

AGENDA FOR THE BOARD OF TRUSTEES

Monday, May 16, 2016, 7:30 P.M.

Call to Order
Roll Call
Pledge of Allegiance – Bill Love, Sons of the American Legion
Recognition – Honor Flight Participants
Community Development Departmental Objectives Report
Minutes of Previous Meetings
Bills and Payroll
Public Comment

REPORTS

- 16- 49 Report and Recommendation of the Plan Commission re: Request for a Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant)
- 16-50 Report and Recommendation of the Plan Commission re: Request for a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A in Deerfield Village Centre

CONSENT AGENDA

- 16-44-1 Ordinance Approving a Final Development Plan for 7 Parkway North Center and to Amend the Parkway North Center Sign Plan to Allow a Wall Sign at 7 Parkway North – 1R
- 16-45-1 Ordinance Amending the Shoppers Court Commercial Planned Unit Development to Permit Major Renovations to the 636 Deerfield Road Building to Convert the Building into a Multi-Tenant Building, and Changes to the West End of the Village Owned Municipal Parking Lot – 1R
- 16-38-2 Ordinance Approving a Final Development Plan for 8 Parkway North in the Parkway North Center – Quadrangle Development Company – 2R

OLD BUSINESS

- 16-41-1 Ordinance Authorizing a Fence Height Modification at 705 Indian Hill Road for a Fence 10 Feet in Height Instead of the Permitted Maximum Height of 7 Feet – 1R

NEW BUSINESS

- 16-51 Analysis and Award of Bid for 2016 Street Rehabilitation Project
- 16-52 Award of Contract for Deerlake Road/Estate Drive Rehabilitation Project
- 16-53 Award of Contract for Construction Engineering Services for the Deerlake Road/Estate Drive Rehabilitation Project
- 16-54 Resolution Ratifying the Selection of the Speer Financial, Inc. as the Village Municipal Advisor
- 16-55 Resolution Authorizing a First Amendment to a Mutual and Reciprocal Access Easement Agreement
- 16-56 Resolution Authorizing an Economic Incentive Agreement between the Village of Deerfield, Gateway Fairview, Inc. and Jewel Food Stores, Inc.

Items for discussion by Mayor and Board of Trustees
Reports of the Village Manager
Adjournment

REQUEST FOR BOARD ACTION

SUBJECT: Departmental Report of the Community Development Department
Building Division November 1, 2015 through April 30, 2016

Action Requested: Approval of Report

Originated By: Community Development Department – Building Division

Referred To: Mayor and Board of Trustees

Reports and Documents Attached

Departmental Report
Building Activity Chart
MUNIS Aml-woodview Inspection Report

Date Referred to Board: May 16, 2016

Action Taken: _____

**Village of Deerfield
Department of Community Development
Building Division
November 1, 2015 to April 30, 2016**

Departmental Status and Goals

A brief overview of the past 6 months indicates that building trends within the Village of Deerfield have diminished. The primary goals of the Building Department are currently to provide increased flexibility in scheduling and recover the previously established plan review schedule of 3-4 weeks from the time of submittal to the time of release.

Building Department personnel have been actively pursuing continuing education for additional certification to increase knowledge of the 2012 ICC Codes and maintain their current professional level of expertise.

Current Construction Statistics

A total of 468 building permits were issued during the six-month period ending April 30, 2016. For the comparable period in 2014-2015, 411 permits were issued. The amount of fees collected for the last period was \$ 651,104 which is approximately a \$144,000 increase over the amount for the comparable period last year. The construction value represented by the permits issued during this last six-month period is \$30,513,679. This is approximately an increase of a little more than \$7 million over the last 2014-2015 period.

Of the permits issued over the last six months, 85% were for residentially related work. 70 permits were issued for various types of commercial work. The total number of building inspections performed during the last six months is down from the previous comparable period. Previously, 1716 inspections were performed as opposed to the 1209 performed during this reporting period. The decrease can be attributed to the completion of the Woodview and Amlis projects in November and December of 2015.

15 homes were demolished during the last six months as compared to 11 during the comparable period 2014-2015. There are approximately 37 new single-family homes currently under construction. At this time there are 6 applications for new homes that are awaiting comment responses/correction to the plans from the Design Professional, Contractor or Owner.

Residential Development

Last fall the Amlis and Woodview projects were, on an inspectional level, completed. During the course of construction there were 1339 inspection appointments made for site visits, while on site the inspectors completed several inspections of different types in different areas of the developments. The total number of inspections performed and time spent by the Building Division resulting in 488 apartment units and associated amenities for the two projects can only be estimated.

The Taylor Junction and Elysian Way projects are underway, soon to start is Samanthas Way. Combined, these three projects will be adding 25 residential units where 4 units formerly stood.

Commercial Construction

In the Corporate 500, Walgreen, Takeda, Parkway North campuses more than 30 projects are in various stages of completion. 1425 Lake Cook Rd. is undergoing a comprehensive interior, 3 story demolition and rebuild. Soon to start will be the Shopper's Court/Overstock, Parkway North buildings 7 and 8, Portillos, Jewel expansion and Briarwood Country Club paddle tennis courts, phase II.

New Regulations

Building, Engineering, Police and Public Works continue to work together enforcing the Construction Management, Drainage and Tree preservation Ordinances. Contractors, architects and residents continue to provide the department with interesting and creative interpretations of how certain sections of the various ordinances should be applied.

Other Services

Pre-construction meetings, plan review and guidance for potential submissions to the Board of Zoning Appeals are incrementally increasing as well.

Board of Zoning Appeals

2 Public Hearings for fence height modifications were held November thru April of 2015-2016. A potential request is being investigated by the property owners who are considering seeking relief from the "Established Front Yard Requirements" for property in the northwest quadrant.

Legal Issues, Foreclosures, FOIAs

Staff continues to provide information that relates to the recent failure of one of the General Contractors that had a 15 year construction history in the Village.

Court foreclosure documents served the village in the last 6 months are a poor source to determine foreclosures within the community. Zillow indicates 5 in lis-pendens or pre-foreclosure and 3 in foreclosure within Deerfield corporate limits.

Staff has responded to 54 Freedom of Information Act requests, varying from a few to in excess of a hundred pages have been filled.

Objectives

The upcoming 6 month period will add additional enforcement responsibilities such as the following but not limited to; tall grass, political signs, refuse container storage, inoperable vehicles and others assigned from time to time by observation and/or complaint.

Staff has noted that there are some incorrect references in the Municipal Code that need to be amended (corrected), as time permits.

The Building Division currently has two 4G lte tablets which are intended to streamline the recording of conditions and results of field inspections on site using a MUNIS module called "Field Inspector" which claims to be compatible with "Outlook". The successful introduction of the devices and software will be a benefit.

In conjunction with other departments, staff is developing a written set of standard operating procedures in an effort to clearly state what is expected but has been unwritten. As an example, inspections are scheduled on a specific time basis, an appropriate project representative failing to meet the inspector within 15 minutes of the appointed time, at the appointed location will result in the inspector, with discretion, proceeding to the next scheduled inspection.

ACTIVITY COMPARISON

	11/01/14-04/30/15	05/01/15-10/31/15	11/01/15-04/30/16
Building Permits	415	915	468
Fees Collected*	\$506,867	\$721,295	\$651,104
Construction Value	\$23,462,486	\$31,034,762	\$30,513,679
Inspections Performed	1716	2291	1209

* Fees Collected does not include refundable deposits

	11/01/14-04/30/15	05/01/15-10/31/15	11/01/15-04/30/16		
November	250	May	362	November	257
December	312	June	401	December	238
January	204	July	431	January	135
February	241	August	384	February	157
March	311	September	351	March	187
April	398	October	362	April	235



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
SITE DEVELOPMENT	04/18/14	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73075	A
FOOTING PRE POUR	07/24/14	CBC	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80215	A
FOUNDATION PRE POUR	08/08/14	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80969	A
SLAB/PADS	08/28/14	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81603	A
SLAB/PADS	10/01/14	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83006	A
SLAB/PADS	10/14/14	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83353	A
FINAL/C.O.	05/07/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94426	A
INSULATION	05/07/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94475	A
INSULATION	05/07/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94140	A
ROUGH ALL TRADES	05/08/15	CBC	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94461	A
INSULATION	05/08/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94462	A
HVAC/MECHANICAL	05/08/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94482	A
INSULATION	05/08/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94483	A
FINAL/C.O.	05/08/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90057	A
HVAC/MECHANICAL	05/11/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94427	A
ROUGH ALL TRADES	05/11/15	CBC	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94464	A
ROUGH ALL TRADES	05/11/15	CBC	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94466	A
HVAC/MECHANICAL	05/11/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94467	A
INSULATION	05/12/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94470	A
INSULATION	05/12/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94474	A
FINAL/C.O.	05/13/15	CBC	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94425	A
INSULATION	05/13/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94473	A
FINAL/C.O.	05/14/15	CBC	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94424	A
HVAC/MECHANICAL	05/14/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94459	A
INSULATION	05/14/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94460	A
FINAL/C.O.	05/15/15	CBC	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94423	A
INSULATION	05/15/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94472	A
ROUGH PLUMBING	05/18/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94392	A
FINAL/C.O.	05/18/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94422	A
INSULATION	05/18/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94471	A
ROUGH PLUMBING	05/19/15	CBC	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94391	A
ABOVE CEILING	05/20/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94428	A
INSULATION	05/21/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80332	A
INSULATION	05/22/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94389	A
FINAL/C.O.	05/22/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94390	A
FOUNDATION PRE POUR	05/22/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94456	A
ROUGH ALL TRADES	05/22/15	CBC	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94457	A
INSULATION	05/22/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94458	A
FINAL/C.O.	06/01/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94421	A
FINAL/C.O.	06/03/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94420	A
INSULATION	06/09/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91177	A
FINAL/C.O.	06/09/15	CBC	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91178	A
ROUGH ELECTRICAL	06/10/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80327	A
OTHER	06/22/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91622	A
SIDEWALK/STOOP PRE P	07/09/15	CBC	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73081	A
SERVICEWALK PREPOUR	07/10/15	CBC	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92512	A
SERVICEWALK PREPOUR	07/27/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92445	A
FINAL/C.O.	08/03/15	CBC	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93348	A
INSULATION	08/03/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93349	A
INSULATION	08/03/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93310	A
ROUGH ALL TRADES	08/03/15	CBC	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93345	A
FINAL/C.O.	08/28/15	CBC	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94621	A



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
OTHER	12/09/15	CBC	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97766	A
INSPECTOR TOTALS:		53 INSPECTIONS		FEES:		.00 PAID TO DATE:	.00 UNPAID:	.00	
FINAL OTHER AGENCIES	05/14/15	DBFD	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90479	A
FINAL OTHER AGENCIES	05/29/15	DBFD	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90914	A
FINAL OTHER AGENCIES	06/05/15	DBFD	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93559	A
FINAL OTHER AGENCIES	08/21/15	DBFD	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94387	A
FINAL OTHER AGENCIES	09/17/15	DBFD	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95339	A
INSPECTOR TOTALS:		5 INSPECTIONS		FEES:		.00 PAID TO DATE:	.00 UNPAID:	.00	
ELEVATOR - FINAL	05/28/15	EIS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90725	A
ELEVATOR - FINAL	05/28/15	EIS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90726	A
ELEVATOR - FINAL	08/19/15	EIS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94143	A
FINAL OTHER AGENCIES	08/19/15	EIS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94144	A
FINAL OTHER AGENCIES	09/23/15	EIS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95737	A
INSPECTOR TOTALS:		5 INSPECTIONS		FEES:		.00 PAID TO DATE:	.00 UNPAID:	.00	
FOOTING PRE POUR	03/14/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73029	A
FOOTING PRE POUR	03/20/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	74779	A
FOOTING PRE POUR	03/21/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	74829	A
FOUNDATION PRE POUR	03/24/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73036	A
FOOTING PRE POUR	03/24/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	74838	A
FOUNDATION BACKFILL	04/08/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73037	A
FOOTING PRE POUR	04/11/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	75909	A
FOUNDATION PRE POUR	04/16/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	76019	A
UNDERGROUND ELECTRIC	04/29/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	76605	A
TEMPORARY ELECTRICAL	05/21/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	JFMC FACILITIES CORPORA	77239	A
FOOTING PRE POUR	06/09/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79120	A
UNDERGROUND ELECTRIC	06/09/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	JFMC FACILITIES CORPORA	79121	A
UNDERGROUND ELECTRIC	06/10/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	JFMC FACILITIES CORPORA	79122	A
UNDERGROUND ELECTRIC	06/16/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	JFMC FACILITIES CORPORA	78538	A
SLAB/PADS	06/17/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79089	A
PIERS	06/20/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73030	A
UNDERGROUND ELECTRIC	06/23/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	JFMC FACILITIES CORPORA	79125	A
FOOTING PRE POUR	06/25/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79087	A
FOUNDATION PRE POUR	06/27/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79088	A
PIERS	06/30/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79334	A
UNDERGROUND ELECTRIC	06/30/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79335	A
FOOTING PRE POUR	07/01/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79333	A
FOUNDATION PRE POUR	07/02/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79679	A
SLAB/PADS	07/07/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83626	A
FOOTING PRE POUR	07/28/14	JLH	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73076	A
FOUNDATION PRE POUR	07/29/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80538	A
FOOTING PRE POUR	07/29/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	80539	A
FOOTING PRE POUR	07/30/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80580	A
SLAB/PADS	07/30/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80639	A
FOUNDATION PRE POUR	07/30/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	80599	A
FOUNDATION PRE POUR	07/31/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80647	A
FOUNDATION PRE POUR	07/31/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	80646	A



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
FOUNDATION BACKFILL	08/01/14	JLH	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73084	A
FOUNDATION PRE POUR	08/01/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80720	A
FOUNDATION PRE POUR	08/04/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80712	A
FOUNDATION PRE POUR	08/04/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	80713	A
SLAB/PADS	08/05/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80819	A
FOUNDATION PRE POUR	08/06/14	JLH	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73083	A
FOUNDATION PRE POUR	08/06/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80840	A
FOUNDATION PRE POUR	08/07/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80883	A
FOUNDATION PRE POUR	08/07/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	80882	A
FOUNDATION PRE POUR	08/11/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81077	A
UNDERGROUND ELECTRIC	08/12/14	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81084	A
UNDERGROUND ELECTRIC	08/13/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81142	A
FOUNDATION PRE POUR	08/13/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81143	A
PIERS	08/14/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81171	A
SLAB/PADS	08/14/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81173	A
UNDERGROUND ELECTRIC	08/14/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81174	A
FOUNDATION PRE POUR	08/14/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81175	A
FOUNDATION PRE POUR	08/15/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81203	A
FOUNDATION PRE POUR	08/15/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81204	A
FOUNDATION PRE POUR	08/18/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81292	A
UNDERGROUND ELECTRIC	08/18/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81294	A
FOUNDATION PRE POUR	08/18/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81293	A
FOOTING PRE POUR	08/19/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81316	A
FOUNDATION PRE POUR	08/20/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81349	A
FOOTING PRE POUR	08/20/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81350	A
UNDERGROUND ELECTRIC	08/20/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81351	A
UNDERGROUND ELECTRIC	08/21/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81356	A
SLAB/PADS	08/21/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81355	A
FOUNDATION PRE POUR	08/25/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81503	A
FOUNDATION PRE POUR	08/26/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81502	A
FOUNDATION PRE POUR	08/27/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81592	A
FOUNDATION PRE POUR	08/27/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81641	A
UNDERGROUND ELECTRIC	09/02/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81683	A
UNDERGROUND ELECTRIC	09/03/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81736	A
FOUNDATION PRE POUR	09/03/14	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81737	A
FOUNDATION PRE POUR	09/04/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81768	A
FOOTING PRE POUR	09/04/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81819	A
FOUNDATION PRE POUR	09/04/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81820	A
SLAB/PADS	09/05/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81773	A
SLAB/PADS	09/05/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81774	A
UNDERGROUND ELECTRIC	09/08/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81976	A
FOUNDATION PRE POUR	09/08/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81977	A
UNDERGROUND ELECTRIC	09/09/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82068	A
SLAB/PADS	09/09/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82146	A
FOUNDATION PRE POUR	09/09/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82067	A
FOUNDATION PRE POUR	09/11/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83583	A
FOUNDATION PRE POUR	09/12/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83127	A
UNDERGROUND ELECTRIC	09/15/14	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83199	A
SLAB/PADS	09/19/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83128	A
UNDERGROUND ELECTRIC	09/26/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82791	A
FOUNDATION PRE POUR	09/26/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82792	A
FOUNDATION PRE POUR	09/29/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82890	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
UNDERGROUND ELECTRIC	09/30/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82913	A
UNDERGROUND ELECTRIC	09/30/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82918	A
FOUNDATION PRE POUR	09/30/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82919	A
FOOTING PRE POUR	10/03/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83074	A
UNDERGROUND ELECTRIC	10/06/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83097	A
FOUNDATION PRE POUR	10/06/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83098	A
UNDERGROUND ELECTRIC	10/08/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83582	A
FOOTING PRE POUR	10/08/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83581	A
FOOTING PRE POUR	10/09/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83498	A
FOUNDATION PRE POUR	10/09/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83445	A
UNDERGROUND ELECTRIC	10/09/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83446	A
UNDERGROUND ELECTRIC	10/10/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83854	A
FOUNDATION PRE POUR	10/10/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83858	A
FOOTING PRE POUR	10/14/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83372	A
FOUNDATION PRE POUR	10/15/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83443	A
UNDERGROUND ELECTRIC	10/16/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83579	A
FOUNDATION PRE POUR	10/16/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83580	A
SLAB/PADS	10/20/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83676	A
FOOTING PRE POUR	10/20/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83677	A
FOUNDATION PRE POUR	10/21/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83810	A
SLAB/PADS	10/22/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83860	A
UNDERGROUND ELECTRIC	10/22/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83861	A
FOOTING PRE POUR	10/23/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83982	A
SLAB/PADS	10/24/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83984	A
ELECTRICAL SERVICE	10/24/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83985	A
FOUNDATION PRE POUR	10/24/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83983	A
SLAB/PADS	10/29/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83986	A
FOUNDATION PRE POUR	10/30/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83988	A
UNDERGROUND ELECTRIC	10/31/14	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83989	A
SLAB/PADS	10/31/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83990	A
UNDERGROUND ELECTRIC	11/03/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84025	A
FOUNDATION PRE POUR	11/03/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84026	A
SLAB/PADS	11/05/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84404	A
OTHER	11/19/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84556	A
OTHER	11/21/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84657	A
SLAB/PADS	11/25/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84772	A
GARAGE FLOOR PRE POU	11/26/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84773	A
UNDERGROUND ELECTRIC	12/03/14	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84871	A
GARAGE FLOOR PRE POU	12/03/14	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84872	A
ROUGH FRAMING	12/22/14	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73046	A
FIRE STOP/DRAFT STOP	12/23/14	JLH	ADD	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73054	A
ROUGH ALL TRADES	01/02/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86839	A
ROUGH ALL TRADES	01/14/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86840	A
ROUGH ALL TRADES	01/19/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86865	A
ROUGH ALL TRADES	01/19/15	JLH	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86866	A
ROUGH FRAMING	01/23/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86893	A
ANCHOR BOLT - SIL PL	01/26/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86907	A
ROUGH ALL TRADES	02/04/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87182	A
HVAC/MECHANICAL	02/04/15	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87187	A
ROUGH FRAMING	02/05/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87453	A
ROUGH ALL TRADES	02/10/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87184	A
ROUGH ALL TRADES	02/10/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87185	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	02/12/15	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87186	A
HVAC/MECHANICAL	02/12/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87183	A
ROUGH ALL TRADES	02/17/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87375	A
ROUGH ALL TRADES	02/17/15	JLH	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87456	A
ROUGH FRAMING	02/18/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87374	A
ROUGH ALL TRADES	02/18/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87265	A
OTHER	02/19/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88670	A
HVAC/MECHANICAL	02/23/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87352	A
ROUGH FRAMING	03/02/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87649	A
INSULATION	03/02/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87651	A
ROUGH ALL TRADES	03/02/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87652	A
ROUGH FRAMING	03/03/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87665	A
INSULATION	03/03/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87666	A
ROUGH ALL TRADES	03/03/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87668	A
ROUGH ALL TRADES	03/04/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87719	A
ROUGH ALL TRADES	03/05/15	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87819	A
ROUGH ALL TRADES	03/06/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87892	A
ROUGH ALL TRADES	03/06/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87820	A
OTHER	03/09/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87890	A
INSULATION	03/10/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87935	A
ROUGH ALL TRADES	03/10/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87945	A
OTHER	03/12/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87963	A
INSULATION	03/17/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88658	A
HVAC/MECHANICAL	03/18/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88359	A
HVAC/MECHANICAL	03/19/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88590	A
INSULATION	03/23/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88660	A
ROUGH ALL TRADES	03/24/15	JLH	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88361	A
INSULATION	03/25/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88362	A
ABOVE CRILING	03/26/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88644	A
ROUGH ALL TRADES	03/26/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88513	A
INSULATION	03/26/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88514	A
ROUGH ALL TRADES	03/27/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88495	A
ROUGH ALL TRADES	03/27/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88511	A
INSULATION	03/27/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88512	A
ROUGH ALL TRADES	03/30/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88515	A
INSULATION	03/31/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88634	A
INSULATION	04/01/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88657	A
HVAC/MECHANICAL	04/02/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88729	A
INSULATION	04/02/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88730	A
HVAC/MECHANICAL	04/07/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88927	A
INSULATION	04/08/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88925	A
OTHER	04/09/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88926	A
INSULATION	04/09/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88983	A
INSULATION	04/14/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89044	A
INSULATION	04/21/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89134	A
ROUGH ALL TRADES	04/21/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89135	A
ROUGH ALL TRADES	04/22/15	JLH	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89174	A
SIDEWALK/SLOOP PRE P	04/23/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89223	A
INSULATION	04/23/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89224	A
FINAL/C.O.	04/24/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80345	A
INSULATION	04/24/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89280	A
FOOTING PRE POUR	04/24/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89281	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	04/27/15	JLH	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89347	A
INSULATION	04/27/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89348	A
ROUGH ALL TRADES	04/28/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89528	A
INSULATION	04/29/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89563	A
INSULATION	04/29/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89566	A
ROUGH FRAMING	04/30/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89579	A
HVAC/MECHANICAL	04/30/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89586	A
ROUGH ALL TRADES	05/01/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89678	A
ABOVE CEILING	06/19/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91529	A
INSULATION	06/22/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91625	A
FINAL/C.O.	06/24/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91696	A
INSULATION	06/24/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91697	A
FINAL/C.O.	06/25/15	JLH	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91750	A
INSULATION	06/25/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91751	A
ABOVE CEILING	06/26/15	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91862	A
ROUGH FRAMING	07/09/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92468	A
FINAL/C.O.	07/10/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92580	A
FINAL/C.O.	07/10/15	JLH	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92581	A
FINAL/C.O.	07/13/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92602	A
ROUGH ALL TRADES	07/16/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92705	A
ROUGH ALL TRADES	07/17/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92758	A
ABOVE CEILING	07/17/15	JLH	A/N	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92759	A
FINAL/C.O.	07/20/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92807	A
FINAL/C.O.	07/21/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92850	A
ROUGH ALL TRADES	07/28/15	JLH	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93189	A
FINAL/C.O.	08/10/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93629	A
FINAL/C.O.	08/11/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93900	A
FINAL/C.O.	08/12/15	JLH	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93901	A
FINAL/C.O.	08/14/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94050	A
FINAL/C.O.	08/26/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94740	A
FINAL/C.O.	08/27/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94741	A
FINAL/C.O.	09/01/15	JLH	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94738	A
FINAL/C.O.	09/08/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94980	A
FINAL/C.O.	09/09/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95075	A
FINAL/C.O.	09/10/15	JLH	A/N	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95076	A
ROUGH ALL TRADES	09/29/15	JLH	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95726	A
FOOTING PRE POUR	12/21/15	JLH	A	NEW MULTI	D	NWQ 844 CHESTNUT ST 1	JACOBS VENTURE II LLC	96952	A
INSPECTOR TOTALS:			225	INSPECTIONS		FEEES: .00	PAID TO DATE: .00	UNPAID: .00	
OTHER	06/18/14	MM	NTAP	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73112	A
SEWER W/IN 5 FEET	06/24/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73058	A
SANITARY SERVICE OUT	06/26/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79098	A
UNDERGROUND PLUMBING	06/30/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79150	A
UNDERGROUND PLUMBING	07/01/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79445	A
UNDERGROUND PLUMBING	07/02/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79462	A
UNDERGROUND PLUMBING	07/03/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79466	A
UNDERGROUND PLUMBING	07/08/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79582	A
UNDERGROUND PLUMBING	07/09/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79640	A
UNDERGROUND PLUMBING	07/10/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79669	A
UNDERGROUND PLUMBING	07/14/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79712	A
UNDERGROUND PLUMBING	07/17/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79923	A



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VILLAGE OF DEERFIELD
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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
STACK TEST/PLUMBING	07/18/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73043	A
UNDERGROUND PLUMBING	07/21/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	79924	A
STACK TEST/PLUMBING	07/22/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80051	A
UNDERGROUND PLUMBING	07/23/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80156	A
STACK TEST/PLUMBING	07/24/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80255	A
STACK TEST/PLUMBING	07/28/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80461	A
UNDERGROUND PLUMBING	07/31/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80655	A
UNDERGROUND PLUMBING	08/04/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80719	A
UNDERGROUND PLUMBING	08/05/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81074	A
UNDERGROUND PLUMBING	08/06/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73088	A
ROUGH PLUMBING	08/06/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81071	A
UNDERGROUND PLUMBING	08/07/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81075	A
UNDERGROUND PLUMBING	08/08/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81072	A
UNDERGROUND PLUMBING	08/11/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81073	A
UNDERGROUND PLUMBING	08/11/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81076	A
UNDERGROUND PLUMBING	08/12/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81447	A
UNDERGROUND PLUMBING	08/12/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81450	A
UNDERGROUND PLUMBING	08/13/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81448	A
UNDERGROUND PLUMBING	08/13/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81451	A
UNDERGROUND PLUMBING	08/14/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81696	A
UNDERGROUND PLUMBING	08/14/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81697	A
UNDERGROUND PLUMBING	08/19/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81700	A
UNDERGROUND PLUMBING	08/19/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81699	A
UNDERGROUND PLUMBING	08/20/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81743	A
UNDERGROUND PLUMBING	08/20/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81742	A
UNDERGROUND PLUMBING	08/25/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81931	A
UNDERGROUND PLUMBING	08/25/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81932	A
UNDERGROUND PLUMBING	08/26/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81934	A
UNDERGROUND PLUMBING	08/26/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81935	A
UNDERGROUND PLUMBING	08/27/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81975	A
UNDERGROUND PLUMBING	08/27/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81974	A
UNDERGROUND PLUMBING	08/28/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81981	A
UNDERGROUND PLUMBING	08/28/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81982	A
UNDERGROUND PLUMBING	09/02/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81983	A
UNDERGROUND PLUMBING	09/02/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81986	A
UNDERGROUND PLUMBING	09/03/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81984	A
UNDERGROUND PLUMBING	09/03/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81987	A
UNDERGROUND PLUMBING	09/04/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81985	A
UNDERGROUND PLUMBING	09/08/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	81989	A
UNDERGROUND PLUMBING	09/08/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	81988	A
STORM SERVICE OUT 5	09/09/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73108	A
UNDERGROUND PLUMBING	09/09/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82075	A
ROUGH PLUMBING	09/11/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82187	A
UNDERGROUND PLUMBING	09/11/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82188	A
UNDERGROUND PLUMBING	09/15/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82367	A
UNDERGROUND PLUMBING	09/16/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82382	A
UNDERGROUND PLUMBING	09/16/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82381	A
UNDERGROUND PLUMBING	09/17/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82474	A
UNDERGROUND PLUMBING	09/17/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82475	A
UNDERGROUND PLUMBING	09/18/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82601	A
UNDERGROUND PLUMBING	09/18/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82600	A
UNDERGROUND PLUMBING	09/22/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82636	A



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INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
UNDERGROUND PLUMBING	09/23/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82694	A
STORM SERVICE OUT 5	09/23/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82695	A
SANITARY SERVICE OUT	09/24/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73106	A
UNDERGROUND PLUMBING	09/24/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82746	A
WATER W/IN 5 FEET	09/24/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73060	A
SEWER W/IN 5 FEET	09/25/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73105	A
UNDERGROUND PLUMBING	09/25/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82747	A
UNDERGROUND PLUMBING	09/25/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	82935	A
UNDERGROUND PLUMBING	09/29/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	82936	A
UNDERGROUND PLUMBING	09/30/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83013	A
UNDERGROUND PLUMBING	09/30/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83014	A
UNDERGROUND PLUMBING	10/01/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83035	A
UNDERGROUND PLUMBING	10/01/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83036	A
UNDERGROUND PLUMBING	10/02/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83069	A
UNDERGROUND PLUMBING	10/02/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83070	A
UNDERGROUND PLUMBING	10/06/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83125	A
UNDERGROUND PLUMBING	10/06/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83118	A
STACK TEST/PLUMBING	10/07/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83178	A
UNDERGROUND PLUMBING	10/07/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83179	A
UNDERGROUND PLUMBING	10/08/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83202	A
UNDERGROUND PLUMBING	10/08/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83203	A
UNDERGROUND PLUMBING	10/09/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83291	A
UNDERGROUND PLUMBING	10/09/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83290	A
UNDERGROUND PLUMBING	10/13/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83495	A
UNDERGROUND PLUMBING	10/13/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83494	A
UNDERGROUND PLUMBING	10/15/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83496	A
ROUGH PLUMBING	10/16/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83563	A
UNDERGROUND PLUMBING	10/16/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83564	A
ROUGH PLUMBING	10/20/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80322	A
UNDERGROUND PLUMBING	10/20/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83704	A
ROUGH PLUMBING	10/21/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83730	A
UNDERGROUND PLUMBING	10/21/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83729	A
ROUGH PLUMBING	10/22/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83775	A
SANITARY SERVICE OUT	10/22/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83774	A
DRAINTILE/BACKFILL	10/23/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73085	A
ROUGH PLUMBING	10/23/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83780	A
STORM SERVICE OUT 5	10/23/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83778	A
SANITARY SERVICE OUT	10/23/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83779	A
ROUGH PLUMBING	10/27/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83865	A
SANITARY SERVICE OUT	10/27/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83866	A
STORM SERVICE OUT 5	10/27/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83867	A
ROUGH PLUMBING	10/28/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83900	A
UNDERGROUND PLUMBING	10/28/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83901	A
ROUGH PLUMBING	10/29/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83905	A
UNDERGROUND PLUMBING	10/29/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83906	A
ROUGH PLUMBING	10/30/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83934	A
UNDERGROUND PLUMBING	10/30/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	83935	A
ROUGH PLUMBING	11/03/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84037	A
ROUGH PLUMBING	11/03/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84036	A
ROUGH PLUMBING	11/04/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84109	A
UNDERGROUND PLUMBING	11/04/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84110	A
UNDERGROUND PLUMBING	11/05/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84153	A



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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH PLUMBING	11/05/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84152	A
ROUGH PLUMBING	11/06/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84258	A
ROUGH PLUMBING	11/06/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84257	A
ROUGH PLUMBING	11/10/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84331	A
UNDERGROUND PLUMBING	11/10/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84332	A
ROUGH PLUMBING	11/11/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84464	A
UNDERGROUND PLUMBING	11/11/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84463	A
ROUGH PLUMBING	11/13/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84579	A
UNDERGROUND PLUMBING	11/13/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84580	A
ROUGH PLUMBING	11/17/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84582	A
ROUGH PLUMBING	11/17/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84581	A
WATER W/IN 5 FEET	11/18/14	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73107	A
WATER W/IN 5 FEET	11/19/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84651	A
WATER W/IN 5 FEET	11/19/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84652	A
ROUGH PLUMBING	11/20/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84654	A
WATER W/IN 5 FEET	11/20/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84653	A
WATER W/IN 5 FEET	11/24/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84670	A
ROUGH PLUMBING	11/25/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84756	A
WATER W/IN 5 FEET	11/25/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84757	A
ROUGH PLUMBING	11/26/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84774	A
WATER W/IN 5 FEET	11/26/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84775	A
ROUGH PLUMBING	12/01/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84821	A
ROUGH PLUMBING	12/02/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84829	A
WATER W/IN 5 FEET	12/02/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84830	A
ROUGH PLUMBING	12/03/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	84928	A
ROUGH PLUMBING	12/03/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	84929	A
ROUGH PLUMBING	12/04/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85046	A
ROUGH PLUMBING	12/04/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85047	A
ROUGH PLUMBING	12/08/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85049	A
ROUGH PLUMBING	12/09/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85060	A
ROUGH PLUMBING	12/10/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85064	A
ROUGH PLUMBING	12/10/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85067	A
ROUGH PLUMBING	12/10/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85065	A
ROUGH PLUMBING	12/11/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85162	A
ROUGH PLUMBING	12/11/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85163	A
ROUGH PLUMBING	12/15/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85228	A
WATER W/IN 5 FEET	12/15/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85229	A
ROUGH PLUMBING	12/16/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	85244	A
WATER W/IN 5 FEET	12/16/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85245	A
ROUGH PLUMBING	12/17/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86287	A
WATER W/IN 5 FEET	12/17/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86286	A
ROUGH PLUMBING	12/18/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86336	A
WATER W/IN 5 FEET	12/18/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86334	A
ROUGH PLUMBING	12/22/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86509	A
ROUGH PLUMBING	12/22/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86508	A
ROUGH PLUMBING	12/23/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86506	A
ROUGH PLUMBING	12/23/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86507	A
ROUGH PLUMBING	12/24/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86503	A
UNDERGROUND PLUMBING	12/24/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86504	A
WATER W/IN 5 FEET	12/29/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80340	A
ROUGH PLUMBING	12/29/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86510	A
ROUGH PLUMBING	12/29/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86511	A



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VILLAGE OF DEERFIELD
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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH PLUMBING	12/30/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86518	A
WATER W/IN 5 FEET	12/30/14	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86519	A
ROUGH PLUMBING	12/30/14	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86520	A
WATER W/IN 5 FEET	01/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86726	A
ROUGH PLUMBING	01/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86727	A
WATER W/IN 5 FEET	01/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86725	A
ROUGH PLUMBING	01/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86742	A
WATER W/IN 5 FEET	01/13/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86750	A
ROUGH PLUMBING	01/14/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86769	A
ROUGH PLUMBING	01/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86820	A
WATER W/IN 5 FEET	01/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86819	A
STACK TEST/PLUMBING	01/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80323	A
WATER W/IN 5 FEET	01/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86850	A
WATER W/IN 5 FEET	01/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86849	A
STACK TEST/PLUMBING	01/20/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86869	A
WATER W/IN 5 FEET	01/20/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86870	A
STACK TEST/PLUMBING	01/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86873	A
ROUGH PLUMBING	01/21/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86874	A
WATER W/IN 5 FEET	01/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86896	A
ROUGH PLUMBING	01/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86897	A
ROUGH PLUMBING	01/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86898	A
ROUGH PLUMBING	01/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86901	A
WATER W/IN 5 FEET	01/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86902	A
WATER W/IN 5 FEET	01/26/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86903	A
ROUGH PLUMBING	01/26/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86904	A
ROUGH PLUMBING	01/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86979	A
ROUGH PLUMBING	01/27/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86980	A
ROUGH PLUMBING	01/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87018	A
ROUGH PLUMBING	01/28/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87015	A
ROUGH PLUMBING	01/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87020	A
ROUGH PLUMBING	01/29/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87021	A
ROUGH PLUMBING	02/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87039	A
ROUGH PLUMBING	02/03/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87040	A
ROUGH PLUMBING	02/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87063	A
ROUGH PLUMBING	02/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87064	A
ROUGH PLUMBING	02/05/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87120	A
ROUGH PLUMBING	02/05/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87119	A
STACK TEST/PLUMBING	02/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73090	A
WATER W/IN 5 FEET	02/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87126	A
ROUGH PLUMBING	02/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87132	A
ROUGH PLUMBING	02/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87133	A
ROUGH PLUMBING	02/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87175	A
ROUGH PLUMBING	02/11/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87174	A
WATER W/IN 5 FEET	02/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87177	A
WATER W/IN 5 FEET	02/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87181	A
ROUGH PLUMBING	02/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87203	A
ROUGH PLUMBING	02/16/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87204	A
ROUGH PLUMBING	02/17/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87260	A
ROUGH PLUMBING	02/17/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87258	A
ROUGH PLUMBING	02/18/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87300	A
WATER W/IN 5 FEET	02/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87322	A
WATER W/IN 5 FEET	02/23/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87353	A



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VILLAGE OF DEERFIELD
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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH PLUMBING	02/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87372	A
ROUGH PLUMBING	02/25/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87416	A
ROUGH PLUMBING	02/25/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87417	A
STACK TEST/PLUMBING	02/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87544	A
ROUGH PLUMBING	03/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87670	A
ROUGH PLUMBING	03/02/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87671	A
ROUGH PLUMBING	03/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87726	A
ROUGH PLUMBING	03/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87725	A
ROUGH PLUMBING	03/05/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87732	A
STACK TEST/PLUMBING	03/05/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87731	A
ROUGH PLUMBING	03/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87891	A
STACK TEST/PLUMBING	03/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87893	A
STACK TEST/PLUMBING	03/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87932	A
STACK TEST/PLUMBING	03/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87931	A
STACK TEST/PLUMBING	03/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87933	A
STACK TEST/PLUMBING	03/11/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87934	A
STACK TEST/PLUMBING	03/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88054	A
STACK TEST/PLUMBING	03/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88055	A
ROUGH PLUMBING	03/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88060	A
ROUGH PLUMBING	03/16/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88058	A
ROUGH PLUMBING	03/17/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88077	A
ROUGH PLUMBING	03/17/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88076	A
ROUGH PLUMBING	03/18/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88085	A
ROUGH PLUMBING	03/18/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88086	A
ROUGH PLUMBING	03/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88147	A
ROUGH PLUMBING	03/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88146	A
STACK TEST/PLUMBING	03/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88329	A
ROUGH PLUMBING	03/23/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88331	A
STACK TEST/PLUMBING	03/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88339	A
ROUGH PLUMBING	03/24/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88342	A
ROUGH PLUMBING	03/25/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88352	A
STACK TEST/PLUMBING	03/30/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88520	A
ROUGH PLUMBING	03/30/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88521	A
STACK TEST/PLUMBING	03/30/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88519	A
ROUGH PLUMBING	03/31/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88593	A
STACK TEST/PLUMBING	03/31/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88594	A
ROUGH PLUMBING	04/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88668	A
STACK TEST/PLUMBING	04/01/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88667	A
ROUGH PLUMBING	04/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88758	A
STACK TEST/PLUMBING	04/02/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88757	A
ROUGH PLUMBING	04/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88790	A
STACK TEST/PLUMBING	04/06/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88788	A
ROUGH PLUMBING	04/07/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88933	A
ROUGH PLUMBING	04/07/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88932	A
ROUGH PLUMBING	04/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88918	A
ROUGH PLUMBING	04/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88917	A
ROUGH PLUMBING	04/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88929	A
ROUGH PLUMBING	04/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88928	A
ROUGH PLUMBING	04/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88994	A
ROUGH PLUMBING	04/13/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88998	A
ROUGH PLUMBING	04/14/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89049	A
ROUGH PLUMBING	04/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89050	A



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INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSF ID	T
ROUGH PLUMBING	04/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89070	A
ROUGH PLUMBING	04/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89071	A
ROUGH PLUMBING	04/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89086	A
ROUGH PLUMBING	04/20/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89118	A
ROUGH PLUMBING	04/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89139	A
ROUGH PLUMBING	04/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89180	A
ROUGH PLUMBING	04/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89181	A
ROUGH PLUMBING	04/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89351	A
FINAL - PLUMBING	04/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89392	A
ROUGH PLUMBING	04/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89393	A
FINAL - PLUMBING	04/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89473	A
FINAL - PLUMBING	04/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89491	A
ROUGH PLUMBING	05/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89750	A
ROUGH PLUMBING	05/05/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90058	A
ROUGH PLUMBING	05/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90068	A
ROUGH PLUMBING	05/07/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90132	A
STACK TEST/PLUMBING	05/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90267	A
FINAL - PLUMBING	05/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90268	A
ROUGH PLUMBING	05/11/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90265	A
STACK TEST/PLUMBING	05/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90208	A
ROUGH PLUMBING	05/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90207	A
SEWER W/IN 5 FEET	05/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90190	A
ROUGH PLUMBING	05/13/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90191	A
UNDERGROUND PLUMBING	05/18/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90360	A
ROUGH PLUMBING	05/18/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90361	A
ROUGH PLUMBING	05/18/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90364	A
ROUGH PLUMBING	05/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90455	A
ROUGH PLUMBING	05/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90454	A
ROUGH PLUMBING	05/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90476	A
ROUGH PLUMBING	05/20/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90474	A
ROUGH PLUMBING	05/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90502	A
UNDERGROUND PLUMBING	05/21/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90543	A
ROUGH PLUMBING	05/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90610	A
UNDERGROUND PLUMBING	05/26/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90611	A
ROUGH PLUMBING	05/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90666	A
UNDERGROUND PLUMBING	05/27/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90669	A
FINAL - PLUMBING	05/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90707	A
ROUGH PLUMBING	05/28/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90708	A
ROUGH PLUMBING	06/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90870	A
FINAL - PLUMBING	06/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90871	A
ROUGH PLUMBING	06/01/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90872	A
FINAL - PLUMBING	06/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90887	A
ROUGH PLUMBING	06/02/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90888	A
ROUGH PLUMBING	06/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90924	A
FINAL - PLUMBING	06/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90925	A
WATER W/IN 5 FEET	06/03/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90926	A
ROUGH PLUMBING	06/03/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90927	A
ROUGH PLUMBING	06/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90933	A
WATER W/IN 5 FEET	06/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90931	A
ROUGH PLUMBING	06/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90932	A
ROUGH PLUMBING	06/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91156	A
ROUGH PLUMBING	06/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91152	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
FINAL - PLUMBING	06/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91162	A
STACK TEST/PLUMBING	06/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91163	A
ROUGH PLUMBING	06/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91160	A
FINAL - PLUMBING	06/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91192	A
ROUGH PLUMBING	06/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91193	A
ROUGH PLUMBING	06/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91194	A
ROUGH PLUMBING	06/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91195	A
WATER W/IN 5 FEET	06/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91195	A
FINAL - PLUMBING	06/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91205	A
ROUGH PLUMBING	06/11/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91206	A
ROUGH PLUMBING	06/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91347	A
ROUGH PLUMBING	06/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91346	A
ROUGH PLUMBING	06/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91461	A
ROUGH PLUMBING	06/16/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91470	A
ROUGH PLUMBING	06/17/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91485	A
ROUGH PLUMBING	06/17/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91486	A
ROUGH PLUMBING	06/18/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91498	A
FINAL - PLUMBING	06/18/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91499	A
ROUGH PLUMBING	06/18/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91493	A
FINAL - PLUMBING	06/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91576	A
ROUGH PLUMBING	06/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91577	A
ROUGH PLUMBING	06/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91575	A
RPZ	06/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91684	A
ROUGH PLUMBING	06/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91685	A
ROUGH PLUMBING	06/23/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91686	A
ROUGH PLUMBING	06/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91691	A
ROUGH PLUMBING	06/24/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91695	A
ROUGH PLUMBING	06/25/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91757	A
ROUGH PLUMBING	06/25/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91758	A
ROUGH PLUMBING	06/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92052	A
ROUGH PLUMBING	06/29/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92007	A
ROUGH PLUMBING	06/30/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92111	A
ROUGH PLUMBING	06/30/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92113	A
FINAL - PLUMBING	07/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92210	A
ROUGH PLUMBING	07/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92211	A
ROUGH PLUMBING	07/01/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92212	A
FINAL - PLUMBING	07/02/15	MM	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73110	A
ROUGH PLUMBING	07/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92233	A
ROUGH PLUMBING	07/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92244	A
FINAL - PLUMBING	07/06/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92245	A
ROUGH PLUMBING	07/07/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92293	A
FINAL - PLUMBING	07/07/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92291	A
ROUGH PLUMBING	07/07/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92292	A
FINAL - PLUMBING	07/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92455	A
ROUGH PLUMBING	07/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92456	A
ROUGH PLUMBING	07/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92457	A
ROUGH PLUMBING	07/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92533	A
FINAL - PLUMBING	07/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92534	A
FINAL - PLUMBING	07/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92615	A
FINAL - PLUMBING	07/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92616	A
ROUGH PLUMBING	07/13/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92611	A
ROUGH PLUMBING	07/14/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92662	A
ROUGH PLUMBING	07/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92663	A



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INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH PLUMBING	07/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92695	A
STACK TEST/PLUMBING	07/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92696	A
UNDERGROUND PLUMBING	07/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92722	A
ROUGH PLUMBING	07/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92723	A
ROUGH PLUMBING	07/16/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92721	A
ROUGH PLUMBING	07/20/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92805	A
FINAL - PLUMBING	07/20/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92804	A
STACK TEST/PLUMBING	07/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92901	A
FINAL - PLUMBING	07/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92902	A
ROUGH PLUMBING	07/21/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92903	A
FINAL - PLUMBING	07/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92977	A
ROUGH PLUMBING	07/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92978	A
FINAL - PLUMBING	07/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92979	A
FINAL - PLUMBING	07/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92995	A
ROUGH PLUMBING	07/23/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92996	A
FINAL - PLUMBING	07/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93080	A
ROUGH PLUMBING	07/27/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93081	A
FINAL - PLUMBING	07/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93190	A
ROUGH PLUMBING	07/28/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93191	A
FINAL - PLUMBING	07/28/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93192	A
FINAL - PLUMBING	07/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93225	A
UNDERGROUND PLUMBING	07/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93226	A
ROUGH PLUMBING	07/29/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93227	A
UNDERGROUND PLUMBING	07/30/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93353	A
ROUGH PLUMBING	07/30/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93357	A
ROUGH PLUMBING	08/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93354	A
ROUGH PLUMBING	08/03/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93355	A
UNDERGROUND PLUMBING	08/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93384	A
ROUGH PLUMBING	08/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93385	A
FINAL - PLUMBING	08/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93386	A
ROUGH PLUMBING	08/04/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93387	A
ROUGH PLUMBING	08/05/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93502	A
ROUGH PLUMBING	08/05/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93503	A
FINAL - PLUMBING	08/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93560	A
ROUGH PLUMBING	08/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93561	A
FINAL - PLUMBING	08/06/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93562	A
FINAL - PLUMBING	08/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93622	A
FINAL - PLUMBING	08/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93623	A
ROUGH PLUMBING	08/11/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93765	A
FINAL - PLUMBING	08/11/15	MM	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93766	A
ROUGH PLUMBING	08/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94187	A
FINAL - PLUMBING	08/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94188	A
ROUGH PLUMBING	08/20/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94198	A
ROUGH PLUMBING	08/20/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94205	A
FINAL - PLUMBING	08/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94385	A
ROUGH PLUMBING	08/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94386	A
FINAL - PLUMBING	08/24/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94383	A
ROUGH PLUMBING	08/25/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94453	A
FINAL - PLUMBING	08/25/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94454	A
ROUGH PLUMBING	08/25/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94455	A
ROUGH PLUMBING	08/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94517	A
ROUGH PLUMBING	08/26/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94518	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
FINAL - PLUMBING	08/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94567	A
ROUGH PLUMBING	08/27/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94568	A
FINAL - PLUMBING	08/27/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94565	A
ROUGH PLUMBING	08/27/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94566	A
FINAL - PLUMBING	08/31/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94707	A
ROUGH PLUMBING	08/31/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94708	A
ROUGH PLUMBING	09/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94745	A
ROUGH PLUMBING	09/01/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94746	A
ROUGH PLUMBING	09/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94765	A
FINAL - PLUMBING	09/02/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94764	A
ROUGH PLUMBING	09/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94874	A
FINAL - PLUMBING	09/03/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94873	A
ROUGH PLUMBING	09/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95028	A
FINAL - PLUMBING	09/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95034	A
FINAL - PLUMBING	09/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95035	A
ROUGH PLUMBING	09/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95055	A
FINAL - PLUMBING	09/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95051	A
ROUGH PLUMBING	09/10/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95078	A
FINAL - PLUMBING	09/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95077	A
ROUGH PLUMBING	09/14/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95246	A
FINAL - PLUMBING	09/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95247	A
ROUGH PLUMBING	09/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95244	A
FINAL - PLUMBING	09/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95245	A
FINAL - PLUMBING	09/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95281	A
ROUGH PLUMBING	09/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95282	A
ROUGH PLUMBING	09/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95283	A
FINAL - PLUMBING	09/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95341	A
ROUGH PLUMBING	09/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95342	A
ROUGH PLUMBING	09/16/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95347	A
FINAL - PLUMBING	09/17/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95359	A
ROUGH PLUMBING	09/17/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95360	A
FINAL - PLUMBING	09/21/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95496	A
ROUGH PLUMBING	09/21/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95497	A
ROUGH PLUMBING	09/22/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95494	A
ROUGH PLUMBING	09/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95495	A
ROUGH PLUMBING	09/23/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95579	A
ROUGH PLUMBING	09/23/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95581	A
ROUGH PLUMBING	09/24/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95582	A
ROUGH PLUMBING	09/24/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95583	A
ROUGH PLUMBING	09/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95735	A
ROUGH PLUMBING	09/28/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95736	A
ROUGH PLUMBING	09/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95739	A
FINAL - PLUMBING	09/29/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95740	A
ROUGH PLUMBING	09/29/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95741	A
ROUGH PLUMBING	09/30/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95759	A
FINAL - PLUMBING	09/30/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95755	A
ROUGH PLUMBING	10/01/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95771	A
FINAL - PLUMBING	10/01/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95772	A
FINAL - PLUMBING	10/05/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95845	A
ROUGH PLUMBING	10/06/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95902	A
ROUGH PLUMBING	10/06/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95903	A
ROUGH PLUMBING	10/07/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95947	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
FINAL - PLUMBING	10/07/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95941	A
ROUGH PLUMBING	10/08/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95997	A
FINAL - PLUMBING	10/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95988	A
ROUGH PLUMBING	10/08/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95989	A
ROUGH PLUMBING	10/12/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96060	A
FINAL - PLUMBING	10/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96059	A
ROUGH PLUMBING	10/13/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96107	A
FINAL - PLUMBING	10/13/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96108	A
UNDERGROUND PLUMBING	10/14/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96227	A
ROUGH PLUMBING	10/14/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96226	A
FINAL - PLUMBING	10/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96259	A
UNDERGROUND PLUMBING	10/15/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96260	A
FINAL - PLUMBING	10/15/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96258	A
ROUGH PLUMBING	10/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96425	A
FINAL - PLUMBING	10/19/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96424	A
ROUGH PLUMBING	10/20/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96546	A
FINAL - PLUMBING	10/20/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96545	A
ROUGH PLUMBING	10/21/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96554	A
FINAL - PLUMBING	10/22/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96652	A
FINAL - PLUMBING	10/26/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96730	A
FINAL - PLUMBING	10/26/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96729	A
ROUGH PLUMBING	10/28/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96756	A
ROUGH PLUMBING	10/29/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96769	A
ROUGH PLUMBING	11/02/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96831	A
ROUGH PLUMBING	11/03/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96899	A
FINAL - PLUMBING	11/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97081	A
ROUGH PLUMBING	11/04/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97082	A
ROUGH PLUMBING	11/09/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97111	A
FINAL - PLUMBING	11/09/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97106	A
FINAL - PLUMBING	11/10/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97125	A
FINAL - PLUMBING	11/12/15	MM	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97171	A
FINAL - PLUMBING	11/16/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97274	A
FINAL - PLUMBING	11/19/15	MM	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97353	A
INSPECTOR TOTALS:		513	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
FINAL OTHER AGENCIES	08/28/15	NBFD	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94623	A
FINAL OTHER AGENCIES	09/01/15	NBFD	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95120	A
FINAL OTHER AGENCIES	11/16/15	NBFD	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97297	A
INSPECTOR TOTALS:		3	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
ELEVATOR - CONSTRUCT	05/07/15	OUTA	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90077	A
FINAL OTHER AGENCIES	06/30/15	OUTA	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92112	A
OTHER	08/25/15	OUTA	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94444	A
INSPECTOR TOTALS:		3	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
ROUGH ALL TRADES	01/16/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86838	A
ROUGH ALL TRADES	01/21/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86872	A
ROUGH ALL TRADES	01/23/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86899	A
ROUGH ALL TRADES	01/26/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86906	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	01/27/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86978	A
ROUGH ALL TRADES	01/28/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87019	A
ROUGH ALL TRADES	01/30/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87029	A
ROUGH ALL TRADES	02/02/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87031	A
ROUGH ALL TRADES	02/05/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87062	A
ROUGH ALL TRADES	02/06/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87122	A
ROUGH ALL TRADES	02/09/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87125	A
ROUGH ALL TRADES	02/10/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87131	A
ROUGH ALL TRADES	02/11/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87172	A
ROUGH ALL TRADES	02/11/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87170	A
ROUGH ALL TRADES	02/12/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87178	A
ROUGH ALL TRADES	02/12/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87180	A
ROUGH ALL TRADES	02/13/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87209	A
ROUGH ALL TRADES	02/18/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87302	A
ROUGH ALL TRADES	02/19/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87321	A
ROUGH ALL TRADES	02/20/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87334	A
ROUGH ALL TRADES	02/20/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87337	A
ROUGH ALL TRADES	02/24/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87371	A
ROUGH ALL TRADES	02/25/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87455	A
ROUGH ALL TRADES	02/27/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87675	A
ROUGH ALL TRADES	03/05/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87729	A
ROUGH ALL TRADES	03/06/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87863	A
ROUGH ALL TRADES	03/09/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87895	A
ROUGH ALL TRADES	03/09/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87894	A
ROUGH ALL TRADES	03/10/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87926	A
ROUGH ALL TRADES	03/10/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87922	A
ROUGH ALL TRADES	03/11/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87929	A
ROUGH ALL TRADES	03/11/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87928	A
ROUGH ALL TRADES	03/16/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88059	A
ROUGH ALL TRADES	03/17/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88073	A
ROUGH ALL TRADES	03/18/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88091	A
ROUGH ALL TRADES	03/19/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88144	A
ROUGH ALL TRADES	03/19/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88151	A
ROUGH ALL TRADES	03/23/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88330	A
ROUGH ALL TRADES	03/24/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88341	A
ROUGH ALL TRADES	03/25/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88363	A
ROUGH ALL TRADES	03/26/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88499	A
ROUGH ALL TRADES	03/26/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88500	A
ROUGH ALL TRADES	03/27/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88501	A
ROUGH ALL TRADES	03/30/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88523	A
ROUGH ALL TRADES	03/30/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88524	A
ROUGH ALL TRADES	03/31/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88582	A
ROUGH ALL TRADES	04/02/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88755	A
ROUGH ALL TRADES	04/02/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88751	A
ROUGH ALL TRADES	04/03/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88786	A
ROUGH ALL TRADES	04/06/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88791	A
ROUGH ALL TRADES	04/06/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88789	A
ROUGH ALL TRADES	04/07/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88892	A
ROUGH ALL TRADES	04/07/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88897	A
ROUGH ALL TRADES	04/07/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88898	A
ROUGH ALL TRADES	04/08/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88915	A
ROUGH ALL TRADES	04/08/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88916	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	04/09/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88935	A
ROUGH ALL TRADES	04/09/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88930	A
ROUGH ALL TRADES	04/13/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88997	A
ROUGH ALL TRADES	04/13/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88995	A
ROUGH ALL TRADES	04/14/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89047	A
ROUGH ALL TRADES	04/14/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89048	A
ROUGH ALL TRADES	04/15/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89069	A
ROUGH ALL TRADES	04/15/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89057	A
ROUGH ALL TRADES	04/15/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89058	A
ROUGH ALL TRADES	04/16/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89082	A
ROUGH ALL TRADES	04/16/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89080	A
ROUGH ALL TRADES	04/16/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89078	A
ROUGH ALL TRADES	04/17/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89117	A
ROUGH ALL TRADES	04/20/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89119	A
ROUGH ALL TRADES	04/20/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89125	A
ROUGH ALL TRADES	04/20/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89126	A
ROUGH ALL TRADES	04/21/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89138	A
ROUGH ALL TRADES	04/21/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89137	A
ROUGH ALL TRADES	04/22/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89178	A
ROUGH ALL TRADES	04/22/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89175	A
ROUGH ALL TRADES	04/23/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89352	A
ROUGH ALL TRADES	04/27/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89353	A
ROUGH ALL TRADES	04/28/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89474	A
ROUGH ALL TRADES	04/28/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89476	A
ROUGH ALL TRADES	04/29/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89488	A
ROUGH ALL TRADES	04/29/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89489	A
ROUGH ALL TRADES	04/30/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89578	A
ROUGH ALL TRADES	04/30/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89573	A
ROUGH ALL TRADES	04/30/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89574	A
ROUGH ALL TRADES	05/01/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89633	A
ROUGH ALL TRADES	05/01/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89634	A
ROUGH ALL TRADES	05/04/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89747	A
ROUGH ALL TRADES	05/06/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90066	A
ROUGH ALL TRADES	05/12/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90128	A
ROUGH ALL TRADES	05/13/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90187	A
ROUGH ALL TRADES	05/14/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90196	A
ROUGH ALL TRADES	05/14/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90197	A
ROUGH ALL TRADES	05/15/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90269	A
ROUGH ALL TRADES	05/15/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90266	A
ROUGH ALL TRADES	05/18/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90359	A
ROUGH ALL TRADES	05/18/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90363	A
ROUGH ALL TRADES	05/19/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90458	A
ROUGH ALL TRADES	05/19/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90457	A
ROUGH ALL TRADES	05/20/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90478	A
ROUGH ALL TRADES	05/20/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90475	A
ROUGH ALL TRADES	05/21/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90503	A
ROUGH ALL TRADES	05/21/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90540	A
ROUGH ALL TRADES	05/26/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90608	A
ROUGH ALL TRADES	05/26/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90605	A
ROUGH ALL TRADES	05/27/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90667	A
ROUGH ALL TRADES	05/28/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90704	A
ROUGH ALL TRADES	05/28/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90719	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	05/29/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90743	A
ROUGH ALL TRADES	05/29/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90744	A
ROUGH ALL TRADES	06/01/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90841	A
ROUGH ALL TRADES	06/03/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90910	A
ROUGH ALL TRADES	06/03/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90912	A
ROUGH ALL TRADES	06/04/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90929	A
ROUGH ALL TRADES	06/04/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90930	A
ROUGH ALL TRADES	06/05/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91018	A
ROUGH ALL TRADES	06/05/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91014	A
ROUGH ALL TRADES	06/08/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91153	A
ROUGH ALL TRADES	06/08/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91151	A
ROUGH ALL TRADES	06/09/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91158	A
ROUGH ALL TRADES	06/09/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91161	A
ROUGH ALL TRADES	06/10/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91196	A
ROUGH ALL TRADES	06/10/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91190	A
ROUGH ALL TRADES	06/11/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91202	A
ROUGH ALL TRADES	06/11/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91200	A
ROUGH ALL TRADES	06/15/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91339	A
ROUGH ALL TRADES	06/16/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91458	A
ROUGH ALL TRADES	06/16/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91457	A
ROUGH ALL TRADES	06/17/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91475	A
ROUGH ALL TRADES	06/17/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91471	A
ROUGH ALL TRADES	06/17/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91472	A
ROUGH ALL TRADES	06/18/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91497	A
ROUGH ALL TRADES	06/18/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91500	A
ROUGH ALL TRADES	06/19/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91533	A
ROUGH ALL TRADES	06/19/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91534	A
ROUGH ALL TRADES	06/22/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91618	A
ROUGH ALL TRADES	06/23/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91682	A
ROUGH ALL TRADES	06/23/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91680	A
ROUGH ALL TRADES	06/23/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91679	A
ROUGH ALL TRADES	06/24/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91694	A
ROUGH ALL TRADES	06/25/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91756	A
ROUGH ALL TRADES	06/26/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91825	A
ROUGH ALL TRADES	06/29/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92048	A
ROUGH ALL TRADES	06/29/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92005	A
ROUGH ALL TRADES	06/30/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92106	A
ROUGH ALL TRADES	07/07/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92288	A
ROUGH ALL TRADES	07/09/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92531	A
ROUGH ALL TRADES	07/10/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92577	A
ROUGH ALL TRADES	07/13/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92613	A
ROUGH ALL TRADES	07/14/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92661	A
ROUGH ALL TRADES	07/14/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92658	A
ROUGH ALL TRADES	07/15/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92694	A
ROUGH ALL TRADES	07/15/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92691	A
ROUGH ALL TRADES	07/16/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92719	A
ROUGH ALL TRADES	07/20/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92800	A
ROUGH ALL TRADES	07/21/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92895	A
ROUGH ALL TRADES	07/21/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92896	A
ROUGH ALL TRADES	07/22/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92964	A
ROUGH ALL TRADES	07/22/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92967	A
ROUGH ALL TRADES	07/22/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92976	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ROUGH ALL TRADES	07/23/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92997	A
ROUGH ALL TRADES	07/23/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92998	A
ROUGH ALL TRADES	07/24/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93002	A
ROUGH ALL TRADES	07/27/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93079	A
ROUGH ALL TRADES	07/27/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93075	A
ROUGH ALL TRADES	07/27/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93076	A
ROUGH ALL TRADES	07/28/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93194	A
ROUGH ALL TRADES	07/29/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93223	A
ROUGH ALL TRADES	08/05/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93497	A
ROUGH ALL TRADES	08/05/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93498	A
ROUGH ALL TRADES	08/06/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93549	A
ROUGH ALL TRADES	08/11/15	PPS	FAIL	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93759	A
ROUGH ALL TRADES	08/12/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93902	A
ROUGH ALL TRADES	08/20/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94189	A
ROUGH ALL TRADES	09/14/15	PPS	PASS	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95202	A
ROUGH ALL TRADES	09/24/15	PPS	FAIL	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95576	A
ROUGH ALL TRADES	09/25/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95654	A
ROUGH ALL TRADES	09/28/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95734	A
ROUGH ALL TRADES	09/30/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95758	A
ROUGH ALL TRADES	10/01/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95770	A
ROUGH ALL TRADES	10/05/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95843	A
ROUGH ALL TRADES	10/06/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95899	A
ROUGH ALL TRADES	10/20/15	PPS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96502	A
INSPECTOR TOTALS:		183	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
SLAB/PADS	03/28/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	73031	A
FOOTING PRE POUR	03/28/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	75198	A
FOUNDATION PRE POUR	03/28/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	75199	A
FOUNDATION PRE POUR	04/01/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	75367	A
FOUNDATION PRE POUR	06/06/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	78215	A
OTHER	10/14/14	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	83493	A
STORM SERVICE OUT 5	12/10/14	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85066	A
STORM SERVICE OUT 5	12/11/14	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85164	A
STORM SERVICE OUT 5	12/15/14	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	85230	A
STORM SERVICE OUT 5	12/18/14	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	86335	A
ROUGH ELECTRICAL	12/29/14	PS	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73095	A
HVAC/MECHANICAL	01/15/15	PS	A	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73097	A
OTHER	01/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80346	A
FIRE STOP/DRAFT STOP	01/22/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80334	A
ANCHOR BOLT - SIL PL	01/22/15	PS	PASS	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	86900	A
INSULATION	01/28/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87016	A
FIRE STOP/DRAFT STOP	01/28/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87017	A
FIRE STOP/DRAFT STOP	01/29/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73101	A
INSULATION	01/30/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87030	A
HVAC/MECHANICAL	02/03/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87035	A
ROUGH FRAMING	02/04/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80325	A
HVAC/MECHANICAL	02/04/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87042	A
HVAC/MECHANICAL	02/05/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87060	A
HVAC/MECHANICAL	02/06/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87121	A
FIRE STOP/DRAFT STOP	02/09/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87127	A
HVAC/MECHANICAL	02/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87124	A



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VILLAGE OF DEERFIELD
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BUILDING DEPARTMENT

INSPECTIONS PERFORMED:

05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
HVAC/MECHANICAL	02/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87130	A
INSULATION	02/12/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87179	A
INSULATION	02/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87205	A
INSULATION	02/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87259	A
HVAC/MECHANICAL	02/17/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87257	A
INSULATION	02/18/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87303	A
HVAC/MECHANICAL	02/19/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87324	A
INSULATION	02/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87335	A
OTHER	02/23/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87354	A
ROUGH FRAMING	02/24/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87370	A
ABOVE CEILING	02/25/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80331	A
HVAC/MECHANICAL	02/25/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87454	A
INSULATION	02/26/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87546	A
INSULATION	02/27/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87673	A
HVAC/MECHANICAL	03/04/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87722	A
OTHER	03/04/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87721	A
INSULATION	03/05/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87727	A
FIRE STOP/DRAFT STOP	03/05/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87728	A
INSULATION	03/06/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	87864	A
INSULATION	03/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87861	A
INSULATION	03/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87927	A
ABOVE CEILING	03/12/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87962	A
HVAC/MECHANICAL	03/12/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	87964	A
INSULATION	03/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88013	A
ABOVE CEILING	03/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88061	A
INSULATION	03/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88062	A
OTHER	03/17/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88072	A
INSULATION	03/18/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88087	A
HVAC/MECHANICAL	03/18/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88088	A
ABOVE CEILING	03/18/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88089	A
ABOVE CEILING	03/18/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88090	A
ABOVE CEILING	03/19/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88143	A
HVAC/MECHANICAL	03/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88148	A
INSULATION	03/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88149	A
ABOVE CