charge	249,642	1,169,402	1,435,000	(265,598)	2,870,000	2,870,000
Hotel Tax	198,915	948,927	950,000	(1,073)	1,900,000	1,900,000
Electric Utility Tax	169,611	590,447	625,000	(34,553)	1,250,000	1,250,000
State Income Tax	424,956	1,134,241	850,000	284,241	1,700,000	1,700,000
Building Permits	108,633	550,607	462,500	88,107	925,000	925,000

\*All budgeted funds (excluding police pension)

**OPERATING FUNDS (GENERAL, WATER, SEWER, GARAGE) SUMMARY**

Revenues	4,070,341	14,861,424	14,906,156	(44,732)	29,444,253	29,444,253
Expenditures	2,025,887	13,264,153	13,338,180	(74,027)	32,126,113	32,126,113

**REVENUES AND EXPENDITURES**

Sales tax net of rebate decreased from last month and the same period of the previous two years, due largely to economic incentive activity. YTD Water, Sewer and Hotel tax revenues are consistent with the prior year. Electric Utility tax and State Income tax include payments for two months. Vehicle licenses and the 1<sup>st</sup> installment of Lake County property tax were collected during the month. Large expenditures during the month include engineering & construction costs for infrastructure projects.

**CASH AND INVESTMENTS**

As of June 30, 2016, 100% of available cash was invested at an estimated average annualized interest rate of 0.51 compared to an average rate of 0.27% for the 90-day Treasury bill.

**CASH POSITION ANALYSIS**

June 30, 2016

**TOTAL CASH AND INVESTMENTS**

	<b>CURRENT MONTH</b>	<b>PRIOR MONTH</b>	<b>CHANGE</b>	<b>EXPLANATION</b>
<b>OPERATING FUNDS</b>				
GENERAL	19,952,869	17,780,867	2,172,002	Property Tax, Vehicle Licenses
ENHANCED 911	1,085,566	1,061,111	24,455	
WATER	(1,533,242)	(1,530,952)	(2,290)	
SEWER	394,745	337,655	57,090	
REFUSE	55,544	111,739	(56,195)	
PARKING LOTS	276,749	258,904	17,845	
GARAGE	(3,730)	(6,068)	2,338	
VEH & EQUIP	5,053,520	5,065,486	(11,966)	
DEBT SERVICE	1,296,734	(272,512)	1,569,246	Property Tax
<b>TOTAL ALL OPERATING</b>	<b>26,578,755</b>	<b>22,806,230</b>	<b>3,772,525</b>	
<b>CAPITAL FUNDS</b>				
INFRASTRUCTURE REPLACE.	8,315,259	8,670,117	(354,858)	
BOND PROCEEDS	0	36	(36)	
MOTOR FUEL TAX	586,179	544,553	41,626	
<b>TOTAL ALL CAPITAL</b>	<b>8,901,438</b>	<b>9,214,706</b>	<b>(313,268)</b>	
<b>TOTAL CAP. AND OPER.</b>	<b>35,480,193</b>	<b>32,020,936</b>	<b>3,459,257</b>	
<b>OTHER FUNDS</b>				
POLICE PENSION	41,196,851	41,037,684	159,167	
EAST SHORE RADIO	41,358	50,326	(8,968)	
2011 B SINKING FUND *	2,943,063	2,910,497	32,566	
IMET LIQUIDATING TRUST	651,616	651,616	0	

\* Restricted for payment of 2011B bonds in 2028

**Village of Deerfield**  
**Expenditure Report - June 30, 2016 - 50% of Year**

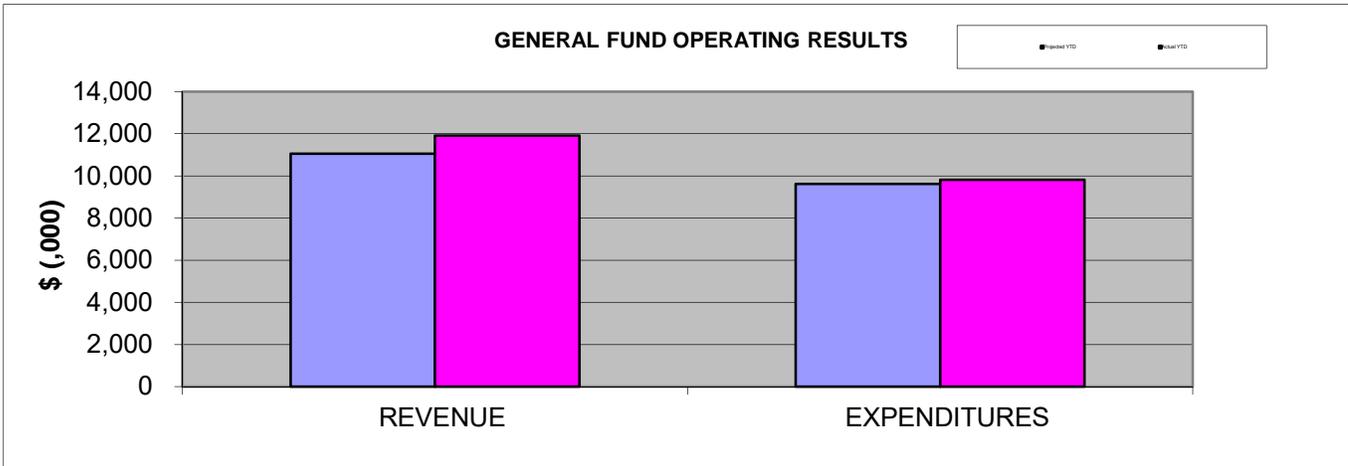
FUND/DEPARTMENT (function)	June Expenditures	Projected Y-T-D	Actual Y-T-D	Variance	Budget 2016	% of Budget	Prior Year %
10 GENERAL FUND							
Finance	300,778	2,078,950	2,610,662	(531,713)	8,607,652	30.3%	60.9%
Administration	222,566	845,083	797,909	47,174	1,690,166	47.2%	46.2%
Comm. Development	88,931	628,000	566,728	61,272	1,256,000	45.1%	45.9%
Engineering	46,014	329,315	276,366	52,949	658,630	42.0%	34.6%
Street	236,726	1,397,447	1,548,079	(150,632)	2,794,894	55.4%	54.0%
Police	572,232	4,348,452	4,020,126	328,326	9,696,904	41.5%	41.0%
TOTAL GENERAL	1,467,247	9,627,247	9,819,870	(192,624)	24,704,246	39.7%	48.1%
54 SEWER							
Administration	34,996	283,580	355,803	(72,224)	567,159	62.7%	57.4%
Cleaning & Maint.	39,101	151,250	151,214	36	302,500	50.0%	44.9%
Construction	35,117	186,600	184,696	1,904	373,200	49.5%	37.0%
Treatment Plant	122,627	824,593	733,978	90,615	1,649,186	44.5%	44.2%
TOTAL SEWER	231,841	1,446,023	1,425,691	20,332	2,892,045	49.3%	46.0%
50 WATER							
Administration	38,602	313,444	369,763	(56,319)	626,888	59.0%	53.3%
Main & Hydrant Maint.	58,053	296,350	311,927	(15,577)	592,700	52.6%	57.4%
Distribution	196,249	1,379,850	1,089,603	290,247	2,759,700	39.5%	43.6%
Meter Maintenance	10,274	70,950	79,053	(8,103)	141,900	55.7%	37.2%
TOTAL WATER	303,178	2,060,594	1,850,346	210,248	4,121,188	44.9%	45.5%
70 GARAGE	23,621	204,317	168,246	36,071	408,634	41.2%	43.0%
TOTAL PUBLIC WORKS	795,366	5,108,381	4,992,362	116,019	10,216,761	48.9%	47.7%
17 ENHANCED 9-1-1	16,687	228,944	102,655	126,289	457,887	22.4%	33.3%
58 REFUSE	106,738	739,099	660,888	78,211	1,478,198	44.7%	42.2%
60 PARKING LOT (village)	9,205	71,800	61,265	10,535	143,600	42.7%	36.9%
60 PARKING LOT (combined)	10,699	89,225	71,702	17,523	178,450	40.2%	34.5%
22 INFRAS. REPLACE.	214,037	6,877,816	1,762,569	5,115,247	13,755,632	12.8%	40.9%
14 MFT	0	247,000	0	247,000	494,000	0.0%	0.0%
80 POLICE PENSION	231,357	1,390,650	1,299,555	91,095	2,781,300	46.7%	47.1%
21 VEH/EQUIP REPLACE.	4,469	307,171	181,040	126,131	614,342	29.5%	35.5%
35 DEBT SERVICE	450	988,837	988,837	0	4,130,774	23.9%	25.0%

**Village of Deerfield**  
**Revenues vs Expenditures**  
**June 30, 2016**

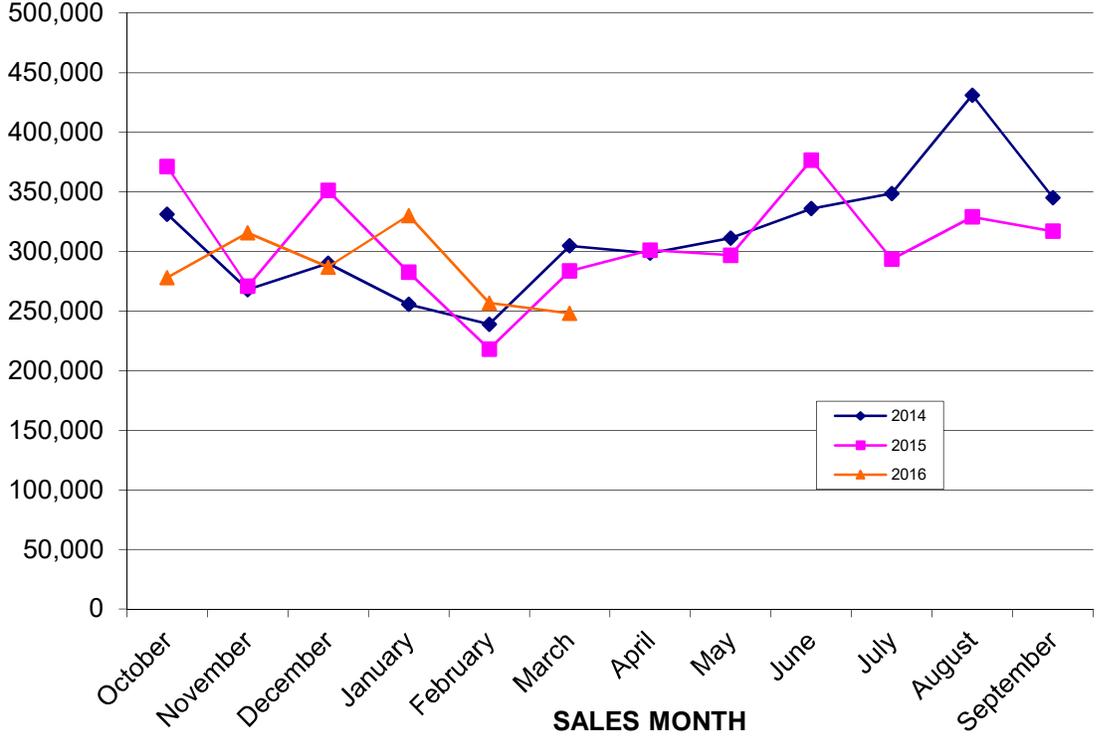
(Amounts x 1,000)

<b>FUND:</b>	<b>2016</b>		<b>2015</b>	
	<b>ACTUAL</b>	<b>PROJECTED</b>	<b>ACTUAL</b>	<b>ACTUAL</b>
	<b>Month</b>	<b>Y-T-D</b>	<b>Y-T-D</b>	<b>Y-T-D</b>
<b>10 GENERAL</b>				
Revenues:				
Property Taxes	1,493	1,780	1,780	0
St Income Tax	425	850	1,135	868
Sales Tax (non HR)	321	2,500	2,593	2,422
Electricity Tax	170	625	591	656
Telecomm Tax	159	625	1,001	643
HR Sales Tax	195	1,550	1,640	1,496
Hotel Tax	199	950	949	940
Interest Earnings	16	53	47	47
Fees & Fines	24	151	170	146
Vehicle Licenses	261	314	314	282
Building Permits	84	463	442	439
Other Rev	167	1,196	1,256	1,155
REVENUE	3,514	11,056	11,918	9,094
EXPENDITURES	1,467	9,627	9,820	10,342
Contribution to Fund Balance	2,047	1,429	2,098	
<b>54 SEWER</b>				
REVENUES	255	1,462	1,192	1,188
EXPENDITURES	232	1,446	1,426	1,301
Contribution to Fund Balance	23	16	(234)	
<b>50 WATER</b>				
REVENUES	274	2,187	1,578	1,597
EXPENDITURES	303	2,061	1,850	2,163
Contribution to Fund Balance	(29)	126	(272)	
<b>70 GARAGE</b>				
REVENUES	27	203	174	162
EXPENDITURES	24	204	168	193
Contribution to Fund Balance	3	(2)	6	
<b>22 REPLACEMENT (Infrastructure)</b>				
REVENUES	96	5,723	5,788	7,039
EXPENDITURES	214	6,878	1,763	4,875
Contribution to Fund Balance	(118)	(1,156)	4,025	
<b>14 MFT</b>				
REVENUES	42	214	240	222
EXPENDITURES	0	247	0	0
Contribution to Fund Balance	42	(34)	240	
<b>80 POLICE PENSION</b>				
REVENUES	391	798	2,121	610
EXPENDITURES	231	1,391	1,300	1,214
Contribution to Fund Balance	160	(594)	821	

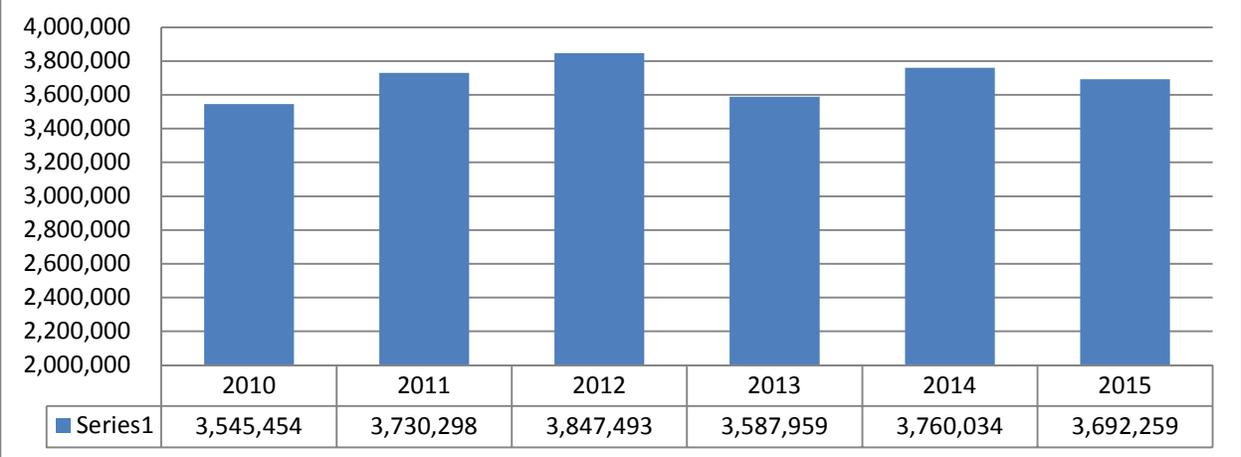
FUND:	ACTUAL Month	2016		2015	
		PROJECTED Y-T-D	ACTUAL Y-T-D	ACTUAL Y-T-D	ACTUAL Y-T-D
<b>58 REFUSE</b>					
REVENUES	44	266	264	750	
EXPENDITURES	107	739	661	633	
Contribution to Fund Balance	(63)	(473)	(397)		
<b>35 DEBT SERVICE</b>					
REVENUES	1,570	2,229	2,228	2,006	
EXPENDITURES	0	989	989	861	
Contribution to Fund Balance	1,570	1,240	1,239		
<b>60 PARKING</b>					
REVENUES	42	125	140	138	
EXPENDITURES	20	161	133	130	
Contribution to Fund Balance	22	(37)	7		
<b>17 ENHANCED 9-1-1</b>					
REVENUES	42	168	147	178	
EXPENDITURES	17	229	103	208	
Contribution to Fund Balance	25	(61)	44		
<b>21 VEH/EQUIP REPLACE</b>					
REVENUES	65	376	378	352	
EXPENDITURES	4	307	181	188	
Contribution to Fund Balance	61	69	197		



**SALES TAX RECEIPTS - REGULAR 1%  
CALENDAR YEAR BY RECEIPT MONTH**



**SALES TAX RECEIPTS NET OF REBATE- REGULAR 1%  
CALENDAR YEAR RECEIPT MONTH**



## REQUEST FOR BOARD ACTION

**Agenda Item:** 16-80

**Subject:** Report and Recommendation of the Plan Commission re: Request for a Resubdivision of the 826, 828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street Properties (Formerly 824 and 836 Chestnut Street) Into 9 Lots (Jacobs Venture II LLC)

**Action Requested:** Approval for Recommendation

**Originated by:** Plan Commission

**Referred to:** Mayor and Board of Trustees

### **Summary of Background and Reason for Request:**

The petitioner is requesting approval of a resubdivision of the property from 2 existing lots into 9 lots (1 lot for each townhome unit) and an outlot for the association common area for the Taylor Junction Planned Unit Development. This is an internal resubdivision only, and there will be no changes to the site plan.

### **Reports and Documents Attached:**

Recommendation  
Public Hearing Minutes 7/14/16  
Workshop Minutes 7/14/16  
Zoning Map  
Aerial Photo  
Petitioner's Exhibits

**Date Referred to Board:** August 1, 2016

**Action Taken:** \_\_\_\_\_

## **RECOMMENDATION**

TO: Mayor and Board of Trustees

FROM: Plan Commission

DATE: July 14, 2016

RE: Request for a resubdivision of the property at: 826,828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street (formerly known as 824 and 836 Chestnut Street) from the existing two lots into lots for each townhome and a common area, and approval of a preliminary and final plat of resubdivision.

We transmit for your consideration a recommendation adopted by the Plan Commission of the Village of Deerfield on the request of the petitioners for a resubdivision of the subject property. The Plan Commission held a public hearing on July 14, 2016. At that public hearing, the petitioners presented testimony and documentary evidence in support of the request. A copy of the public hearing and workshop minutes are attached.

In support of its request, the Plan Commission makes the following findings of fact and conclusions:

### **FINDINGS OF FACT**

#### **Subject Property**

The subject properties consist of the Taylor Junction townhome development that is currently under construction. The townhome units have been addressed as: 826,828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street (formerly known as 824 and 836 Chestnut Street). The properties are zoned R-5 General Residence District (multiple-family).

#### **Surrounding Land Use and Zoning**

To the north of the subject property is zoned R-4. South of the property is zoned R-5 (Chestnut Station Townhomes). West of the subject property is R-3 Single Family District. To the east of the subject property (across Chestnut Street) is P-1 Public Lands District (Deerfield train station.)

#### **Proposed Plan**

The petitioner is requesting approval of a resubdivision of the property from 2 existing lots into 9 lots (1 lot for each townhome unit) and an outlot for the association common area. The proposed resubdivision of the property into 9 lots (one lot for each of the townhomes) will reflect the different ownership of the units within the planned unit development. The proposed resubdivision to allow each of the townhomes on its own lot will not change the

previously approved final site plan for this residential planned unit development as the buildings will remain in the same location as previously approved.

### **Zoning Conformance**

The petitioners can resubdivide property in a planned unit development as allowed by Article 12.01-B,3 which if for the subdivision of property within a planned unit development (PUD). The proposed resubdivision does not create any new site plan approvals for the property owners. The petitioners are requesting approval of a preliminary and final plat of resubdivision.

### **CONCLUSIONS**

The Plan Commission believes the petitioner's request to resubdivide the property is appropriate and believes the petitioner's request should be granted. The proposed resubdivision will divide the property into a lot for each townhome and a common area. No physical changes will be made to the property as part of the proposed resubdivision. The existing site plan for the Taylor Junction - buildings, access points, landscaping – will not change as a result of the proposed resubdivision. The Plan Commission believes it is appropriate to grant the preliminary and final plat of resubdivision of the property in one step.

### **RECOMMENDATION**

Accordingly, it is the recommendation of the Plan Commission that the petitioner's request to resubdivide the property into a lot for each of the units and an outlot for the common area, and for preliminary and final plat of resubdivision of the subject property, be approved.

Ayes: (6) Benton, Berg, Bromberg, Shayman, Moyer, Oppenheim

Nays: (0) None

Respectfully submitted,  
Mary Oppenheim, Chairperson  
Deerfield Plan Commission

oriented development although Montgomery County has done more to cultivate transit-oriented development.

Mr. Marwick commented that a transit-oriented development plan is needed to spur an upgrade to the Milwaukee District North Line, as it is very difficult to move forward with spending the money to electrify and increase train service, extend Metra Services into Milwaukee and increase Amtrak frequency without more density along the route. Mr. Marwick commented that one advantage that the Lake Cook Metra Station has over the Glenview Metra Station is its location. The Lake Cook Metra Station is located near both the Edens Expressway and the Tollway, so it is easily accessible, whereas it is very difficult to commute to the Glenview Metra Station from the Edens and the Tollway. Mr. Marwick suggested that the Village Center Commission look to the Lake Cook Transit-Oriented Development Commission, in order to come up with a Lake Cook Road Sector Plan. The area that he believes this would encompass is Kates and Pfingsten Road to the west, Waukegan Road to the east and the tollway to the south. Mr. Marwick suggest a Lake Cook Road Sector plan would call for this area to be rezoned and allowed to have more residential development. He sees this area as having tremendous potential for redevelopment.

- (1) Request for a Special Use for a Self-Improvement Facility for Shredd415 Deerfield LLC at 636 Deerfield Road

The petitioner has requested that the Special Use for Shredd415 is be continued to the September 8<sup>th</sup>, 2016 Public Hearing Meeting because the Petitioner is not ready to proceed at this time.

- (2) Request for a Resubdivision of the 826, 828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street Properties (Formerly 824 and 836 Chestnut Street) Into 9 Lots; 1 Lot for Each Townhome Unit and an Outlot for the Association's Common Elements (Jacobs Venture II LLC)

Cal Bernstein, Samuels & Bernstein, Attorneys at Law, representing Jacobs Venture II LLC, commented that a year ago the Taylor Junction Townhouse Planned Unit Development was approved and is currently under construction. The petitioners are requesting a favorable recommendation from the Plan Commission's for the resubdivision of the properties (originally discussed during the PUD process), in order to create the actual lots for each townhome and the common area. Mr. Bernstein assured the Commissioners that the petitioner's request is consistent with the Village's previous approval of the Taylor Junction PUD. Chairperson Oppenheim asked for confirmation that none of the configurations for the Chestnut Street Properties have changed and that the buildings are exactly as were approved in regards to the layouts, sizes, square footage, common areas, etc., and that the petitioner is basically asking to subdivide the property into individual owned properties for each townhome unit. Mr. Bernstein confirmed, and commented that the petitioners were asking to first consolidate the lots, because right now the property is divided into two lots of record (in which one of the lots

was rezoned during the PUD process), and then to divide the consolidated lot into nine individual lots and an outlot for the common areas.

The Commissioners did not have any issues with the requested resubdivision. Chairperson Oppenheim asked if there have been any issues with the neighbors during the construction process. Mr. Bernstein commented that there have not been any issues with the neighbors. Chairperson Oppenheim asked if there were prospective buyers interested in purchasing the properties. Mr. Bernstein confirmed that three of the townhomes are currently under contract, and there is a lot of interest in the property. As the project progresses and the construction site is cleaned up from the construction debris, the petitioners anticipate selling out pretty quickly. The first unit is supposed to close next month and construction is moving along.

There being no further business to discuss the meeting adjourned.

Respectfully Submitted,  
Mary Glowacz

PLAN COMMISSION  
VILLAGE OF DEERFIELD

The Plan Commission of the Village of Deerfield held a Workshop Meeting at 7:30 P.M. on July 14, 2016 at the Village Hall, 850 Waukegan Road, Deerfield, Illinois.

Present were: Mary Oppenheim, Chairperson  
Bob Benton  
Larry Berg  
Al Bromberg  
Jim Moyer  
Stuart Shayman

Absent were: Elaine Jacoby

Also present: Dan Nakahara, Associate Planner

(2a) Discussion of the Resubdivision of Chestnut Street properties

The Plan Commission did not have any issues with the request for the resubdivision of the Taylor Junction Townhome Planned Unit Development. Commissioner Bromberg motioned to approve the request for a Resubdivision of the 826, 828, 830, 832, 834, 838, 840, 842, and 844 Chestnut Street Properties (formerly 824 and 836 Chestnut Street) Into 9 Lots; 1 Lot for Each Townhome Unit and an Outlot for the Association's Common Elements. Commissioner Berg seconded the motion. The vote was as follows:

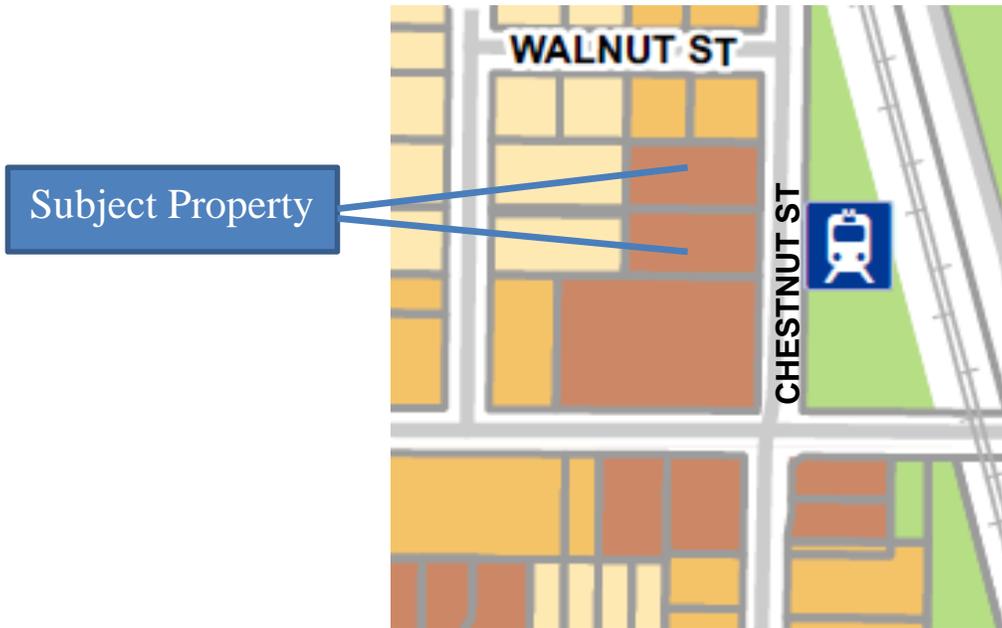
Ayes: (6) Benton, Berg, Bromberg, Moyer, Shayman, Oppenheim  
Nays: (0) None

The motions passed and will be on the August 1<sup>st</sup> Village Board of Trustees Meeting agenda.

There being no further business to discuss the meeting adjourned.

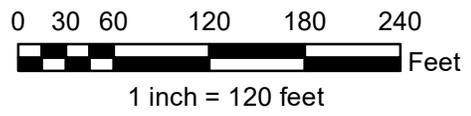
Respectfully Submitted,  
Mary Glowacz

# Village of Deerfield 2016 Zoning Ordinance Map



	<b>R-1</b>	SINGLE FAMILY DISTRICT ONE FAMILY DWELLINGS AND ACCESSORY USES
	<b>R-2</b>	SINGLE FAMILY DISTRICT SAME AS R1
	<b>R-3</b>	SINGLE FAMILY DISTRICT SAME AS R1
	<b>R-4</b>	SINGLE & TWO FAMILY ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	<b>R-5</b>	GENERAL RESIDENCE ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	<b>C-1</b>	VILLAGE CENTER
	<b>C-2</b>	OUTLYING COMMERCIAL
	<b>C-3</b>	LIMITED COMMERCIAL OFFICE
	<b>I-1</b>	OFFICE, RESEARCH, RESTRICTED INDUSTRY
	<b>I-2</b>	LIMITED INDUSTRIAL
	<b>P-1</b>	PUBLIC LANDS SCHOOLS, PARKS, PUBLIC BUILDINGS & CEMETERIES

# Taylor Junction



# **TAYLOR JUNCTION TOWNHOMES**

[www.thejacobscompanies.net](http://www.thejacobscompanies.net)

*Applicant:* Jacobs Venture II, LLC

700 Osterman Avenue

Deerfield, IL 60015

847-945-6500 phone

847-945-6501 fax

*Contact: Keith Jacobs*

[keithj@thejacobscompanies.net](mailto:keithj@thejacobscompanies.net)

## **STATEMENT OF OBJECTIVES**

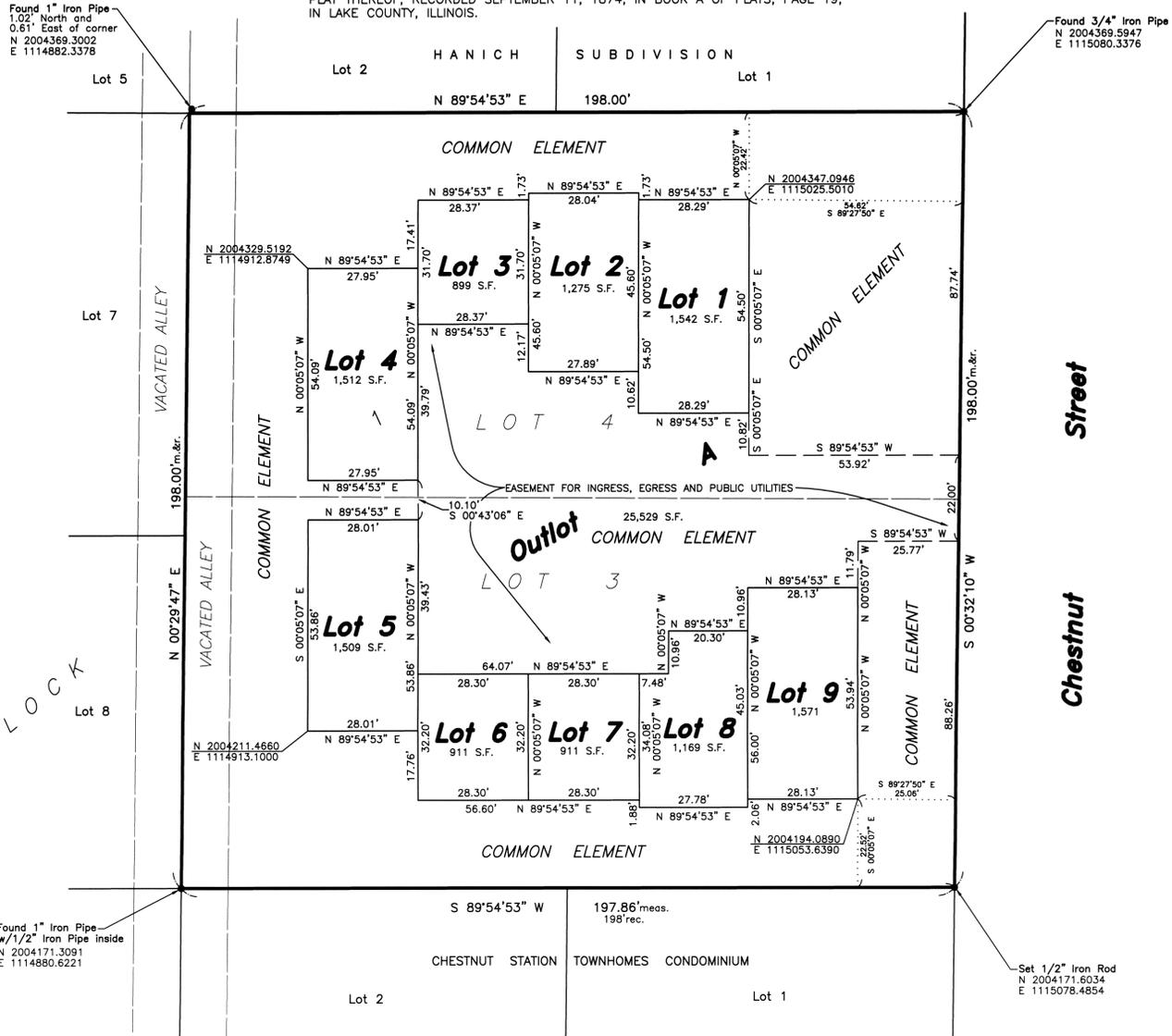
824 and 836 Chestnut, Deerfield, Illinois (the “Properties”) are located directly west of the Deerfield train station. The Village of Deerfield in its ordinance number O-15-16 approved a residential planned unit development, the rezoning of the property located at 836 Chestnut to the R-5 General Residence District, a zoning text amendment to allow a residential PUD of less than one acre and an amendment to the Village Comprehensive Plan. The applicant desires to consolidate the two lots into one and create 9 townhome lots for sale consistent with the prior approvals.

We respectfully request that you consider and recommend the resubdivision to the Village Board.

# FINAL PLAT OF TAYLOR JUNCTION BEING A RESUBDIVISION OF

THE PREMISES COMMONLY KNOWN AS:  
824 & 836 CHESTNUT STREET, DEERFIELD, IL 60015  
PARCEL AREA = 36,828 S.F.  
PIN: 16-29-423-009 (#824)  
PIN: 16-29-423-008 (#836)

LOT 3 IN BLOCK 1 IN TRUESDELL'S ADDITION TO DEERFIELD IN THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 11, 1874, IN BOOK "A" OF PLATS, PAGE 19, IN LAKE COUNTY, ILLINOIS.  
AND  
LOT FOUR (4) IN BLOCK ONE (1) IN TRUESDELL'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED SEPTEMBER 11, 1874, IN BOOK A OF PLATS, PAGE 19, IN LAKE COUNTY, ILLINOIS.



**\*\* OWNERS CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND THAT AS OWNERS HAVE CAUSED THE SAID PROPERTY TO BE SURVEYED, SUBDIVIDED, STAKED AND PLATTED AS SHOWN HEREON FOR THE PURPOSE OF HAVING THIS PLAT RECORDED AS PROVIDED BY LAW.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

BY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

**\*\* NOTARY CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THIS PLAT AS THEIR OWN FREE AND VOLUNTARY ACT, FOR THE USES AS PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, AT \_\_\_\_\_, ILLINOIS.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_

**\*\* SURVEYOR'S AUTHORIZATION TO RECORD \*\***  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, BRYAN J. LEE, A ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3616, DO HEREBY GRANT PERMISSION TO \_\_\_\_\_ TO RECORD THIS PLAT AND PROVIDE THIS SURVEYOR A RECORDED COPY OF THE SAME.  
DATED AT GRAYSLAKE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3616

IN ACCORDANCE WITH PUBLIC ACT 86-1238, THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY:

NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

**\*\* SURVEYORS CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

THIS IS TO CERTIFY THAT I, BRYAN J. LEE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 3 IN BLOCK 1 IN TRUESDELL'S ADDITION TO DEERFIELD IN THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 11, 1874, IN BOOK "A" OF PLATS, PAGE 19, IN LAKE COUNTY, ILLINOIS.  
AND  
LOT FOUR (4) IN BLOCK ONE (1) IN TRUESDELL'S ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED SEPTEMBER 11, 1874, IN BOOK A OF PLATS, PAGE 19, IN LAKE COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER GRANT PERMISSION TO \_\_\_\_\_, TO RECORD THIS PLAT AND PROVIDE THIS SURVEYOR A RECORDED COPY OF SAME.

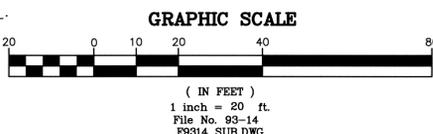
I FURTHER CERTIFY THAT THE PROPERTY AS DESCRIBED ON THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF DEERFIELD, LAKE COUNTY, ILLINOIS.

BASED UPON EXAMINATION OF THE F.E.M.A. MAPS, IT HAS BEEN DETERMINED THAT NONE OF THE PROPERTY SHOWN HEREON IS SUBJECT TO FLOOD RISK (THE PROPERTY FALLS WITHIN A ZONE "X") AS PORTRAYED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. \_\_\_\_\_, EFFECTIVE DATE: \_\_\_\_\_.

I FURTHER CERTIFY THAT MONUMENTATION HAS BEEN PLACED AT ALL LOT CORNERS.

DATED IN GRAYSLAKE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616  
MY LICENSE EXPIRES 11-30-16  
PROFESSIONAL DESIGN FIRM NO. 184-002732



**\*\* COUNTY CLERK CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, WILLARD R. HELANDER, COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, UNPAID CURRENT GENERAL TAXES, DELINQUENT SPECIAL ASSESSMENTS OR UNPAID CURRENT SPECIAL ASSESSMENTS AGAINST ANY OF THE LAND INCLUDED IN THE DESCRIBED PROPERTY. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF LAKE COUNTY, ILLINOIS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

LAKE COUNTY CLERK \_\_\_\_\_

**\*\* PLAN COMMISSION CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF DEERFIELD, LAKE COUNTY, ILLINOIS, AT A MEETING, HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

SIGNED: \_\_\_\_\_ CHAIRMAN

ATTEST: \_\_\_\_\_ SECRETARY

**\*\* VILLAGE COUNCIL CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

APPROVED BY THE MAYOR AND THE VILLAGE COUNCIL OF THE VILLAGE OF DEERFIELD, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

ATTEST: \_\_\_\_\_ VILLAGE CLERK BY: \_\_\_\_\_ MAYOR

**\*\* VILLAGE CLERK CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, VILLAGE CLERK FOR THE VILLAGE OF DEERFIELD, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND IN THE ANNEXED PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

VILLAGE CLERK  
VILLAGE OF DEERFIELD

**\*\* VILLAGE COLLECTOR CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, VILLAGE COLLECTOR FOR THE VILLAGE OF DEERFIELD, FIND NO DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS AGAINST ANY OF THE PROPERTY INCLUDED IN THIS PLAT OF CONSOLIDATION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

VILLAGE COLLECTOR  
VILLAGE OF DEERFIELD

**\*\* VILLAGE ENGINEER CERTIFICATE \*\***

STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_, ENGINEER OF THE VILLAGE OF DEERFIELD, DO HEREBY APPROVE THIS PLAT WHICH MEETS THE MINIMUM REQUIREMENTS OF THE SAID VILLAGE.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

VILLAGE ENGINEER \_\_\_\_\_

NO.	DATE	DESCRIPTION	BY
1	06-14-16	ORIGINAL ISSUE	

FIELDWORK COMPLETED: \_\_\_\_\_  
CLIENT NAME: Pearson, Brown and Associates, Inc.  
ADDRESS: 1850 W. Winchester Road, Suite 205  
Libertyville, IL 60048

NOTES:  
PLAT IS VOID if the Impressed Surveyors Seal does not appear.  
Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Documents are shown hereon: check local ordinances before building.  
Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

**R.E. ALLEN AND ASSOCIATES, LTD.**  
PROFESSIONAL LAND SURVEYORS  
1015 N. CORPORATE CIRCLE, SUITE C  
GRAYSLAKE, ILLINOIS 60030  
PHONE: 847-223-0914 FAX: 847-223-0980

**REQUEST FOR BOARD ACTION**

16-85

**Agenda Item:** \_\_\_\_\_

**Subject** Report of Staff re: Increasing the Number of Authorized Class E Liquor Licenses from  
\_\_\_\_\_  
13 to 14 for DAO Sushi  
\_\_\_\_\_

**Action Requested:** Acceptance of Report  
\_\_\_\_\_  
Petitioner

**Originated By:** \_\_\_\_\_  
Mayor and Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

DAO Sushi has requested a full-service restaurant liquor license to operate a sushi restaurant at 730 Waukegan Road at Deerfield Square in the former Wild Fish location. The Police Department has performed a background check.

DAO Vice President Xue Bin Zhang will be present to answer questions from the Board.

**Reports and Documents Attached:**

Letter from Police Chief Sliozis  
Ordinance

**Date Referred to Board:** August 1, 2016  
\_\_\_\_\_

**Action Taken:** \_\_\_\_\_



# DEERFIELD POLICE DEPARTMENT



DATE: July 27, 2016  
TO: Kent Street, Village Manager  
FROM: Chief John Sliozis  
CC: Andrew Lichterman, Deputy Chief Tom Keane  
SUBJECT: Liquor License Applicant Dao Group, Inc. DBA Dao

Staff has completed the background investigation for liquor license applicant Dao Group, Inc., doing business as Dao, at 730 Waukegan Road, Deerfield, Illinois. Nothing was found that would preclude Dao Group, Inc. from holding a liquor license and conducting business in the Village of Deerfield.

On July 27, 2016 Department staff met with Vice President Xue Bin Zhang to review the application and expectations of the Village. If any information is revealed to change the status you will be notified immediately.

A complete copy of the report is available for review upon request.

  
John J. Sliozis  
Chief of Police

JJS/vm

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. O-16**

**AN ORDINANCE AMENDING CHAPTER 3 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF DEERFIELD OF 1975 TO  
INCREASE THE NUMBER OF AUTHORIZED CLASS E LIQUOR LICENSES  
FROM THIRTEEN (13) TO FOURTEEN (14)**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. O-16-**

**AN ORDINANCE AMENDING CHAPTER 3 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF DEERFIELD OF 1975 TO  
INCREASE THE NUMBER OF AUTHORIZED CLASS E LIQUOR LICENSES  
FROM THIRTEEN (13) TO FOURTEEN (14)**

---

BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF  
DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

**SECTION 1:** That Section 3-9 (Number of Licenses) of Chapter 3 (Alcoholic Beverages) of the Municipal Code of the Village of Deerfield of 1975, as amended, is hereby further amended by striking said Section in its entirety and substituting in lieu thereof the following:

Sec. 3-9. Number of Licenses.

There shall be issued in the Village no more than:

(a)	Class A	Three (3)
(b)	Class B	One (1)
(c)	Class BB	One (1)
(d)	Class C	Six (6)
(e)	Class D	Two (2)
(f)	Class D-1	Zero (0)
(g)	Class D-2	Zero (0)
(h)	Class E	Fourteen (14)
(i)	Class F	Zero (0)
(j)	Class G	Four (4)
(k)	Class H	None (0)
(l)	Class I	Two (2)
(m)	Class J	Zero (0)
(n)	Class K	One (1)
(o)	Class L	Zero (0)
(p)	Class M	Three (3)
(q)	Class N	One (1)
(r)	Class O	One (1)

**SECTION 2:** That the Village Clerk is hereby directed to publish this Ordinance in pamphlet form.

**SECTION 3:** That all ordinances or parts of ordinances in conflict herewith are, to the extent of such conflict, hereby repealed.

**SECTION 4:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

**REQUEST FOR BOARD ACTION**

16-83

**Agenda Item:** \_\_\_\_\_

**Subject:** Report of Staff re: July 23 Severe Thunderstorm Response and Operation  
\_\_\_\_\_  
\_\_\_\_\_

**Action Requested:** Acceptance  
\_\_\_\_\_  
Village Manager's Office

**Originated By:** \_\_\_\_\_  
Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

On the evening of Saturday, July 23, the Village of Deerfield and the surrounding area was impacted by a severe thunderstorm that brought over 3.5 inches of rain in 1 hour, which equates to a 100-year rain storm. In a period of 24 hours the Village received a total of 5 inches of rain.

The rain caused several roads to flood, toppled trees and resulted in some loss of electrical service.

A summary of the Village's storm response is enclosed.

Staff will be available to answer questions at the August 1, Board meeting.

**Reports and Documents Attached:**

- Memorandum
- Map of Impacted Areas

August 1, 2016

**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_



## Memorandum

DATE: July 27, 2016  
TO: Mayor and Board of Trustees  
CC: Kent Street, Village Manager  
FROM: Andrew Lichterman, Assistant Village Manager  
SUBJECT: **Report of Staff re: July 23 Severe Thunderstorm**

---

### **Introduction**

On the evening of Saturday, July 23, the Village of Deerfield and the surrounding area was impacted by a severe thunderstorm that brought over 3.5 inches of rain in 1 hour, which equates to a 100-year rain storm. In a period of 24 hours the Village received a total of 5 inches of rain.

The rain caused several roads to flood, toppled trees and resulted in some loss of electrical service.

### **Storm Response and Operation**

#### *Public Works & Engineering*

On Saturday evening a total of 14 Public Works personnel reported for duty as soon as the rain began to fall in the Village. Personnel worked into the early morning hours of Sunday clearing debris, closing and reopening flooded roadways, monitoring creek levels, and ensuring that all of the Village's infrastructure was operating as designed, including the Village's wastewater plant and satellite storm and wastewater facilities. All roads in the Village were passable by 11 pm.

The lagoons at the wastewater plant were filled to keep up with the pace of the storm water entering the facility, which peaked at a rate of over 28 MGD. The reservoirs serving the Village operated as designed, as they held millions of gallons of water in storage as the creek levels began to rise. By late Sunday morning creek levels began to fall and return to normal. Four additional Public Works personnel returned to work on Sunday to finish cleaning storm debris and assess damage. Reservoirs are now being pumped down to provide capacity for future storms.

While the Village's infrastructure was certainly forced to operate at capacity, no blockages, obstructions or breakages were found. Over the past week, and for many more weeks to come, the Village's engineering division will continue to make site visits to flooded locations, including private property locations, to assess grading, overland flow routes, and other natural flooding mitigation designs in an effort to offer solutions.

#### *Police*

On Saturday evening dispatch responded to 102 calls for service. Numerous calls were received related to flooding and the Police worked closely with Public Works to respond to all service call locations, mostly in the northeast and northwest quadrants of the Village. Police Officers helped several people out of stranded/flooded cars and ensured that everyone made it home safely.

#### *Electrical Service*

Staff maintained constant communication with ComEd representatives throughout the weekend to ensure that electrical service was restored to all residents and businesses. More than 500 residents or businesses lost power due to the storm. 435 residents had their power restored by midnight and the remaining residents and businesses had power restored by Sunday afternoon. ComEd's restoration time was slowed

due to damage to their distribution system caused by fallen trees. The Deerfield Village Centre Apartments, Lake Eleanor neighborhood and the intersection of Rosewood and Birchwood Avenues were the areas most impacted by the loss of electrical service.

### **Conclusion**

The Village was impacted by a severe thunderstorm that brought an overbearing amount of rain in a very short period of time. Village infrastructure is not designed for these type of extreme rain events. The Village's engineering department will continue to make site visits to areas that were impacted by the storm. Additional outside engineering studies may be needed to fully analyze and offer solutions to the impacted areas. A map is enclosed with this report illustrating the areas most impacted by the storm.

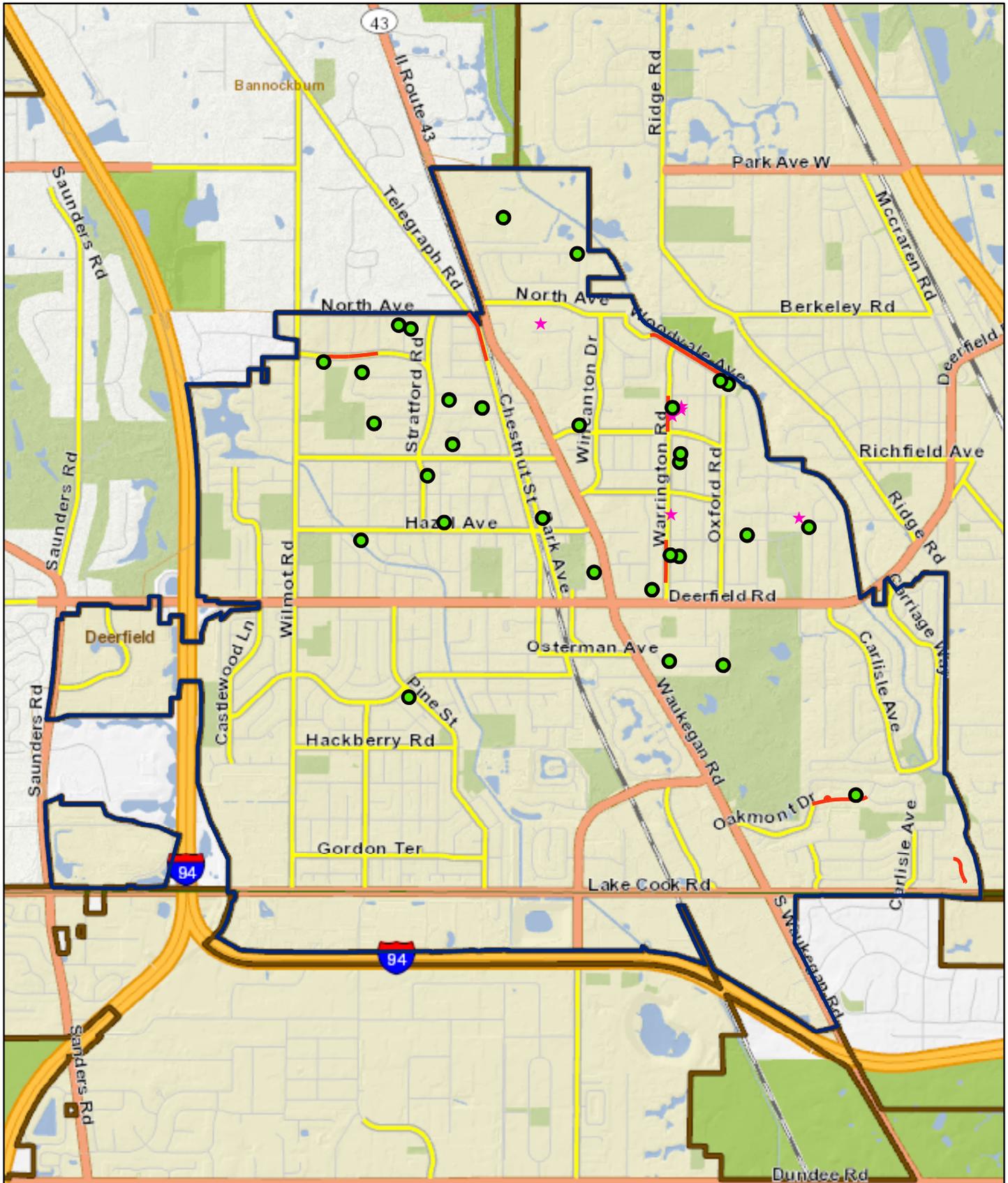
Continuation of efforts to reduce inflow and infiltration (I/I) need to be pursued. Next week, the Village's engineering consultant, RJN Group, is scheduled to mail out notification letters to residents in the southwest quadrant advising homeowners of exterior sources of I/I (e.g. downspouts, window wells, clean out caps).

Residents are reminded to sign-up for ComEd mobile alerts, ensure that their emergency contact information is up-to-date with the Village's emergency notification system, and call police non-emergency after regular business hours, or 9-1-1 in the event of an emergency.

Assistant Village Manager Lichterman, Public Works & Engineering Director Little and Police Chief Sliozis will be present at the August 1 Board meeting to summarize the report and answer questions.



# July 23, 2016 Storm Event Impact



- ★ After Storm Eng. Residential Drainage Inspections
- Police Department Calls
- Road Closure
- ▭ Village of Deerfield Limits



**REQUEST FOR BOARD ACTION**

16-84

**Agenda Item:** \_\_\_\_\_

**Subject:** Report and Recommendation of Staff re: Annexing Certain Territory Excluded  
\_\_\_\_\_  
From the Village of Riverwoods  
\_\_\_\_\_

**Action Requested:** Acceptance  
\_\_\_\_\_  
Village Manager's Office

**Originated By:** \_\_\_\_\_  
Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

In keeping with the 2013 site plan approval for the Woodview Apartments, staff recommends proceeding with the boundary change that was agreed to as part of the Special Use Ordinance and Annexation Agreement. The boundary change involves excluding part of Deerfield Road and the Deer Run Drive property south of Deerfield Road (see attached map) from Riverwoods and annexing that property to Deerfield. As a result, this would bring the intersection of Parkway North Boulevard and Deerfield Road into the jurisdiction of the Village of Deerfield.

Per the Woodview Annexation Agreement, Woodview is responsible for maintenance of Deer Run Drive and providing vehicular access to the adjacent residences.

**Reports and Documents Attached:**

- Draft Ordinance
- Exhibit/Map

**Date Referred to Board:** August 1, 2016  
\_\_\_\_\_

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
EXCLUDED FROM THE VILLAGE OF RIVERWOODS**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this**

**\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
EXCLUDED FROM THE VILLAGE OF RIVERWOODS**

---

**WHEREAS**, the property hereinafter legally described is unoccupied territory lying along the boundary line between two adjoining municipalities, to wit, the Village of Riverwoods and the Village of Deerfield; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Riverwoods have determined that the best interests of the Village of Riverwoods would be served by excluding said territory from the Village of Riverwoods, and providing for the annexation of said territory to the Village of Deerfield; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Deerfield have determined that the best interests of the Village of Deerfield would be served by annexing said excluded territory to the Village of Deerfield;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the territory hereinafter described, upon exclusion from the Village of Riverwoods, be and the same is hereby annexed to the Village of Deerfield:

## Legal Description of Annexed Territory

That part of the Southwest Quarter of Section 30 and the Northwest Quarter of Section 31, all in Township 43 North, Range 12 East of the Third Principal Meridian, taken as a tract and described as follows:

Beginning at the Northeast corner of the Northwest Quarter of said Section 31 (also being the Southeast corner of the Southwest Quarter of said Section 30); thence South 00 degrees 31 minutes 45 seconds West on an assumed bearing along the East line of the Northwest Quarter of said Section 31, 110.00 feet to the South line of the Illinois State Tollway acquisition Parcel T11A-63.1 also being the South line of Deerfield Road; thence North 89 degrees 51 minutes 52 seconds West along said last described line and the North line of Lot 1 in Ten Parkway North Resubdivision, recorded January 11, 1999 as Document No. 4272642 a distance of 672.20 feet to the East line of Outlot A in said Ten Parkway North Resubdivision; (the following three (3) calls being along lines common with said Outlot A and the Deerfield Road right of way) thence North 00 degrees 31 minutes 45 seconds East, 15.35 feet; thence North 55 degrees 11 minutes 10 seconds West, 78.47 feet; thence North 89 degrees 51 minutes 52 seconds West, 68.74 feet to a point of intersection with a line drawn perpendicular to the Northeast corner of Lot 1 in Parkway North Center Resubdivision No. 4 recorded April 25, 2013 as Document No. 6985836; thence North 00 degrees 08 minutes 08 seconds East 100.00 feet perpendicular to the North line of the Deerfield Road right of way and the Southerly line of said Block 1 Riverwoods Country Club Estates Subdivision, recorded November 3, 1961 as Document No. 1128512; (the following two (2) calls being along said last described lines); thence South 89 degrees 51 minutes 52 seconds East, 334.67 feet; thence North 85 degrees 17 minutes 43 seconds East, 474.03 feet to the East line of the Southwest Quarter of said Section 30; thence South 00 degrees 41 minutes 26 seconds West along said last described line, 90.00 feet to the point of beginning in Lake County, Illinois.

**SECTION 2:** Upon the adoption of this ordinance and the ordinance of the Village of Riverwoods excluding said territory, the Village Clerk is hereby authorized and directed to file an accurate map of the annexed territory described in Section 1 of this Ordinance, together with a certified copy of this Ordinance, with the Recorder of Deeds of Lake County, Illinois.

**SECTION 3:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

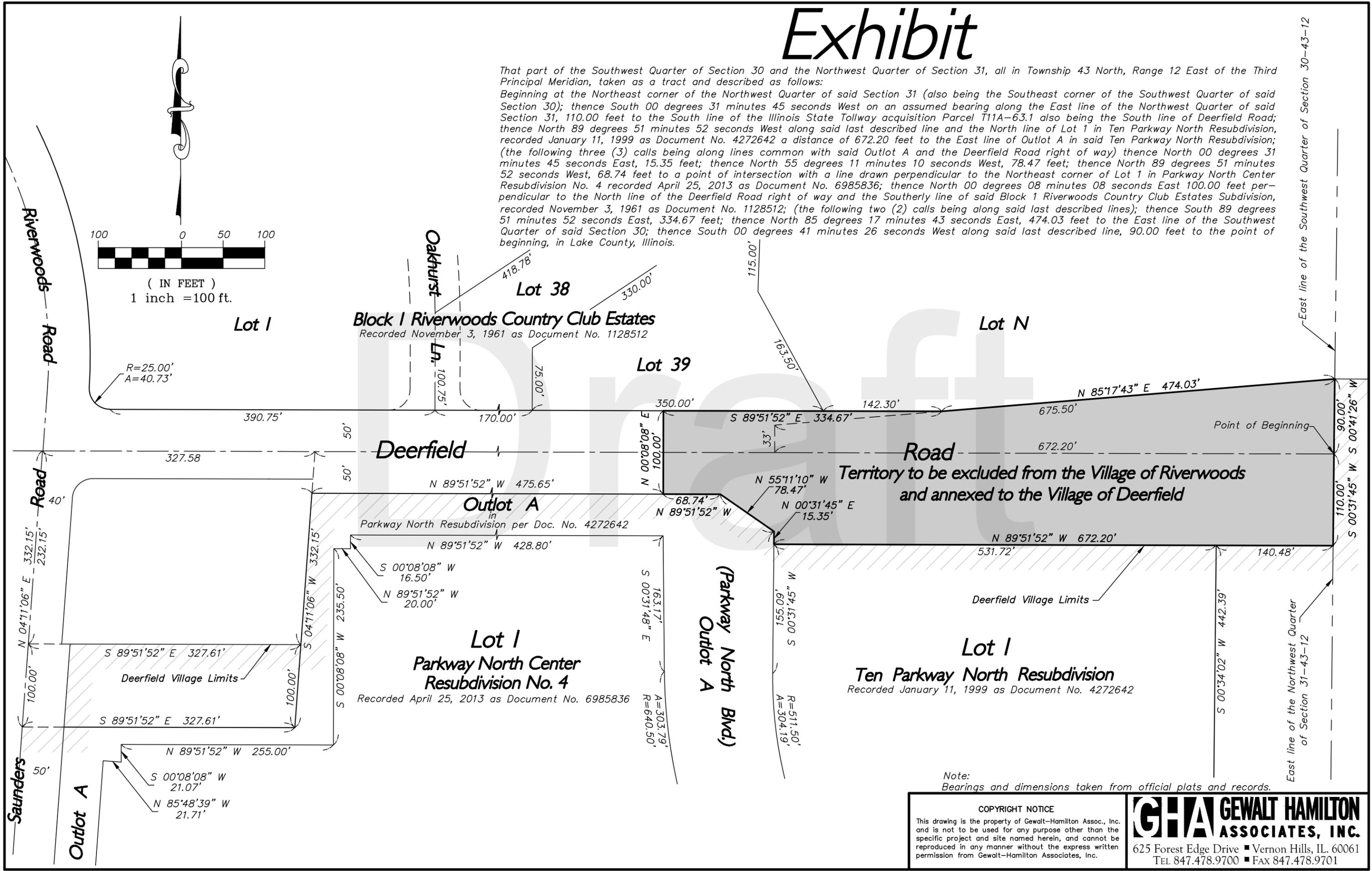
Draft

# Exhibit

That part of the Southwest Quarter of Section 30 and the Northwest Quarter of Section 31, all in Township 43 North, Range 12 East of the Third Principal Meridian, taken as a tract and described as follows:

Beginning at the Northeast corner of the Northwest Quarter of said Section 31 (also being the Southeast corner of the Southwest Quarter of said Section 30); thence South 00 degrees 31 minutes 45 seconds West on an assumed bearing along the East line of the Northwest Quarter of said Section 31, 110.00 feet to the South line of the Illinois State Tollway acquisition Parcel T11A-63.1 also being the South line of Deerfield Road; thence North 89 degrees 51 minutes 52 seconds West along said last described line and the North line of Lot 1 in Ten Parkway North Resubdivision, recorded January 11, 1999 as Document No. 4272642 a distance of 672.20 feet to the East line of Outlot A in said Ten Parkway North Resubdivision; (the following three (3) calls being along lines common with said Outlot A and the Deerfield Road right of way) thence North 00 degrees 31 minutes 45 seconds East, 15.35 feet; thence North 55 degrees 11 minutes 10 seconds West, 78.47 feet; thence North 89 degrees 51 minutes 52 seconds West, 68.74 feet to a point of intersection with a line drawn perpendicular to the Northeast corner of Lot 1 in Parkway North Center Resubdivision No. 4 recorded April 25, 2013 as Document No. 6985836; thence North 00 degrees 08 minutes 08 seconds East 100.00 feet perpendicular to the North line of the Deerfield Road right of way and the Southerly line of said Block 1 Riverwoods Country Club Estates Subdivision, recorded November 3, 1961 as Document No. 1128512; (the following two (2) calls being along said last described lines); thence South 89 degrees 51 minutes 52 seconds East, 334.67 feet; thence North 85 degrees 17 minutes 43 seconds East, 474.03 feet to the East line of the Southwest Quarter of said Section 30; thence South 00 degrees 41 minutes 26 seconds West along said last described line, 90.00 feet to the point of beginning, in Lake County, Illinois.

( IN FEET )  
1 inch = 100 ft.



Note:  
Bearings and dimensions taken from official plats and records.

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**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

East line of the Southwest Quarter of Section 30-43-12

East line of the Northwest Quarter of Section 31-43-12

**REQUEST FOR BOARD ACTION**

16-81

**Agenda Item:** \_\_\_\_\_

**Subject:** Resolution Approving an Intergovernmental Boundary Change and Revenue Sharing

\_\_\_\_\_  
Agreement Between the Village of Deerfield and the Village of Riverwoods

\_\_\_\_\_  
Acceptance

**Action Requested:** \_\_\_\_\_  
Village Manager's Office

**Originated By:** \_\_\_\_\_  
Village Board of Trustees

**Referred To:** \_\_\_\_\_

**Summary of Background and Reason for Request**

On June 6, 2016, the Village Board discussed the merits of a possible de-annexation of 780 Saunders to the Village of Riverwoods and directed staff to proceed with preparing an Intergovernmental Agreement and revenue sharing agreement between the two municipalities. The terms of the revenue sharing agreement include:

- Riverwoods paying Deerfield 50% of municipal property tax revenues levied against the Subject Property commencing with the 2017 tax year and payment obligation continuing until January 31, 2029.
- Riverwoods paying Deerfield 50% non-Home Rule and Home-Rule sales tax paid by the restaurant and by any other businesses located on the Subject Property, commencing on the first day of the first full month after the restaurant opens and continuing for 10 years.

Under these revenue sharing terms, staff estimates the potential revenue to the Village of Deerfield from the proposed restaurant development at this location to be approximately \$5,000 - 8,000 annually.

Deerfield and Riverwoods agree that development of the Subject Property by the Owner within Riverwoods shall be in substantial conformance with the Development Plan. The Owner proposes to develop the Subject Property with a 3,000 square foot restaurant with an outdoor dining deck area, off-street parking and circulation access through the adjacent property, located at 2175 Deerfield Road in the Village of Riverwoods, under a common and unified site plan.

Approval of the Intergovernmental Agreement also requires the Village of Deerfield and the Village of Riverwoods to enact their respective de-annexation and annexation ordinances of the Subject Property within 30 days after the Owner has entered into an agreement with Riverwoods. Owners will also be required to provide sales tax return information and authorization needed to verify the amount of sales tax revenue generated by developments at the site during the term of this agreement.

The Village of Riverwoods is considering approval of the Intergovernmental Agreement by ordinance. A First Reading has been held and approval of the ordinance is anticipated at their upcoming meeting.

Staff will be available to answer questions at the August 1, Board meeting.

**Reports and Documents Attached:**

Resolution  
Intergovernmental Agreement w/ Exhibits

August 1, 2016

**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING AN INTERGOVERNMENTAL  
BOUNDARY CHANGE AND REVENUE SHARING AGREEMENT BETWEEN  
THE VILLAGE OF DEEFIELD AND THE VILLAGE OF RIVERWOODS**

---

**WHEREAS**, the real property commonly known as 780 Saunders Road (the “Subject Property”) is within the corporate limits of the Village of Deerfield, is currently vacant and undeveloped, and is zoned for commercial development in the Village of Deerfield, including a special use for the operation of a restaurant; and,

**WHEREAS**, the owner of the Subject Property also owns the adjacent real property commonly known as 2175 Deerfield Road (the “Adjacent Property”) which is within the corporate limits of the Village of Riverwoods, is zoned for commercial development within the Village of Riverwoods and is currently developed with a former bank building; and

**WHEREAS**, the owner of the Subject Property has requested that the Village agree to deannex the Subject Property from the Village of Deerfield so that the Subject Property may be annexed to the Village of Riverwoods and developed with a proposed 3,000 square foot restaurant in accordance with Owner’s preliminary plan for development of the Subject Property and Adjacent Property (the “Development Plan”), which plan is an exhibit to the Intergovernmental Boundary Change and Revenue Sharing Agreement (the “Agreement”) between the Village of Deerfield and the Village of Riverwoods attached to this Resolution; and

**WHEREAS**, the Agreement has been negotiated by and between the Village of Deerfield and the Village of Riverwoods to provide for exclusion of the Subject Property from the corporate limits of the Village of Deerfield, the annexation of the Subject Property to the Village of Riverwoods, the development of the Subject Property in Riverwoods in substantial conformance to the Development Plan, and the sharing of tax revenues with Deerfield that Riverwoods will receive from the Subject Property over a term of years so as to equitably compensate Deerfield and its taxpayers for revenue that Deerfield would otherwise have received from commercial development of the Subject Property within the Village of Deerfield; and

**WHEREAS**, Riverwoods and Deerfield are authorized to enter into this Agreement pursuant to Article VII, Section 10 of the Illinois Constitution of 1970, the Illinois Intergovernmental Cooperation Act and their authority as home rule units of local government under the provisions of Article VII, Section 6 of the Illinois Constitution of 1970; and

**WHEREAS**, the corporate authorities of the Village of Deerfield have determined that it is in the public interest of Deerfield and its citizens to enter into the Intergovernmental Boundary Change and Revenue Sharing Agreement between the Village of Deerfield and the Village of Riverwoods which is attached to and made a part of this Resolution;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the President and Board of Trustees of the Village of Deerfield do hereby authorize and approve the Intergovernmental Boundary Change and Revenue Sharing Agreement (the “Agreement”) between the Village of Deerfield and the Village of Riverwoods, a copy of which is attached hereto and made a part of this Resolution.

**SECTION 2:** That the President and Village Clerk of the Village of Deerfield be and they are hereby authorized and directed to respectively execute and attest the Agreement in substantially the form attached hereto for and on behalf of the Village of Deerfield.

**SECTION 3:** That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

**INTERGOVERNMENTAL BOUNDARY CHANGE  
AND REVENUE SHARING AGREEMENT**

THIS INTERGOVERNMENTAL BOUNDARY CHANGE AND REVENUE SHARING AGREEMENT (“**Agreement**”) is made and entered into as of the latter of the signature dates below (the “**Effective Date**”) by and between the Village of Riverwoods, an Illinois home rule municipality (hereinafter referred to as “**Riverwoods**”), and the Village of Deerfield, an Illinois home rule municipality (hereinafter referred to as “**Deerfield**”) (Riverwoods and Deerfield are sometimes referred to herein individually as “**Party**” or collectively as “**Parties**”).

**RECITALS:**

A. The real property described on Exhibit A attached hereto and commonly known as 780 Saunders Road (the “**Subject Property**”) is within the corporate limits of the Village of Deerfield, and is located on the east side of Saunders Road approximately 150 feet south of the intersection of Saunders Road and Deerfield Road. The Subject Property is currently vacant and undeveloped, and is zoned for commercial development in the Village of Deerfield, including a special use for the operation of a restaurant.

B. The corporate boundaries of the Village of Riverwoods are immediately adjacent to and abutting the Subject Property.

C. The real property described on Exhibit B attached hereto and commonly known as 2175 Deerfield Road (the “**Adjacent Property**”) is within the corporate limits of the Village of Riverwoods, and is located east of an existing gas station property at the southeast corner of Saunders Road and Deerfield Road, is currently developed with a former bank building and is zoned for commercial development.

D. The Subject Property and the Adjacent Property are owned by Anil K. Abbott and Upasana R. Abbott (collectively, the “**Owner**”) and are adjacent to and abutting each other. Owner has submitted a plan to Riverwoods for the conversion of the bank building into a café with a drive-through lane.

E. Owner has requested that Deerfield agree to deannex the Subject Property from the Village of Deerfield, that Riverwoods agree to annex the Subject Property to the Village of Riverwoods immediately after it is deannexed from Deerfield, and that Riverwoods grant approval of Owner’s plan to develop the Subject Property with a proposed 3,000 square foot restaurant (the “**Restaurant**”) with an outdoor dining deck area, off-street parking and circulation access through the Adjacent Property under a common and unified site plan with the renovated building on the Adjacent Property, all in accordance with Owner’s preliminary plan for development of the Subject Property and Adjacent Property attached hereto as Exhibit C to this Agreement (the “**Development Plan**”).

E. The corporate authorities of Deerfield have determined that it is in the public interest of Deerfield and its citizens to deannex the Subject Property from the Village of

Deerfield and to permit the Subject Property to be annexed to the Village of Riverwoods and developed by Owner in Riverwoods in substantial conformance to the Development Plan, provided that Riverwoods agrees to the sharing of tax revenues to be received by Riverwoods as provided in this Agreement to equitably compensate Deerfield and its taxpayers for revenue that Deerfield will not receive from commercial development of the Subject Property within the Village of Deerfield.

F. The corporate authorities of Riverwoods have determined that it is in the public interest of Riverwoods and its citizens to annex the Subject Property, to approve development of the Subject Property in substantial conformance to the Development Plan, and to share tax revenues during the term of this Agreement with Deerfield that Riverwoods will receive from the Subject Property and that Riverwoods would not otherwise receive but for Deerfield's agreement to deannex the Subject Property as provided in this Agreement.

G. Riverwoods and Deerfield are authorized to enter into this Agreement pursuant to Article VII, Section 10 of the Illinois Constitution of 1970, the Illinois Intergovernmental Cooperation Act and their authority as home rule units of local government under the provisions of Article VII, Section 6 of the Illinois Constitution of 1970.

**NOW, THEREFORE**, in consideration of the mutual covenants, terms and agreements hereinafter set forth, the Village of Riverwoods and the Village of Deerfield hereby agree as follows:

**SECTION 1: Recitals.** The above and foregoing recitals, being true, correct and material to this agreement, are hereby incorporated and made a part of this Agreement with the same force and effect as if fully set forth herein as the Agreement of the Parties.

**SECTION 2: Incorporation of Subject Property into Riverwoods.**

(a) Deerfield agrees to enact an Ordinance substantially in the form attached hereto as Exhibit D pursuant to Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25) excluding the Subject Property from the Village of Deerfield.

(b) Riverwoods agrees to enact an Ordinance substantially in the form provided on Exhibit E attached hereto providing for the annexation of the Subject Property to the Village of Riverwoods pursuant to Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25).

(c) Riverwoods shall secure an accurate map of the Subject Property to be prepared for attachment to the ordinances referred to in Section 2(a) and 2(b).

(d) Riverwoods and Deerfield respectively agree to enact the Ordinances provided for in this Section 2(a) and 2(b) within 30 days after Owner has entered into an Agreement with Riverwoods providing that Owner will: (i) develop the Subject Property with the Restaurant in substantial conformance with the Development Plan, and (ii) agree to provide any sales tax return information or authorization needed to verify the amount of sales tax revenue generated by

the Restaurant or by any other commercial businesses now or hereafter located on the Subject Property during the term of this Agreement.

(e) Deerfield shall cause a certified copy of the ordinance excluding the Subject Property from the Village of Deerfield to be recorded in the office of the Lake County Recorder of Deeds, together with an accurate map of the Subject Property, within thirty (30) days after the enactment of the ordinance referred to in Section 2(a).

(f) Riverwoods shall cause a certified copy of the ordinance annexing the Subject Property to the Village of Riverwoods to be recorded in the office of the Lake County Recorder of Deeds, together with an accurate map of the Subject Property, immediately after the recording of the Deerfield ordinance and map referred to in Section 2(e).

### **SECTION 3: Revenue Sharing.**

(a) During the term of this Agreement Riverwoods shall annually pay to Deerfield 50% of property tax revenues Riverwoods actually receives from property taxes levied against the Subject Property, commencing with the 2017 tax year (property taxes levied for the 2017 tax year and collected within the 2018 calendar year). The annual payment by Riverwoods of property tax revenues for each tax year during the term of this Agreement shall be made on the first to occur of the following: (i) December 1 following the due date for the final installment of annual property taxes levied against the Subject Property for each tax year during the term of this Agreement, or (ii) sixty (60) days after the final installment of property taxes levied against the Subject Property has been paid.

(b) During the term of this Agreement Riverwoods shall make an annual payment to Deerfield equal to 50% of Riverwoods' receipts from non-Home Rule Municipal Retailers Occupation Tax and 50% of Riverwoods' receipts from Home Rule Municipal Retailers Occupation Tax paid by the Restaurant and by any other businesses located on the Subject Property ("**Sales Tax Revenue**"). This Sales Tax Revenue sharing obligation shall commence on the first day of the first full month after the Restaurant opens for business ("**Commencement Date**") and shall be based on Sales Tax Revenue received for the 12 calendar months ("**Sale Tax Year**") ending on the next anniversary of the Commencement Date, and shall continue in like fashion for a total of ten (10) Sales Tax Years. The annual Sales Tax Revenue sharing payment to Deerfield shall be made by Riverwoods within one hundred-twenty (120) days after the end of each Sales Tax Year.

(c) The annual payment of Sales Tax Revenue sharing to Deerfield shall include a written accounting from Riverwoods to Deerfield of Riverwoods Sales Tax Revenue received from the Subject Property for the Sales Tax Year.

(d) Deerfield and Riverwoods agree to keep Sales Tax Revenue information confidential to the extent required or permitted by law.

**SECTION 4: Development of Subject Property.** Deerfield and Riverwoods agree that development of the Subject Property by the Owner within Riverwoods shall be in substantial conformance with the Development Plan.

**SECTION 5: Default; Termination.**

(a) In the event Owner, including any successor owner of the Subject Property, fails to: (i) apply for and/or obtain all land use approvals required by Riverwoods as a prerequisite to proceed with development of the Subject Property in substantial conformance with the Development Plan on or before September 30, 2017; (ii) develop the Subject Property with a Restaurant in substantial conformance with the Development Plan; (iii) open the Restaurant for business on or before December 1, 2018; or (iv) provide Riverwoods with any sales tax return information or authorization needed from time to time to verify the amount of Sales Tax Revenue generated by the Restaurant or by any other commercial businesses now or hereafter located on the Subject Property during the term of this Agreement, Deerfield may, in its sole discretion, terminate this Agreement on sixty (60) days written notice to Riverwoods. In the event of such notice, Riverwoods agrees to adopt an ordinance excluding the Subject Property from the Village of Riverwoods pursuant to Section 7-1-25 of the Illinois Municipal Code, and Deerfield agrees to adopt an ordinance annexing the Subject Property to the Village of Deerfield pursuant to Section 7-1-25 of the Illinois Municipal Code, and this Agreement shall thereupon be null and void, provided however that the following provision shall survive termination of this Agreement: to the extent that the site circulation and parking plan is constructed on the Subject Property to support the café use on the Adjacent Property, Deerfield agrees to take no action to require any changes to the Subject Property nor issue any permits for work that would cause the alteration or removal of the shared site circulation and parking changes implemented in accordance with the Development Plan.

(b) Riverwoods shall not be deemed in breach of this Agreement if the Restaurant shall prove infeasible or shall cease to operate after construction, and if Owner or its successor shall propose amendments to the special use ordinance as provided by law and the general ordinances of Riverwoods related to land use, but Riverwoods agrees that its comprehensive plan map for the term of this Agreement will classify the Subject Property for business use and that without the consent of Deerfield, Riverwoods will not reclassify the Property to any zoning use other than as permitted in the B-1 Neighborhood Business District of Riverwoods.

**SECTION 6: Cooperation.** Riverwoods and Deerfield will cooperate together in the implementation of this Agreement and agree to take such other and further actions as may be reasonably necessary, useful or desirable from time to time to effectuate the boundary change provided for in this Agreement, the revenue sharing provided for in this Agreement, and the further boundary changes provided for in this Agreement in the event of a default by Owner. After expiration of this Agreement (provided Deerfield has not exercised its rights to effectuate further boundary changes in the event of a default by Owner), the Subject Property shall remain in the Village of Riverwoods, and all property tax revenues and Sales Tax Revenue received by the Village in respect of the Subject Property shall belong solely to Riverwoods.



**SECTION 12: Binding Effect.** This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective officers, agents, grantees, successors and assigns.

**SECTION 13: Entire Agreement.** This provisions set forth herein represent the entire agreement between the parties and supersede any previous oral or written agreements. No provision may be modified, revised or amended in any respect unless such modification, revision or amendment is in writing and signed by both parties.

**SECTION 14: Execution of Agreement.** The parties do hereby certify and warrant that this Agreement has been executed by their duly authorized officers and representatives.

**IN WITNESS WHEREOF,** the parties hereto have executed this Agreement by their duly authorized officers as of the dated dates set forth below.

**VILLAGE OF DEERFIELD:**

**VILLAGE OF RIVERWOODS:**

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
Mayor

Dated \_\_\_\_\_, 2016

Dated \_\_\_\_\_, 2016

Attest: \_\_\_\_\_  
Village Clerk

Attest: \_\_\_\_\_  
Village Clerk

**EXHIBIT A**

Legal Description of Subject Property

A PART OF THE NORTH WEST 1/4 OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF SANDERS ROAD (A/ K /A SAUNDERS ROAD) AND THE NORTH LINE OF SAID SECTION 31, SAID POINT BEING 1191.6 FEET EAST FROM THE NORTH WEST CORNER OF SAID SECTION; THENCE SOUTH ALONG THE CENTER LINE OF SANDERS ROAD (A/K/A SAUNDERS ROAD) 232.15 FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION, 327.58 FEET; THENCE SOUTH PARALLEL TO THE CENTER LINE OF SANDERS ROAD (A/K/A SAUNDERS ROAD), 100.00 FEET; THENCE 327.58 FEET TO SAID CENTER LINE; THENCE NORTH ALONG SAID CENTER LINE, 100.00 FEET TO THE TRUE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

Commonly known as 780 Saunders Road, Deerfield, Illinois.

**EXHIBIT B**

Legal Description of Adjacent Property

THAT PART OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF SANDERS ROAD AND THE NORTH LINE OF SAID NORTHWEST 1/4 OF SECTION 31, SAID POINT OF INTERSECTION BEING 1191.6 FEET EAST FROM THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 4 DEGREES 22 SECONDS WEST ALONG THE CENTER OF SANDERS ROAD, 232.16 FEET; THENCE EAST PARALLEL TO SAID NORTH LINE, 327.58 FEET; THENCE NORTH 4 DEGREES 22 MINUTES EAST 232.15 FEET TO A POINT ON SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 31, WHICH IS 1519.18 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE WEST TO THE POINT OF BEGINNING (EXCEPT THAT PART BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF SANDERS ROAD AND THE NORTH LINE OF SAID NORTHWEST QUARTER OF SECTION 31, SAID POINT OF INTERSECTION BEING 1191.6 FEET EAST FROM THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 4 DEGREES 22 MINUTES WEST ALONG THE CENTER OF SANDERS ROAD, 200 FEET; THENCE EAST PARALLEL TO SAID NORTH LINE 190 FEET; THENCE NORTH 4 DEGREES 22 MINUTES EAST 200 FEET TO A POINT ON THE SAID NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 31, WHICH IS 1381.60 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE WEST TO THE POINT OF BEGINNING, ALL EAST OF THE THIRD PRINCIPAL MERIDIAN) EXCEPT THAT PORTION DEDICATED FOR HIGHWAY PURPOSES), IN LAKE COUNTY, ILLINOIS.

Commonly known as 2175 Deerfield Road, Riverwoods, Illinois.

**EXHIBIT C**

Development Plan

- SITE IMPROVEMENTS -

# MULTI-PARCEL DEVELOPMENT

780 SAUNDERS ROAD & 2175 DEERFIELD ROAD

VILLAGE OF DEERFIELD

LAKE COUNTY, ILLINOIS

### GENERAL NOTES

- 1.) THE OWNER, LAKE COUNTY & THE VILLAGE OF DEERFIELD SHALL BE NOTIFIED IN WRITING AT LEAST (3) FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AND ALL UTILITY COMPANIES TO CONFORM FACILITY LOCATIONS WITHIN THE PROJECT AREA PRIOR TO WORK ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AND WORKING WITH UTILITIES IF PRESENT AS REQUIRED AT NO EXTRA COST TO THE OWNER.
- 3.) THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR EXISTING UTILITIES IN CONFORMANCE WITH THE AFFECTED UTILITY COMPANIES REQUIREMENTS AS MAY BE REQUIRED TO PERFORM THE WORK OF THIS CONTRACT.
- 4.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LINE AND GRADES SHOWN ON THE CONTRACT DRAWINGS, IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONTRACT DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE OWNER PRIOR TO PERFORMING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AS REQUIRED.
- 5.) ALL ELEVATIONS SHOWN ON THE CONTRACT DRAWINGS ARE U.S.G.S. DATUM UNLESS OTHERWISE SPECIFIED.
- 6.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS, WHICH ARE HEREBY MADE A PART HEREOF:
  - A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS", AS PREPARED BY IDOT.
  - B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".
  - C. VILLAGE OF DEERFIELD "STANDARDS AND SPECIFICATIONS FOR PUBLIC AND PRIVATE IMPROVEMENTS". THESE VILLAGE SPECIFICATIONS SHALL TAKE PRECEDENCE FOR ALL WORK.
- 7.) THE CONTRACT DOCUMENTS ARE NOT INTENDED TO SHOW EVERY AND ALL DETAILS OF WORK TO BE PERFORMED OR EQUIPMENT TO BE SUPPLIED. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ILLUSTRATE THE CONCEPTUAL DESIGN AND LAYOUT. THE CONTRACTOR SHALL BE KNOWLEDGEABLE AND REGULARLY ENGAGED IN THE TYPE OF WORK DESCRIBED BY THESE CONTRACT DOCUMENTS, AND SHALL BE RESPONSIBLE FOR UNDERSTANDING THEIR INTENT. ANY WORK TO BE PERFORMED OR ITEM OF EQUIPMENT TO BE SUPPLIED WHICH IS NOT SPECIFICALLY CALLED FOR BY THESE CONTRACT DOCUMENTS BUT WHICH IS NECESSARY TO PROVIDE A COMPLETE AND SUCCESSFUL WORKING SYSTEM SHALL BE INCLUDED IN THE CONTRACTOR'S SCOPE OF WORK AT NO ADDITIONAL COST TO THE OWNER.
- 8.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF/HERSELF OF ALL CONDITIONS, THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS THE TOTAL COST FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED DUE TO THE CONTRACTOR'S FAILURE TO UNDERSTAND THE SCOPE OF WORK.
- 9.) 100 YEAR FLOOD ELEVATION IN THE AREA OF CONCERN IS SHOWN WHEN APPLICABLE.
- 10.) THE WORK PERFORMED UNDER THIS CONTRACT SHALL IN NO WAY INTERFERE WITH THE NORMAL OPERATION OF ANY EXISTING UTILITY SERVICE. THE CONTRACTOR SHALL FURNISH ALL NECESSARY ITEMS OF EQUIPMENT REQUIRED TO MAINTAIN SUCH NORMAL OPERATION AT NO ADDITIONAL COST TO THE OWNER. THE COST ASSOCIATED FOR THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT.
- 11.) ORIENTATION OF PIPING, CONDUITS, EQUIPMENT, ETC. MAY VARY. CONTRACTOR TO COORDINATE SAME WITH THE OWNER.
- 12.) ANY AND ALL DEWATERING REQUIRED TO KEEP EXCAVATIONS DRY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13.) CERTAIN INFORMATION SHOWN ON THESE DRAWINGS HAS BEEN OBTAINED FROM DRAWINGS OF RECORD. CONTRACTOR SHALL VERIFY SUCH INFORMATION PRIOR TO ACTUAL START OF WORK. WHERE DISCREPANCIES ARE DISCOVERED THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. FAILURE BY THE CONTRACTOR TO IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES SHALL RESULT IN THE CONTRACTOR BEARING THE FULL BURDEN OF ALL RISKS/COSTS ATTRIBUTED TO THE DISCOVERED DISCREPANCY.
- 14.) SOIL EROSION PROTECTION SHALL BE IN ACCORDANCE WITH IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. ALL DISTURBED AREAS (NOT IMPERVIOUS IN NATURE) SHALL BE FINE GRADED, TOP SOIL RESTORED (MIN. 6 INCHES) AND SEED/MULCH APPLIED UNLESS OTHERWISE SPECIFIED ON THE PLANS.

### JULIE INFORMATION

J.U.L.I.E. TELEPHONE No. : 811  
 (CALL 48 HOURS BEFORE YOU DIG. - EXCLUDING SAT., SUN. AND HOLIDAYS)  
 COUNTY : LAKE  
 CITY / TOWNSHIP : DEERFIELD / NORTHFIELD TWP.  
 1/4 SECTION : NW. 1/4 OF SECTION 31-T43N.-R12E.

### PROJECT BENCHMARK

DESCRIPTION : VILLAGE OF DEERFIELD BENCHMARK #2007-46  
 NORTHEAST CORNER OF HAWTHORNE LANE & ONE PARKWAY NORTH  
 AT 1900 HAWTHORNE LANE  
 U.S.G.S. ELEVATION=680.32

### LAKE COUNTY SPECIAL GENERAL NOTES

"THE REVIEW AND APPROVAL OF THESE FINAL ENGINEERING PLANS AND SPECIFICATIONS BY THE LAKE COUNTY DIVISION OF TRANSPORTATION DOES NOT CONSTITUTE A RELEASE FROM OR GRANT OF VARIATION FROM THE STANDARDS AND SPECIFICATIONS REQUIRED IN THE LAKE COUNTY HIGHWAY ACCESS REGULATION ORDINANCE, LATEST EDITION. THE OWNER, THE OWNER'S DESIGNATED REPRESENTATIVES, AND/OR ALL SUCCESSORS AND ASSIGNS SHALL BE SOLELY RESPONSIBLE FOR ALL WORK AND IMPROVEMENTS WITHIN THE LIMITS OF THE COUNTY HIGHWAY RIGHT-OF-WAY, UNLESS OTHERWISE SPECIFIED, APPROVED IN WRITING BY THE LAKE COUNTY ENGINEER, AND ON FILE WITH THE LAKE COUNTY DIVISION OF TRANSPORTATION. ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT ACCESS-RELATED IMPROVEMENTS AND DRAINAGE IMPROVEMENTS WITHIN THE LIMITS OF THE COUNTY HIGHWAY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE PROVISIONS AND REQUIREMENTS OF THE LAKE COUNTY HIGHWAY ACCESS REGULATION ORDINANCE, LATEST EDITION."

THE CONSTRUCTION, INCLUDING MATERIALS USED, OF THIS ACCESS-RELATED IMPROVEMENT SHALL BE IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE MOST RECENT EDITIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS," AND THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," INCLUDING ALL AMENDMENTS AND SUCCESSOR DOCUMENTS TO THE AFOREMENTIONED DOCUMENTS AS PUBLISHED OR ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND/OR ILLINOIS DOT UNLESS OTHERWISE STATED IN THESE ENGINEERING PLANS.

THE CONSTRUCTION OF THE ACCESS-RELATED IMPROVEMENTS SHALL ALSO BE IN ACCORDANCE WITH THE "LAKE COUNTY HIGHWAY ACCESS REGULATION ORDINANCE," LATEST EDITION.

THE LAKE COUNTY DIVISION OF TRANSPORTATION SHALL NOT BE HELD LIABLE FOR ANY ERRORS OR OMISSIONS IN THESE ENGINEERING PLANS OR FOR ANY ADDITIONAL WORK, WHICH MAY BE NEEDED DUE TO ERRORS OR OMISSIONS IN THESE ENGINEERING PLANS.

THE PERMITTEE SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WORK, AND ALL COSTS THEREOF, REQUIRED BECAUSE OF ERRORS OR OMISSIONS IN THESE ENGINEERING PLANS AND FOR THE CORRECTION OF ANY CONSTRUCTION, MAINTENANCE, OR SAFETY PROBLEMS, WHICH BECOME APPARENT DURING CONSTRUCTION OR BY INSPECTIONS MADE BY THE RESIDENT ENGINEER OR THE LAKE COUNTY DIVISION OF TRANSPORTATION.

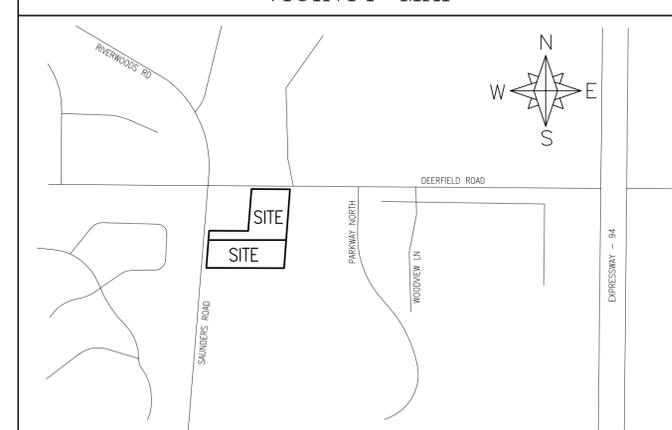
THE RESIDENT ENGINEER SHALL BE RESPONSIBLE FOR ESTABLISHING THE PROPER LINES AND GRADES FOR ALL CONSTRUCTION WORK INCLUDING EARTHWORK, PAVING, CURBING AND DRAINAGE. THE RESIDENT ENGINEER SHALL ALSO BE RESPONSIBLE FOR ALL OTHER ENGINEERING WORK INCLUDING INSPECTIONS AND ANY TESTING REQUIRED BY THE LAKE COUNTY DIVISION OF TRANSPORTATION. AN INSPECTOR, AS PROVIDED OR APPROVED BY THE RESIDENT ENGINEER, SHALL BE PRESENT DURING CRITICAL PHASES OF THE CONSTRUCTION WORK.

THE RESIDENT ENGINEER SHALL NOTE ANY CHANGES FROM THESE ENGINEERING PLANS AND SHALL NOTIFY THE PERMIT DEPARTMENT OF THE LAKE COUNTY DIVISION OF TRANSPORTATION ABOUT ANY CHANGES THAT DEVIATE FROM THE INTENT OF THE ENGINEERING PLANS SUCH AS CHANGES IN DRAINAGE, GEOMETRIC PLAN, OR GRADING WORK.

### L E G E N D

- |               |                  |       |                 |
|---------------|------------------|-------|-----------------|
| ⊙             | UTILITY MANHOLE  | ----- | PROPERTY LINE   |
| ⊕             | SANITARY MANHOLE | —○—   | FENCE           |
| ⊖             | STORM MANHOLE    | —○—   | TRAFFIC SIGN    |
| □             | CATCH BASIN      | ⊙     | LIGHT POLE      |
| ⊕             | FIRE HYDRANT     | ⊖     | UTILITY POLE    |
| ⊙             | B-BOX            | ▨     | PEDESTAL        |
| ⊙             | GAS METER        | ⊕     | TREE W/DIAMETER |
| ⊙             | ELECTRIC METER   | ▶     | TRAFFIC LIGHT   |
| —<—<—         | SANITARY SEWER   |       |                 |
| —w—w—         | WATER MAIN       |       |                 |
| —<<—<<—       | STORM SEWER      |       |                 |
| -----605----- | EXISTING CONTOUR |       |                 |

### VICINITY MAP



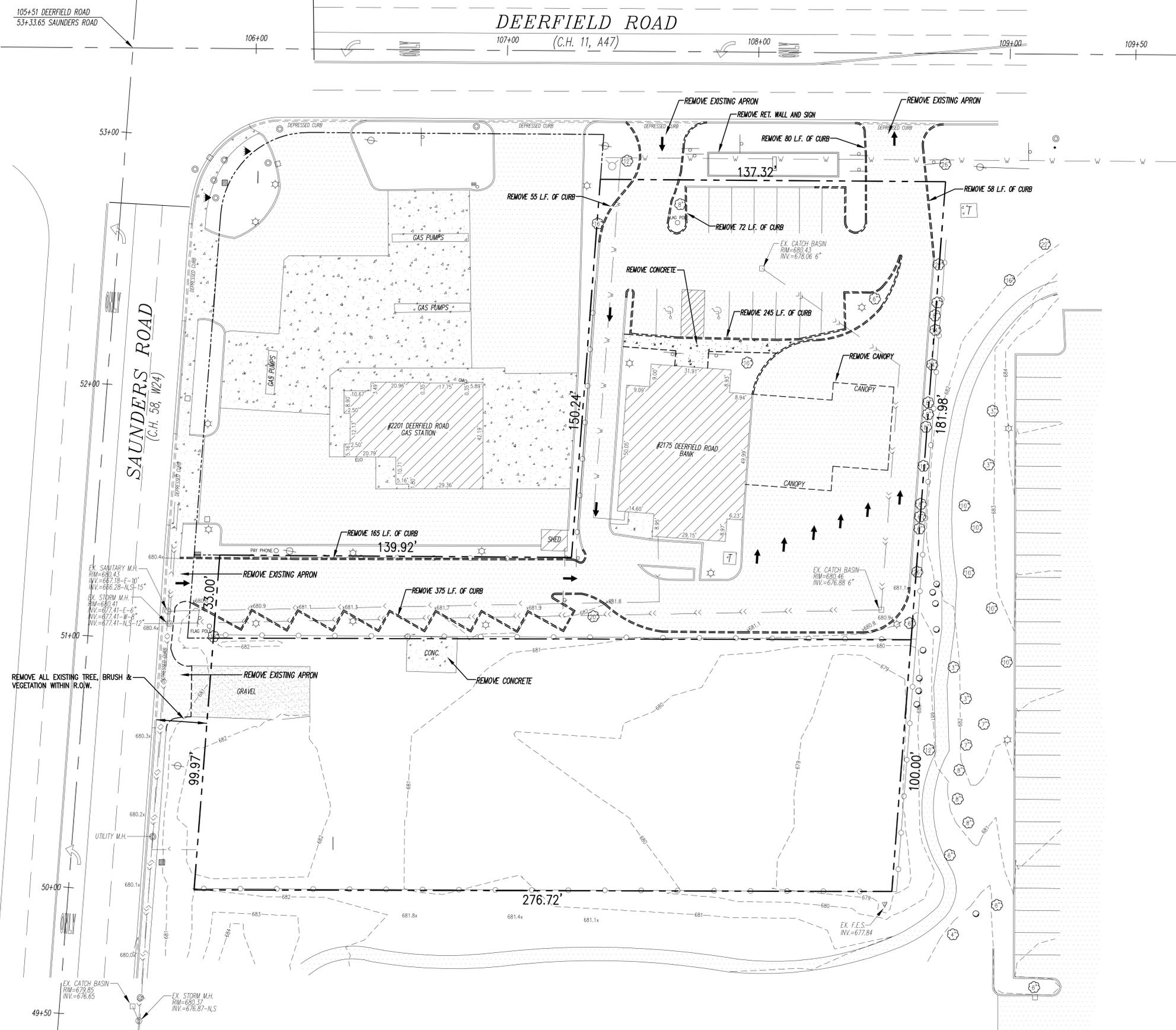
### INDEX OF SHEETS

- |    |                                       |
|----|---------------------------------------|
| C1 | — COVER SHEET                         |
| C2 | — EXISTING CONDITIONS                 |
| C3 | — SITE PLAN                           |
| C4 | — UTILITY PLAN                        |
| C5 | — GRADING PLAN                        |
| C6 | — EROSION CONTROL PLAN                |
| C7 | — SPECIFICATIONS                      |
| C8 | — STANDARD DETAILS                    |
| C9 | — STANDARD DETAILS<br>TRAFFIC CONTROL |

REVISIONS	

**SITE IMPROVEMENTS**  
 2175 DEERFIELD ROAD, RIVERWOODS  
 780 SAUNDERS ROAD, DEERFIELD

**PROPOSED  
 MULTI-PARCEL  
 DEVELOPMENT**



**- L E G E N D -**

⊙	UTILITY MANHOLE	---	PROPERTY LINE
⊙	SANITARY MANHOLE	---	FENCE
⊙	STORM MANHOLE	○	TRAFFIC SIGN
□	CATCH BASIN	⊙	LIGHT POLE
⊕	FIRE HYDRANT	⊙	UTILITY POLE
⊙ <sup>BB</sup>	B-BOX	■	PEDESTAL
⊙ <sup>GM</sup>	GAS METER	⊙	TREE W/DIAMETER
⊙ <sup>EL</sup>	ELECTRIC METER	▶	TRAFFIC LIGHT
---	SANITARY SEWER		
---	WATER MAIN		
---	STORM SEWER		

**GENERAL NOTES**

- EXISTING WELL SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH STATE OF ILLINOIS STANDARD AND REQUIREMENTS.
- CONTACT LAKE COUNTY HEALTH DEPARTMENT FOR PERMIT AND INSPECTION REQUIREMENTS FOR WELL ABANDONMENT.
- EXISTING GAS, TELEPHONE, ELECTRIC AND CABLE LINES SHALL BE REMOVED IN ACCORDANCE WITH THE INDIVIDUAL UTILITY COMPANY REQUIREMENTS.

**DOLAND ENGINEERING, LLC**  
 - CIVIL ENGINEERING ~ LAND SURVEYING ~ LAND PLANNING -  
 334 EAST COLFAX STREET, SUITE C  
 PALATINE, ILLINOIS 60067  
 (847) 991-5088 (847) 934-3427 FAX  
 www.dolandengineering.com

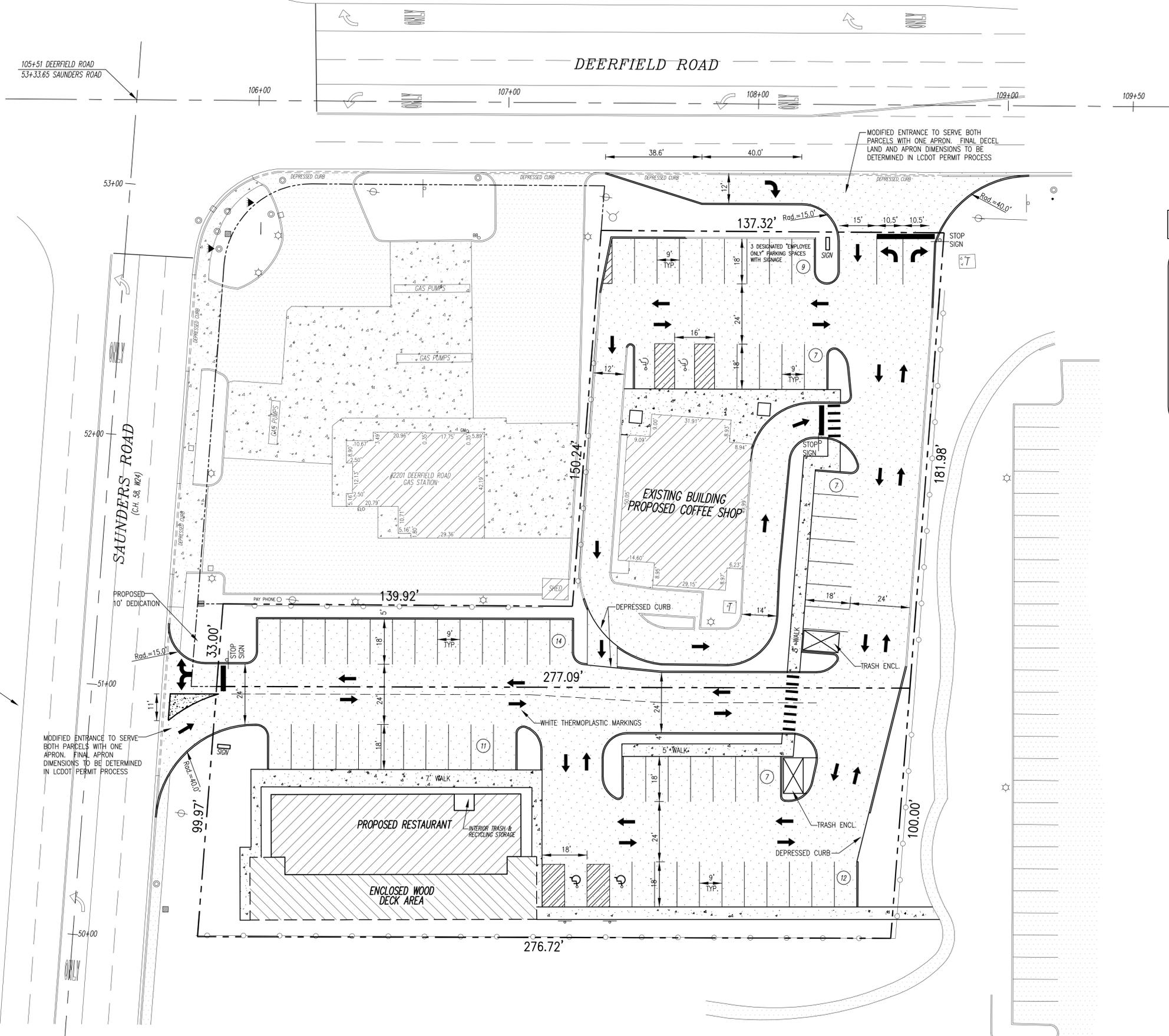
REVISIONS	

**SITE IMPROVEMENTS**  
 2175 DEERFIELD ROAD, RIVERWOODS  
 780 SAUNDERS ROAD, DEERFIELD

**PROPOSED  
 MULTI-PARCEL  
 DEVELOPMENT**

Sheet Title  
**Existing Conditions**  
 DATE: 06/20/16  
 FILE: 2201-deerfield  
 SCALE: 1"=20'

**C2**



**SITE INFORMATION**  
2175 DEERFIELD ROAD

<b>SITE :</b>	
TOTAL SITE AREA :	29,559 S.F. 0.678 ACRES
<b>BUILDING :</b>	
EX. BUILDING FOOTPRINT :	3,046 S.F.
<b>PARKING PROVIDED:</b>	
PROP. SPACES PROVIDED - STANDARD	35
PROP. SPACES PROVIDED - HDCP.	2
<b>IMPERVIOUS COVERAGE:</b>	
BUILDING FOOTPRINT	3,046 S.F.
CONCRETE	1,645 S.F.
BITUMINOUS PAVEMENT	20,255 S.F.
TOTAL IMPERVIOUS	24,946 S.F.-84.4%
GREEN SPACE	4,613 S.F.-15.6%

**SITE INFORMATION**  
780 SAUNDERS ROAD

<b>SITE :</b>	
TOTAL SITE AREA :	27,681 S.F. 0.635 ACRES
<b>BUILDING :</b>	
PROP. BUILDING FOOTPRINT :	3,071 S.F.
PROP. ENCLOSED WOOD DECK :	2,246 S.F.
<b>PARKING PROVIDED:</b>	
PROP. SPACES PROVIDED - STANDARD	28
PROP. SPACES PROVIDED - HDCP.	2
<b>IMPERVIOUS COVERAGE:</b>	
BUILDING FOOTPRINT	3,071 S.F.
ENCLOSED WOOD DECK	2,246 S.F.
CONCRETE	2,278 S.F.
BITUMINOUS PAVEMENT	14,282 S.F.
TOTAL IMPERVIOUS	21,877 S.F.-79.0%
GREEN SPACE	5,804 S.F.-21.0%

FINAL LANDSCAPE PLAN TO PROVIDE FOR SCREENING IN THIS AREA.

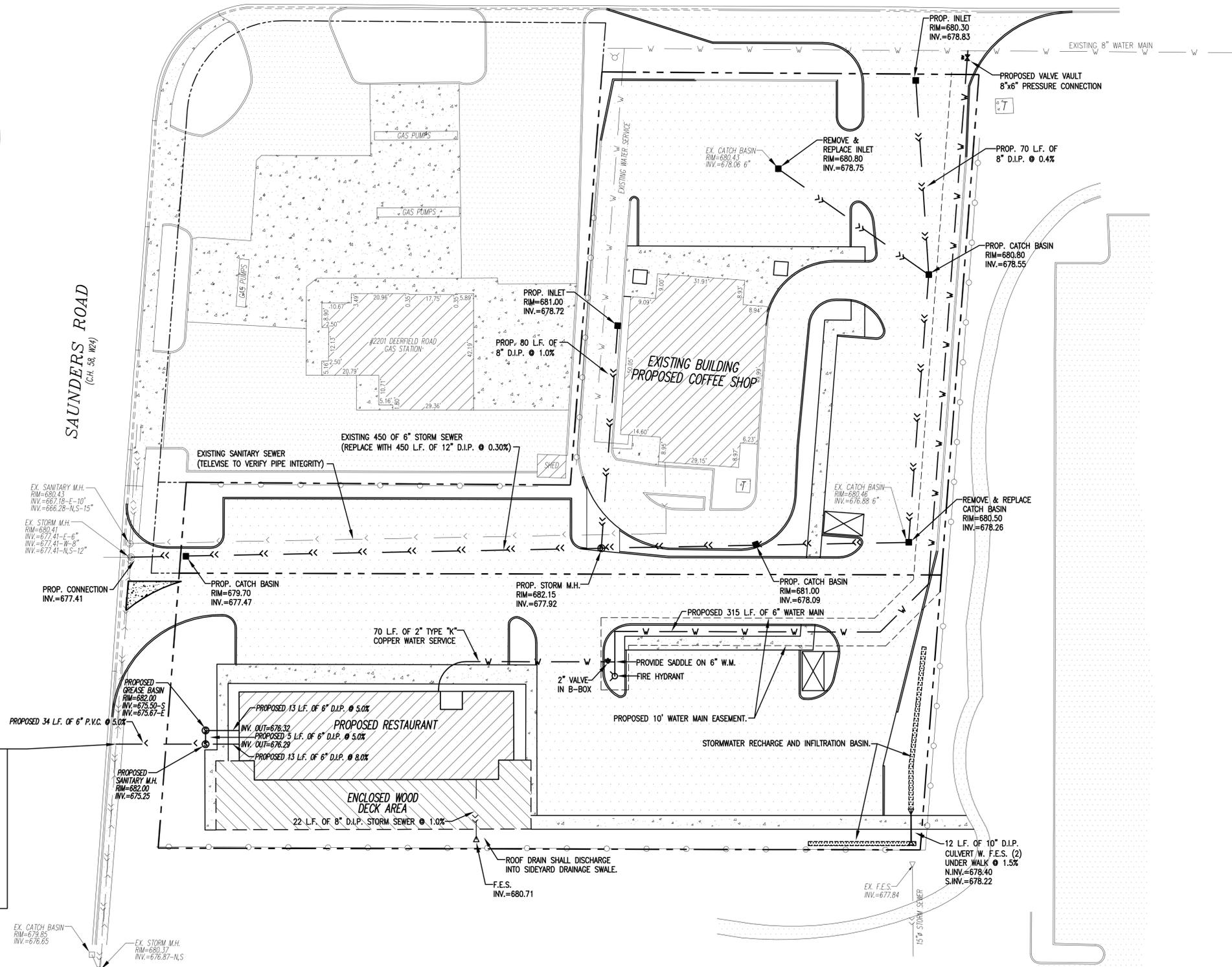
MODIFIED ENTRANCE TO SERVE BOTH PARCELS WITH ONE APRON. FINAL APRON DIMENSIONS TO BE DETERMINED IN LCDOT PERMIT PROCESS

MODIFIED ENTRANCE TO SERVE BOTH PARCELS WITH ONE APRON. FINAL DECEL LAND AND APRON DIMENSIONS TO BE DETERMINED IN LCDOT PERMIT PROCESS

REVISIONS

DEERFIELD ROAD

SAUNDERS ROAD  
(CH. 58, WP#4)



- NOTE:
- 1.) PROVIDE RISER DOWN TO 15" V.C.P. MAIN 6" SAN. SVC. INVERT=673.55 TOP OF MAIN=668± MAIN INV.=666.5±
  - 2.) EXISTING 12" STORM SEWER ELEVATION APPROXIMATELY 677.2±
  - 3.) CONTRACTOR SHALL PROVIDE ADEQUATE TRENCH PROTECTION, OF THE EXCAVATION AREA, SHEETINGS, SHORING AND/OR TRENCH BOX AS NEEDED IN ACCORDANCE WITH OSHA REQUIREMENTS. (SEE SHEET C7, #22 UNDER GENERAL SPECIFICATIONS.)
  - 4.) TRAFFIC CONTROL FOR UTILITY AND PAVEMENT WORK LANE CLOSURES SHALL BE ACCORDANCE WITH IDOT STANDARD 701606-08, 701901-02, AND/OR AS MODIFIED BY THE ENGINEER.

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REVISIONS

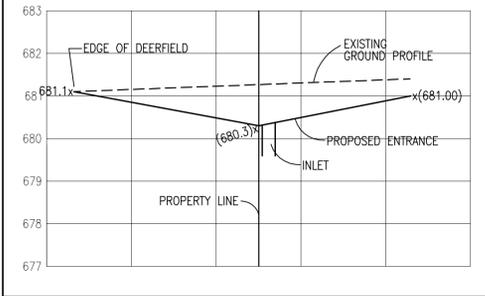
**SITE IMPROVEMENTS**  
 2175 DEERFIELD ROAD, RIVERWOODS  
 780 SAUNDERS ROAD, DEERFIELD

**PROPOSED MULTI-PARCEL DEVELOPMENT**

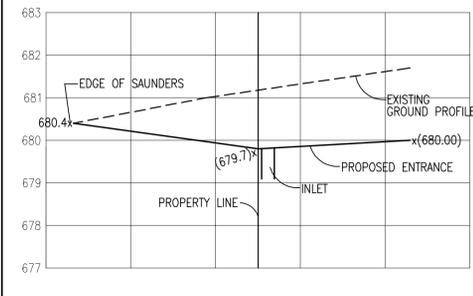
Utility Plan  
 DATE: 06/20/16  
 FILE: 2201-deerfield  
 SCALE: 1"=20'  
 C4

DEERFIELD ROAD

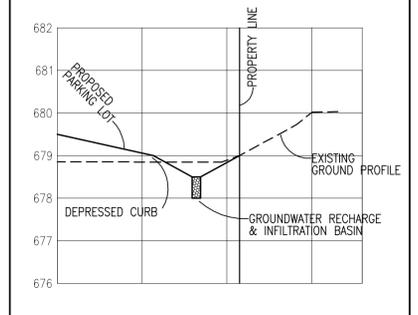
CROSS SECTION A-A



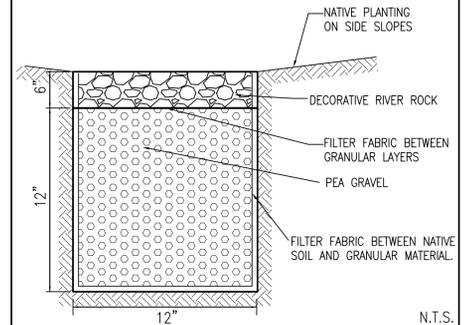
CROSS SECTION C-C



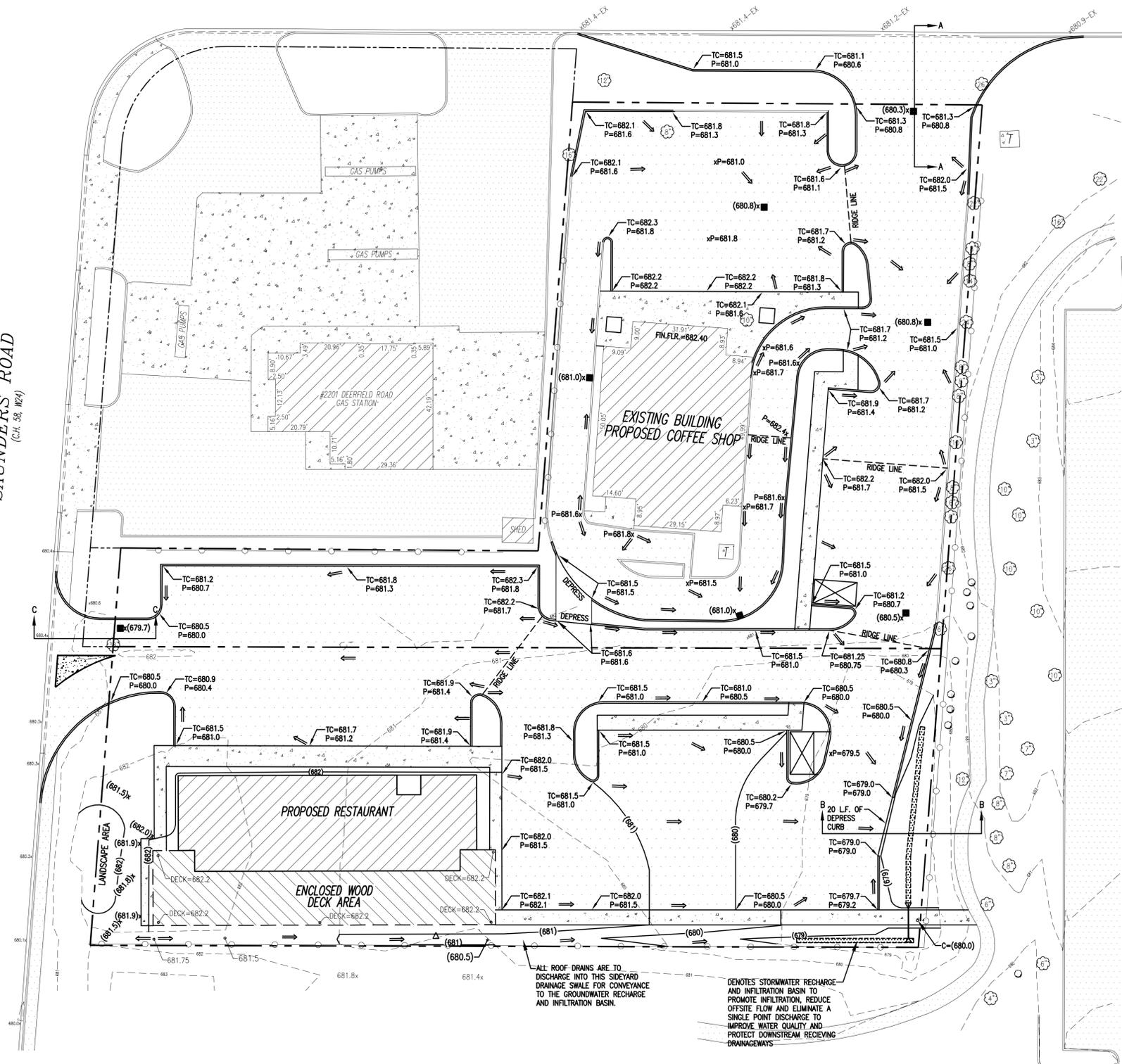
CROSS SECTION B-B



GROUNDWATER RECHARGE & INFILTRATION BASIN DETAIL



SAUNDERS ROAD  
(CH. 38, WP#)



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**SITE IMPROVEMENTS**  
 2175 DEERFIELD ROAD, RIVERWOODS  
 780 SAUNDERS ROAD, DEERFIELD

**PROPOSED MULTI-PARCEL DEVELOPMENT**

Sheet Title  
**Grading Plan**  
 DATE: 06/20/16  
 FILE: 2201-deerfield  
 SCALE: 1"=20'

**C5**

**GENERAL NOTES FOR EROSION CONTROL**

- SOIL EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS".
- SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY WHERE BERMS, STOCKPILES OR OTHER EARTHWORK WILL TAKE PLACE AND AROUND ANY EXISTING STORM STRUCTURES, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- A STABILIZED CONSTRUCTION ENTRANCE(S) FOR MUD AND DUST CONTROL SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT. CONSTRUCTION ENTRANCE(S) SHALL BE A MINIMUM OF 30' WIDE, 50' LONG AND SHALL BE CONSTRUCTED OF A 6" THICK MINIMUM LAYER OF 2" ANGULAR CRUSHED AGGREGATE COMPACTED IN PLACE, LAID OVER A GEOTEXTILE FILTER FABRIC.
- STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND OTHER DEBRIS. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY DIRT, MUD OR DEBRIS THAT MAY BECOME DEPOSITED UPON THE ADJACENT STREET.
- HAULING WILL NOT BE ALLOWED WHEN THE WORK SITE IS TOO WET TO MAINTAIN ACCEPTABLE CONDITIONS ON ADJACENT STREETS.
- SAUNDERS ROAD WILL BE SWEEPED DAILY BY A MECHANICAL SWEEPER STARTING AT THE MASS GRADING OPERATIONS AND CONTINUING UNTIL THE SITE IS STABILIZED.
- NO SEDIMENT SHALL BE ALLOWED TO ENTER THE STORM SEWER SYSTEM.
- ALL STORM SEWER STRUCTURES SHALL BE PROTECTED WITH DANDY SACKS OR SILT FENCE AND MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND/OR CONSTRUCTION IS COMPLETE.
- TOPSOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF SAID STOCKPILE ONTO OFF SITE AREAS, I.E. THE STOCKPILE SHALL BE LOCATED SO THAT AN ON SITE DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND THE DOWNSTREAM OFF SITE PROPERTY. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN TWELVE MONTHS, IT IS REQUIRED THAT THE STOCKPILE BE SEED SO AS TO MINIMIZE SOIL EROSION BY BOTH WIND AND RAIN.
- ALL STORM SEWER STRUCTURES, PERMANENT BASINS AND RETENTION BASINS PROVIDED WITHIN THIS PROJECT ARE TO BE CLEANED AT THE END OF CONSTRUCTION OF THE PROJECT AND PRIOR TO FINAL ACCEPTANCE. CLEANING MAY ALSO BE REQUIRED DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT IF IT IS DETERMINED THAT THE SILT AND DEBRIS TRAPS ARE NOT PROPERLY FUNCTIONING AND THEIR PERFORMANCE IS IMPAIRED.
- IF FOUND BY INSPECTION THAT THE CONDITIONS ARE NOT SUBSTANTIALLY AS STATED OR SHOWN IN THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN, THE VILLAGE ENGINEER MAY STOP FURTHER WORK UNTIL DEFICIENT CONDITIONS ARE CORRECTED.

**SEQUENCE FOR SOIL EROSION CONTROL ITEMS**

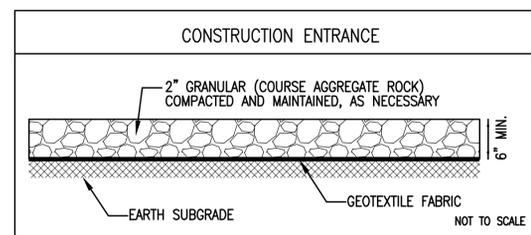
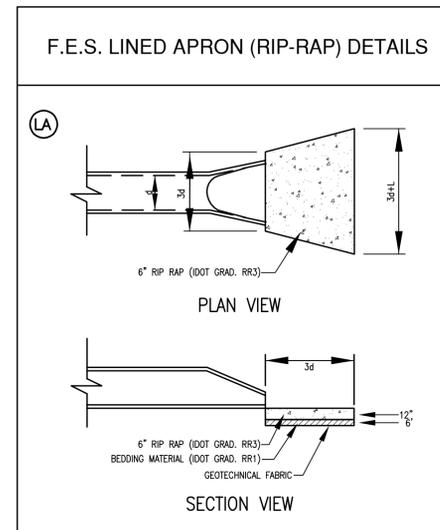
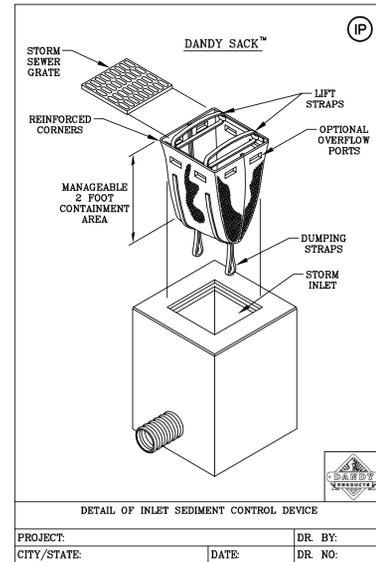
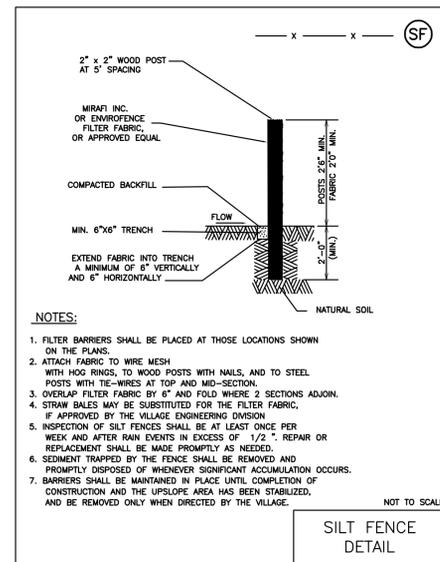
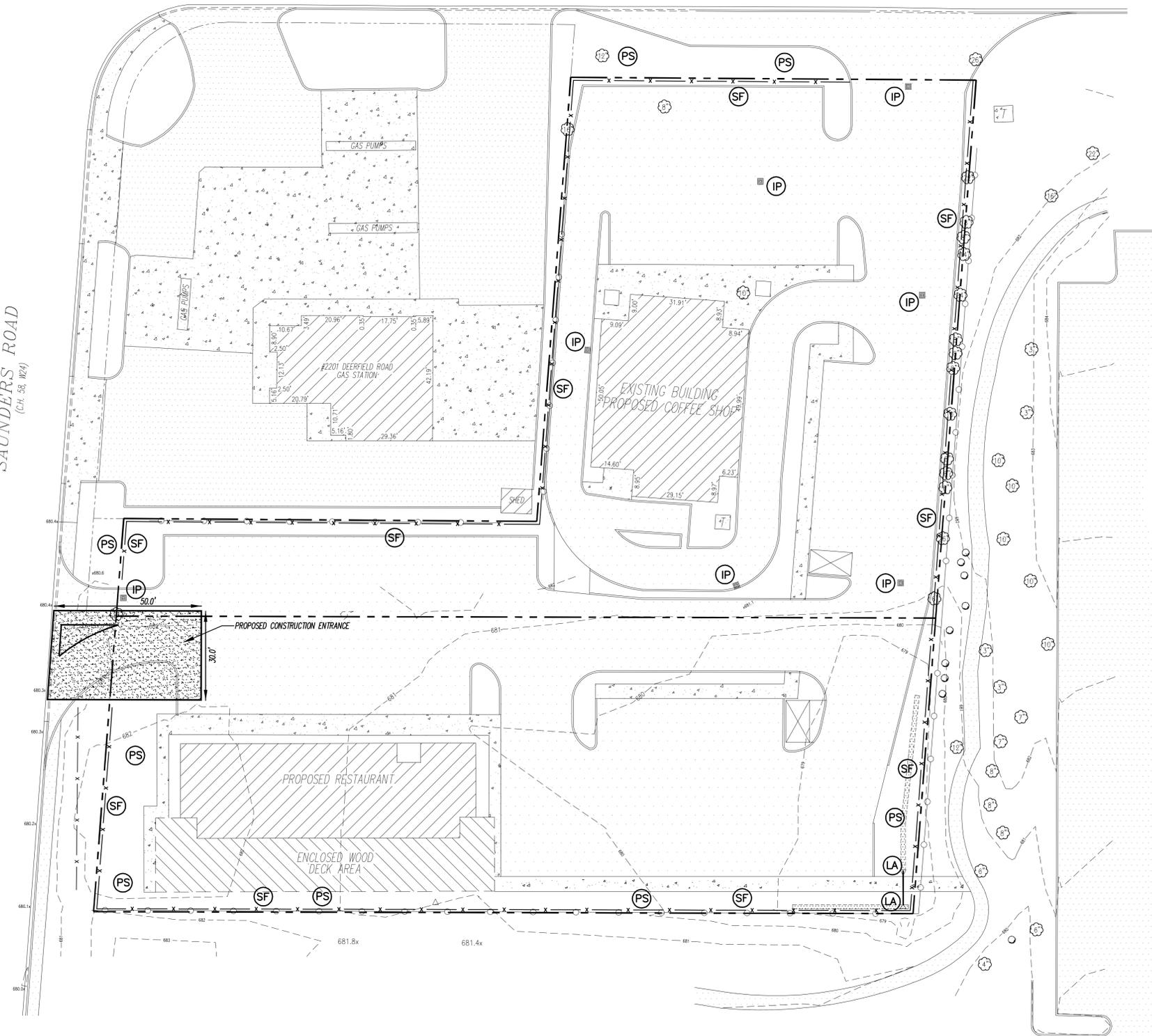
EACH RESPECTIVE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND ANY NECESSARY CORRECTIVE ACTION ASSOCIATED WITH THE EROSION CONTROL MEASURES SO DESIGNATED FOR THAT CONTRACTOR. THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE DESIGNATED CONTRACTOR AT THE TIME AND IN THE GENERAL SEQUENCE INDICATED BELOW.

- MASS GRADING/EARTHWORK CONTRACTOR
  - PROVIDE CONSTRUCTION ENTRANCE AND SILT FENCE PRIOR TO THE START OF CONSTRUCTION.
  - PROVIDE DIVERSION SWALES AROUND SITE PERIMETER (WHICH ARE PART OF OVERALL GRADING PLAN) AS NECESSARY TO PREVENT AND/OR INTERCEPT STORM WATER RUNOFF TO OFF SITE AREAS, AS PART OF THE INITIAL MASS GRADING IMPROVEMENTS.
  - OVER-EXCAVATE PROPOSED TEMPORARY SILTATION BASIN(S) AS NECESSARY.
  - OVER-EXCAVATE AROUND PROPOSED YARD INLETS.
  - PROVIDE A DIVERSION DITCH OR BERM IN ACCORDANCE WITH THE TEMPORARY STOCKPILE DETAIL FOR ALL STOCKPILES PRIOR TO ANY PLACEMENT OF MATERIAL IN SAID STOCKPILE.
- UNDERGROUND CONTRACTOR
  - PROVIDE DANDY SACKS IN ALL STORM STRUCTURES IMMEDIATELY UPON INSTALLATION OF SAID STRUCTURE(S).
  - PROVIDE CLEANING OF THE STORM SEWER SYSTEM AND SEWER STRUCTURES.
  - PROVIDE DANDY SACKS AT ALL CURB INLETS DURING CONSTRUCTION AND MAINTAIN OR REPLACE AS NECESSARY. INLETS SHALL BE MAINTAINED UNTIL ALL "UPSTREAM" AREAS TO A RESPECTIVE INLET HAVE BEEN COMPLETED THROUGH ESTABLISHMENT OF VEGETATIVE COVER OR PAVED.

SOIL EROSION & SEDIMENT CONTROL MEASURES		
CONTROL MEASURE	PLAN KEY	CONTROL MEASURE CHARACTERISTICS
PERMANENT SEEDING	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPING PLAN.
INLET PROTECTION	IP	USED AT STORM SEWER STRUCTURES TO PREVENT SEDIMENT FROM BEING CONVEYED THROUGH STORM SEWER NETWORK
SILT FENCE	SF	USED ALONG PERIMETER OF SITE TO ENSURE THAT NO SEDIMENT IS CARRIED OFF-SITE BY SURFACE RUNOFF
LINED APRON	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES

DEERFIELD ROAD

SAUNDERS ROAD  
(CH. 53, 1624)



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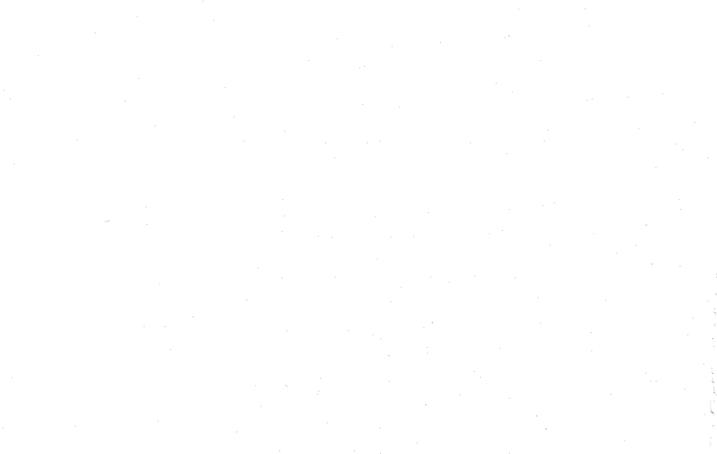
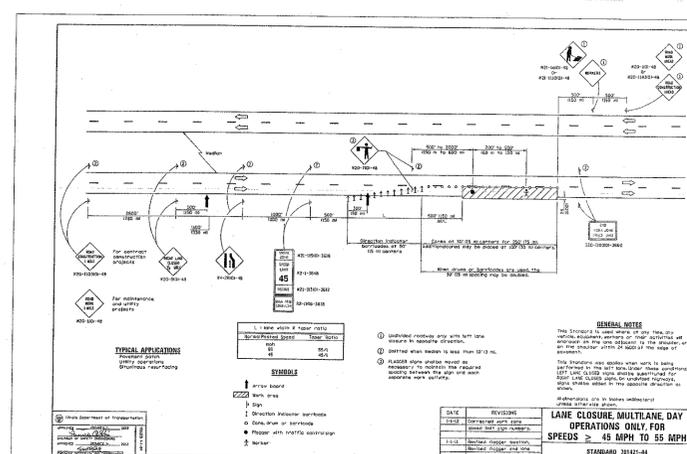
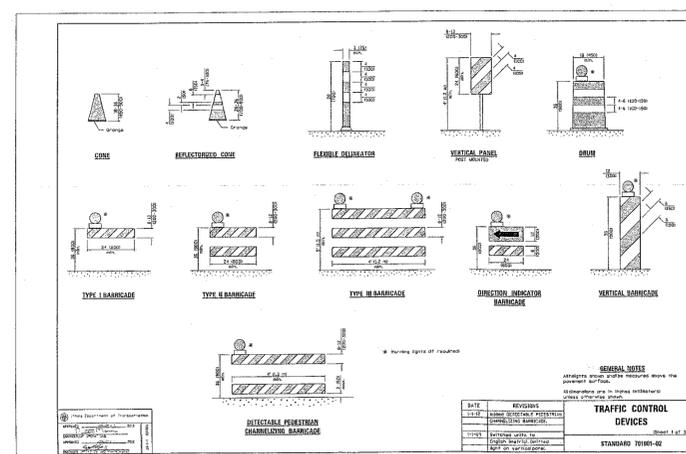
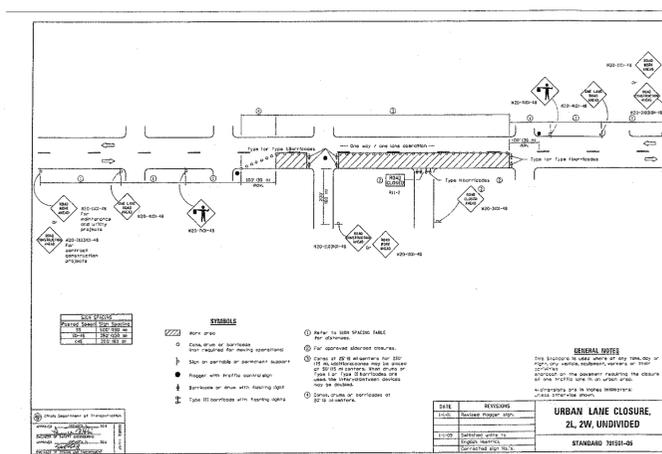
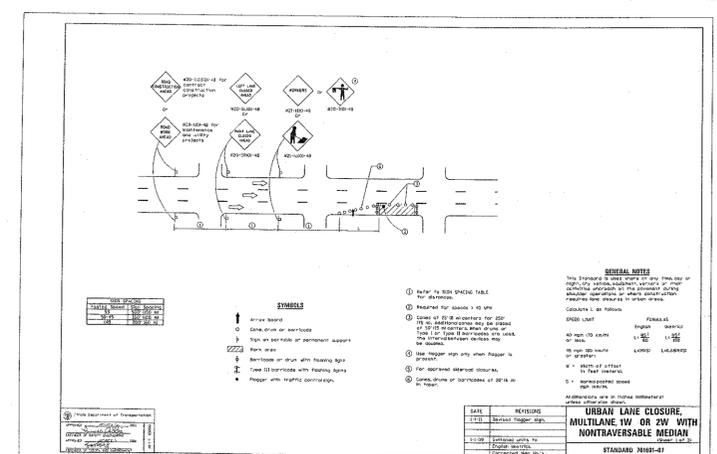
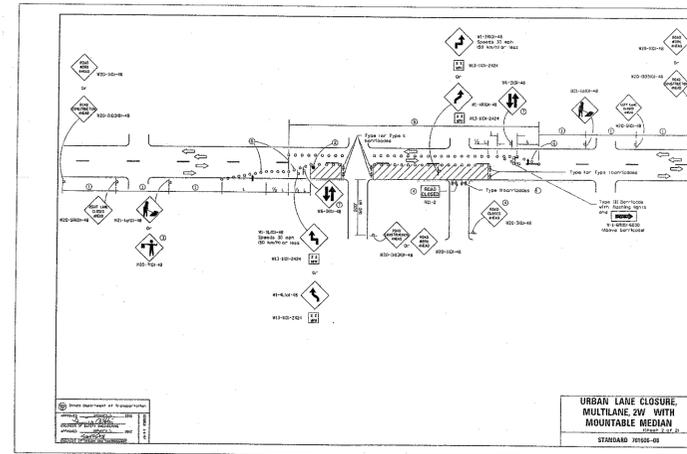
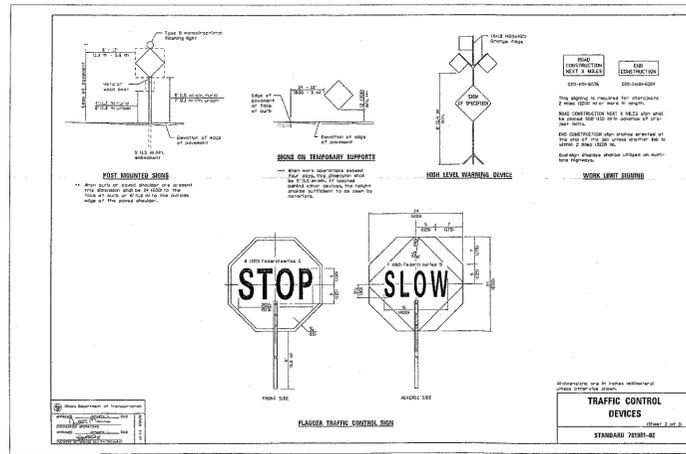
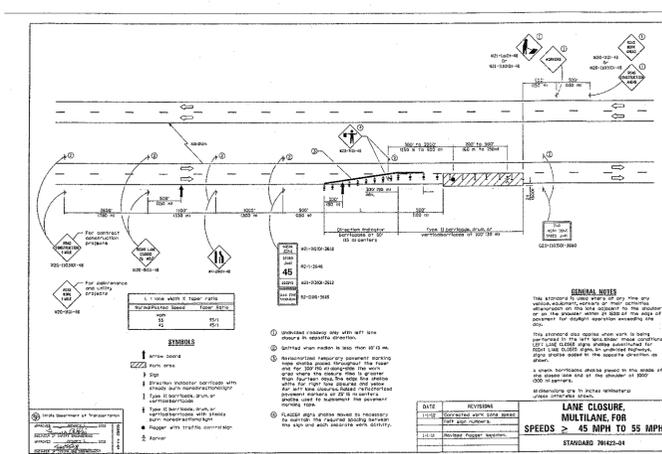
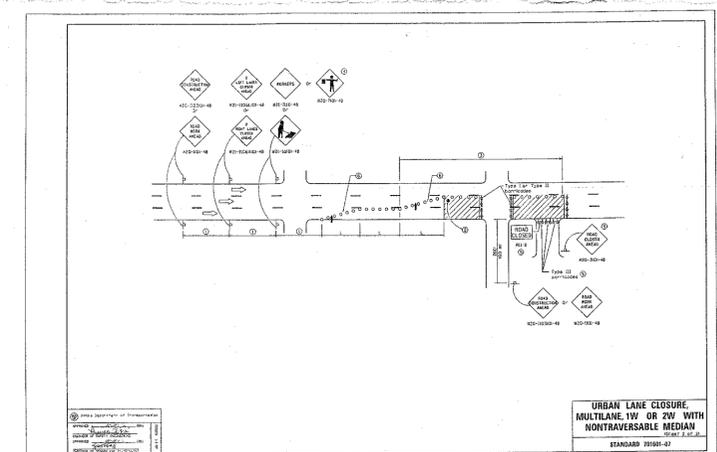
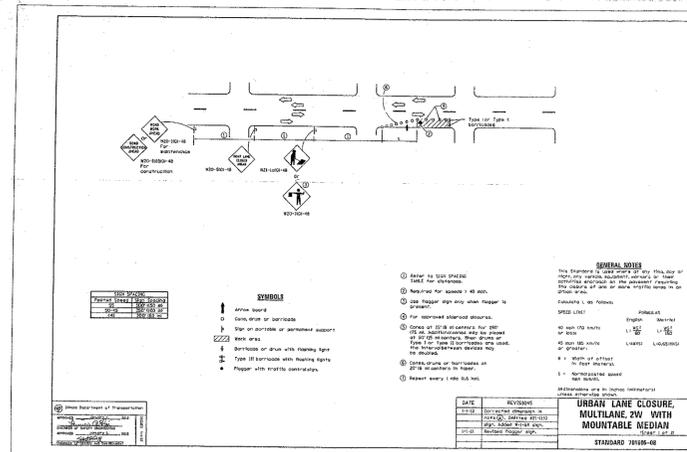
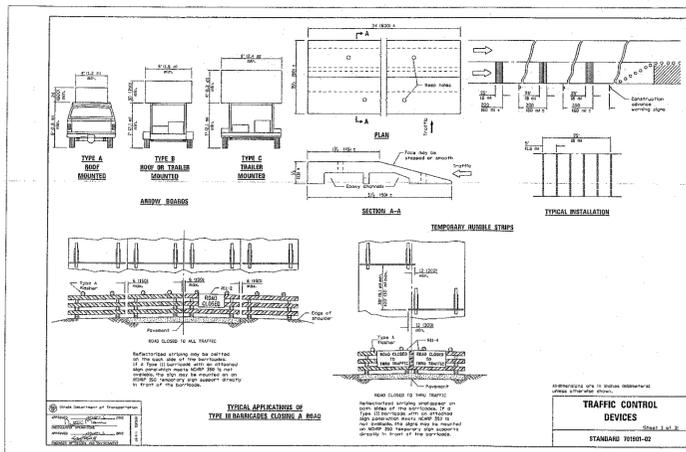
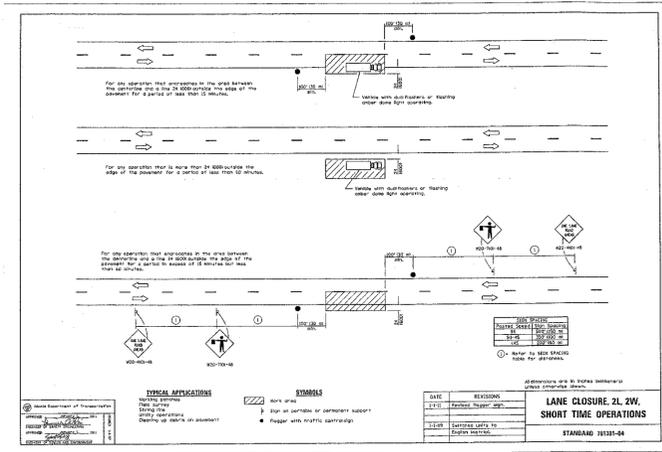
**SITE IMPROVEMENTS**  
 2175 DEERFIELD ROAD, RIVERWOODS  
 780 SAUNDERS ROAD, DEERFIELD

**PROPOSED MULTI-PARCEL DEVELOPMENT**

Sheet Title  
**Erosion Control Plan**  
 DATE: 06/20/16  
 FILE: 2201-deerfield  
 SCALE: 1"=20'  
  
**C6**







REVISIONS

**EXHIBIT D**

[Form of Deerfield Ordinance Excluding Subject Property]

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE EXCLUDING CERTAIN TERRITORY  
COMMONLY KNOWN AS 780 SAUNDERS ROAD  
FROM THE VILLAGE OF DEERFIELD**

---

**PASSED AND APPROVED BY THE  
PRESIDENT AND BOARD OF TRUSTEES  
OF THE VILLAGE OF DEERFIELD, LAKE  
AND COOK COUNTIES, ILLINOIS, this**

**\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**Published in pamphlet form  
by authority of the President  
and Board of Trustees of the  
Village of Deerfield, Lake and  
Cook Counties, Illinois, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016.**

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

---

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE EXCLUDING CERTAIN TERRITORY  
COMMONLY KNOWN AS 780 SAUNDERS ROAD  
FROM THE VILLAGE OF DEERFIELD**

---

**WHEREAS**, the property hereinafter legally described is unoccupied territory lying along the boundary line between two adjoining municipalities, to wit, the Village of Deerfield and the Village of Riverwoods; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Deerfield have determined that the best interests of the Village would be served by excluding said territory from the Village of Deerfield and the annexation of said territory to the Village of Riverwoods;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

**SECTION 1:** That the territory legally described as follows be and the same is hereby excluded from the Village of Deerfield:

A part of the Northwest Quarter of Section 31, Township 43 North, Range 12 East of the Third Principal Meridian, described as follows: Commencing at the intersection of the center line of Sanders Road (A/K/A Saunders Road) and the North line of said Section 31, said point being 1191.60 feet East from the Northwest corner of said Section; thence South along the center line of Sanders Road (A/K/A Saunders Road) 232.15 feet to the point of beginning; thence East parallel with the North line of said Section, 327.58 feet; thence South parallel with the center line of Sanders Road (A/K/A Saunders Road), 100.00 feet; thence 327.58 feet to said center line; thence North along said center line, 100.00 feet to the true point of

beginning, along with that part of the West half of Sanders Road (A/K/A Saunders Road) lying North of the Westerly prolongation of the Southerly line and South of the Westerly prolongation of the Northerly line of said described tract, in Lake County, Illinois.

**SECTION 2:** Upon the adoption of this ordinance and the adoption of an ordinance of the Village of Riverwoods annexing said territory to the Village of Riverwoods, the Village Clerk is hereby authorized and directed to file an accurate map of the excluded territory described in Section 1 of this Ordinance, together with a certified copy of this ordinance, with the Recorder of Deeds of Lake County, Illinois.

**SECTION 3:** That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

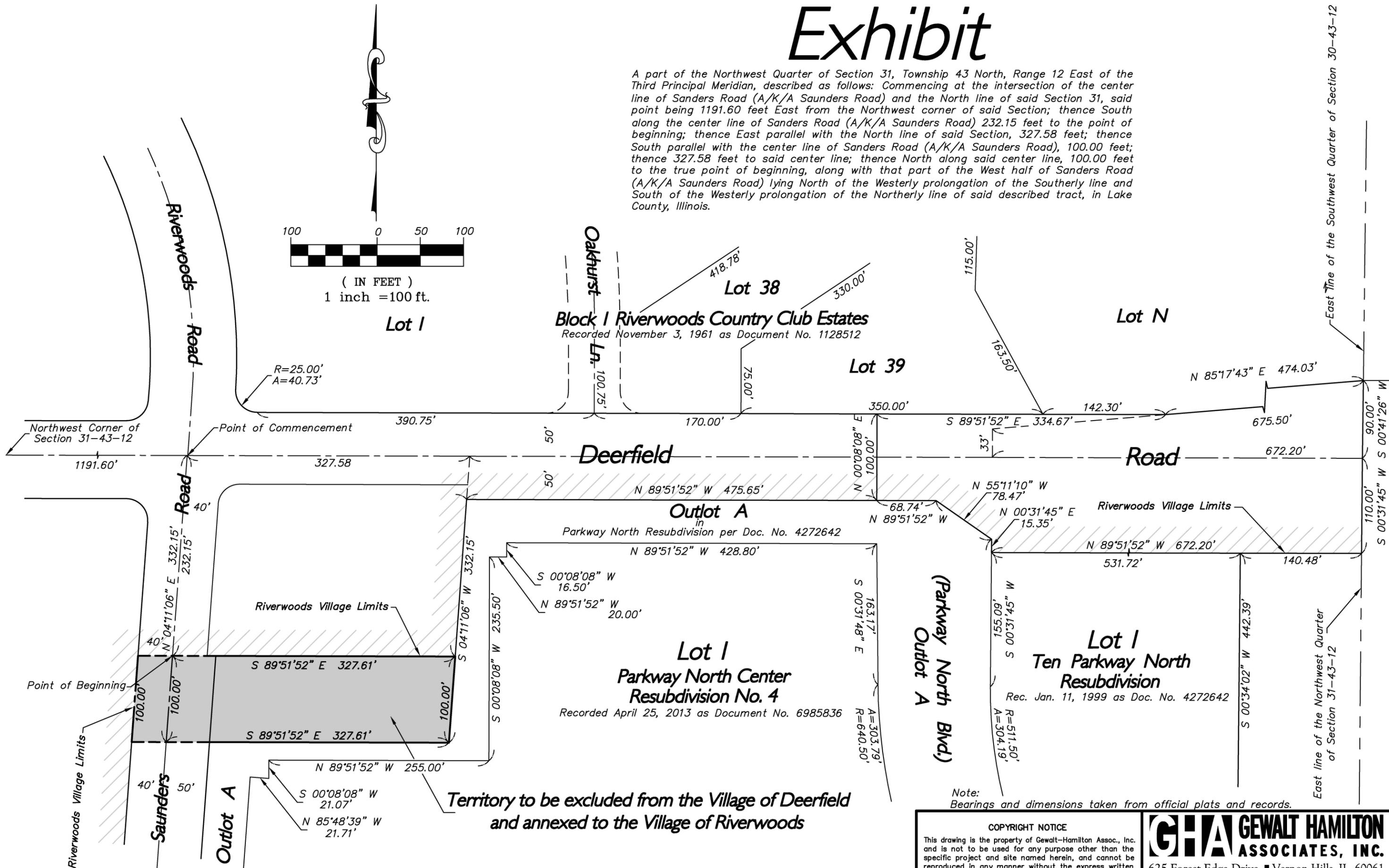
\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

# Exhibit

A part of the Northwest Quarter of Section 31, Township 43 North, Range 12 East of the Third Principal Meridian, described as follows: Commencing at the intersection of the center line of Sanders Road (A/K/A Saunders Road) and the North line of said Section 31, said point being 1191.60 feet East from the Northwest corner of said Section; thence South along the center line of Sanders Road (A/K/A Saunders Road) 232.15 feet to the point of beginning; thence East parallel with the North line of said Section, 327.58 feet; thence South parallel with the center line of Sanders Road (A/K/A Saunders Road), 100.00 feet; thence 327.58 feet to said center line; thence North along said center line, 100.00 feet to the true point of beginning, along with that part of the West half of Sanders Road (A/K/A Saunders Road) lying North of the Westerly prolongation of the Southerly line and South of the Westerly prolongation of the Northerly line of said described tract, in Lake County, Illinois.



**Territory to be excluded from the Village of Deerfield and annexed to the Village of Riverwoods**

Note: Bearings and dimensions taken from official plats and records.

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**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL. 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

East line of the Southwest Quarter of Section 30-43-12

East line of the Northwest Quarter of Section 31-43-12

**EXHIBIT E**

[Form of Riverwoods Ordinance Annexing Subject Property]

**ORDINANCE NO. 16-\_\_-\_\_**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY  
EXCLUDED FROM THE VILLAGE OF DEERFIELD**

---

**WHEREAS**, the Village of Riverwoods is a home rule municipality in accordance with the Constitution of the State of Illinois of 1970;

**WHEREAS**, the Village has the authority to adopt ordinances and to promulgate rules and regulations that pertain to its government and affairs that protect the health, safety and welfare of its citizens; and

**WHEREAS**, the property hereinafter legally described is unoccupied territory (commonly known as 780 Saunders Road, Deerfield, Illinois) lying along the boundary line between two adjoining municipalities, to wit, the Village of Riverwoods and the Village of Deerfield; and

**WHEREAS**, the corporate authorities of the Village of Riverwoods and the Village of Deerfield have entered into an intergovernmental agreement, to effectuate the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), whereby the Village of Riverwoods agreed to annex said territory from the Village of Deerfield upon its exclusion from the Village of Deerfield; and

**WHEREAS**, pursuant to the provisions of Section 7-1-25 of the Illinois Municipal Code (65 ILCS 5/7-1-25), the corporate authorities of the Village of Riverwoods have determined that the best interests of its residents would be served by annexing said territory from the Village of Deerfield;

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF RIVERWOODS, as follows:**

**SECTION ONE:** This Ordinance is made pursuant to and in accordance with the Village's home rule powers. The preceding "whereas" clauses are hereby made a part of this ordinance and the facts and findings contained therein are hereby adopted as part of this Ordinance.

**SECTION TWO:** That the territory hereinafter described, upon exclusion from the Village of Deerfield, be and the same is hereby annexed to the Village of Riverwoods:

Legal Description of Annexed Territory

A PART OF THE NORTH WEST 1/4 OF SECTION 31, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,

DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF SANDERS ROAD A/ K /A SAUNDERS ROAD) AND THE NORTH LINE OF SAID SECTION 31, SAID POINT BEING 1191.6 FEET EAST FROM THE NORTH WEST CORNER OF SAID SECTION; THENCE SOUTH ALONG THE CENTER LINE OF SANDERS ROAD (A/K/A SAUNDERS ROAD) 232.15 FEET TO THE TRUE POINT OF BEGINNING; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION, 327.58 FEET; THENCE SOUTH PARALLEL TO THE CENTER LINE OF SANDERS ROAD (A/K/A SAUNDERS ROAD), 100.00 FEET; THENCE 327.58 FEET TO SAID CENTER LINE; THENCE NORTH ALONG SAID CENTER LINE, 100.00 FEET TO THE TRUE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

**SECTION THREE:** Upon the adoption of this Ordinance and the ordinance of the Village of Deerfield excluding said territory, the Village Clerk is hereby authorized and directed to file an accurate map of the annexed territory described in Section Two of this Ordinance, together with a certified copy of this Ordinance, with the Recorder of Deeds of Lake County, Illinois.

**SECTION FOUR:** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form in the manner provided by law.

**AYES:**

**NAYS:**

**PASSED & APPROVED** this \_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

Attest:

\_\_\_\_\_  
Village Clerk

**REQUEST FOR BOARD ACTION**

16-82

**Agenda Item:** \_\_\_\_\_

**Subject** Resolution in Support of Federal Railroad Administration Crew Size Rule  
\_\_\_\_\_  
\_\_\_\_\_

**Action Requested:** Approval  
\_\_\_\_\_

**Originated By:** Metropolitan Mayors Caucus  
\_\_\_\_\_

**Referred To:** Mayor and Board of Trustees  
\_\_\_\_\_

**Summary of Background and Reason for Request**

On March 15, 2016 the Federal Railroad Administration (FRA) released a proactive and forward-looking Notice of Proposed Rulemaking (NPRM) that would institute minimum two-man crew size requirements for trains operating in the United States with certain enumerated exceptions for operations the FRA believes will pose minimal public safety risks.

**Reports and Documents Attached:**

Issue Summary and Action Request from Metropolitan Mayors Caucus  
Resolution

August 1, 2016

**Date Referred to Board:** \_\_\_\_\_

**Action Taken:** \_\_\_\_\_

## ISSUE SUMMARY & ACTION REQUEST on FRA-2014-0033 – Proposed FRA Regulation on Train Crew Staffing

***ISSUE SUMMARY:*** On March 15, 2016 the Federal Railroad Administration (FRA) released a proactive and forward-looking Notice of Proposed Rulemaking (NPRM) that would institute minimum two-man crew size requirements for trains operating in the United States with certain enumerated exceptions for operations the FRA believes will pose minimal public safety risks. The FRA has become concerned that the railroads plan to phase in more operations that rely upon using only one crew member without properly considering and evaluating the risks associated with downsizing crew sizes. The FRA is seeking public comment about the proposed rules by May 16, 2016.

***BACKGROUND:*** Currently, the FRA does not regulate minimum train crew sizes, as it has long been an industry operating practice to staff trains with two (or more) crew members. With the advent of mandated technology advances like Positive Train Control (PTC), however, the FRA is learning that railroads are increasingly seeking to substitute technology for a second trained “failsafe” crew member aboard the nation’s freight and passenger trains. Because there are many cognitive and manual functions undertaken by two crew members that cannot be accomplished by a combination of one crew member with the assistance of technology, the FRA is seeking to address any potential risk proactively *before* public safety is endangered by the widespread railroad adoption of one-crew member train operations that fail to achieve the same level of safety that is achieved through the use of two-person crews.

The NPRM contains two main provisions. The first provision establishes a general rule that each train operating in the country be assigned at least a two-person crew. The rule goes on to identify exceptions to this rule in various existing situations that the FRA considers low-risk, including for trains that are hauling less than 20 carloads of hazardous materials; for small railroads with trains operating at less than 25 mph; for tourist or other excursion trains; or, for trains assisting in railroad operations (e.g., track maintenance, train assistance, or moving locomotives). The second provision defines the role and responsibilities of the second crew member on a moving train to insure that this crew member has the experience and knowledge necessary to serve as an effective asset to the train’s crew team as incidents arise during train movements.

The new FRA rules are proposing two ways to handle railroad petitions to the FRA for use of one-person crews, for either the continuation of operations that were in existence as of January 1, 2015 or for the initiation of new operations. ***Option 1*** would require a railroad to submit an application to the FRA, which would then be reviewed and approved or rejected within 90 days of receipt. Existing one-person train operations would be allowed to continue during the 90-day review period. ***Option 2*** would require a railroad to submit documentation to the FRA demonstrating the safety of its proposed one-person train operations, but it would not require FRA approval before beginning or continuing any grandfathered operations. The FRA, however, would reserve the right to investigate subsequent safety issues and to discontinue unsafe single crew member train operations. ***Option 1 pre-approval*** places the burden of proving safety on the petitioning railroad before such operations commence (or continue if they were in existence prior to 2015) in order to obtain an affirmative sign-off from the FRA. ***Option 2 allows the railroad to commence single crew member operations*** as long as the railroad has submitted an “FYI” petition to the FRA and an officer of the company attests that the railroad undertook a safety evaluation of the operation covered in the petition.

In the NPRM, the FRA has explained the functions of crew members and its concerns surrounding operating trains with just one crew member based on knowledge gleaned from two major rail accident investigations and reviews of relevant crew-related safety research. The FRA’s concerns include cognitive overload when one crew member needs to operate a complex and heavy train while maintaining situational awareness of what is happening outside the train locomotive; potential for increases in impaired operation associated with drug use, alcohol use, fatigue, and unauthorized use of distracting electronics by the one crew member; the inability of a single crew member who is operating the train to operate manual switches or serve as a flagger if a crossing gate fails while in route; and, the extent to which a single crew member can perform necessary public safety duties in cases of train accidents and malfunctions.

In a 2014 research report conducted by the FRA involving five public surveys, the agency found that 77% of all respondents support federal legislation requiring freight trains to be operated by a crew of two. Another finding was that an overwhelming majority of those polled (between 83 to 87 percent in each of the five surveys) had the opinion that, generally speaking, when it comes to railroad safety and operations, a train operated by one operator cannot be as safe as a train operated by a crew of two individuals. While the public intuitively believes this to be the case, the FRA – as the experienced federal regulator of safe railroad operations – clearly shares these public concerns.

**ISSUES OF CONCERN TO LOCAL GOVERNMENTS:** Agencies of local government serve as first responders in the event of a public safety threat associated with railroad operations. Whether it be malfunctioning crossing gates, traffic back-ups stemming from blocked crossings, or in worst case scenarios of a rail derailment involving a hazmat release. As such, local governments are critical stakeholders in a railroad’s train staffing decisions.

The quarter-century history of federal hindsight efforts to insure that flammable hazmat (like crude oil) be hauled in robust tank cars clearly serves as a cautionary tale in support of the FRA’s current efforts to take a proactive approach when it comes to insuring that adequately staffed trains operate on the nation’s 140,000-mile rail network. In the wake of a series of crude train derailments, the FRA described in Emergency Order 28 the chilling lack of non-compliance by railroads when it comes to train securement rules, so local governments believe that allowing industry to make staffing decisions without proper regulatory oversight in advance constitutes a clear and unacceptable risk to public safety. As a result, the Option 2 approach lacks the proactive regulatory review and approval that should be mandatory before any train operates with a single crew member.

Furthermore, local governments urge FRA to strengthen the train crew staffing rules laid out in FRA-2014-0033 by requiring that all trains hauling any number of carloads of flammable and/or explosive hazmat have at least a two-member crew. This would harmonize the U.S. with Canada’s rules for crew sizes on all trains carrying dangerous goods.

**ACTION REQUEST OF LOCAL GOVERNMENTS:** In support of the FRA’s approach to crew staffing levels, local governments across the country should weigh in on the positions described above. To that end, a sample resolution is attached that local units of government can adopt and forward to the FRA to indicate their support for new crew staffing rules that best protect public safety interests.

Once adopted, a copy of your government’s resolution should be uploaded electronically **BY AUGUST 15, 2016** to docket FRA-2014-0033 by going to <https://www.regulations.gov/#!home> and typing “FRA-2014-0033” into the search box. Then please forward a copy of the resolution to your Members of Congress in the Senate and the House of Representatives.

Any questions you may have on this matter can be directed to [FightRailCongestion@gmail.com](mailto:FightRailCongestion@gmail.com). Thank you!

**VILLAGE OF DEERFIELD  
LAKE AND COOK COUNTIES, ILLINOIS**

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**RESOLUTION NO. O-16-**

**A RESOLUTION IN SUPPORT OF FRA CREW SIZE RULE**

WHEREAS, the safe operation of freight and passenger trains is vital not only to interstate commerce but also to the health and welfare of local communities, and the Village of Deerfield supports efforts to keep train operations safe in our Village;

WHEREAS, the Federal Railroad Administration (FRA) has published a notice of proposed rulemaking (NPRM) to require minimum staffing on trains, a factor vital to ensuring safe train operations;

WHEREAS the FRA NPRM proposes two alternate options for permitting a railroad to operate with fewer than a two-person crew, the first of which is stronger because it requires FRA review and approve prior to commencement of those operation as opposed to after;

WHEREAS, polling across the nation shows overwhelming bi-partisan support of two-person crews, with 83 to 87 percent of those polled in favor of mandating that trains be operated by a crew of at least two qualified individuals;

WHEREAS, national studies show that a minimum of two onboard crew members is vital to operate a train safely and minimize the likelihood of train-related accidents;

WHEREAS, the FRA proposal for a two-person minimum train crew recognizes that, while technologies like Positive Train Control (PTC) can improve safety, they do not perform several important physical and cognitive functions currently performed by a second crewmember;

WHEREAS, attending to a disabled train in a timely manner, opening a blocked crossing for an emergency vehicle to pass, and providing timely and accurate information to emergency responders are vital functions train crews perform;

WHEREAS, a railroad's use or reliance on new, innovative technology for its operations should not place new risks or burdens on local communities;

WHEREAS, metropolitan Chicago is the one of nation's largest and most significant rail hubs, making rail safety an important consideration for many of the region's municipalities and counties with rail lines within their boundaries;

WHEREAS, the Chicago metropolitan region is home to some 1,500 public at-grade highway-rail crossings, which account for some 7,800 hours of motorist delay each weekday;

WHEREAS, over 280 collisions have occurred at the Chicago metropolitan region's highway-rail grade crossings between 2009-14, resulting in 65 fatalities and 146 injuries;

WHEREAS, rail safety issues have been particularly salient in recent years after a series of high-profile derailments, collisions, and releases of flammable liquids shipped by rail, as well as collisions at highway-rail grade crossings across the country and in Canada and has caused Canadian regulators to put in place a two-member crew requirement for any train transporting hazardous goods;

WHEREAS, virtually all trains in North America are already operated by crews of at least two individuals, making the economic impact of the FRA NPRM minimal;

WHEREAS, the public deserves the assurance that a thorough risk analysis has been completed, risks have been properly identified, and a rail carrier has mitigated these risks in advance of any approval for reduced crew staffing and borne the burden and cost to mitigate these risks;

THEN THEREFORE be it resolved, that the Village of Deerfield does hereby support the FRA's train crew staffing NPRM, and encourages the FRA to strengthen the rule to ensure that communities around railroads are protected and safe by requiring FRA review and approval before a railroad is allowed to operate with less than a two-person crew.

BE IT FURTHER RESOLVED that this resolution be filed with the United States Department of Transportation in the form of comments to Docket Number FRA-2014-0033 and Regulatory Identification Number 2130-AC48 in support of a strong federal rule.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk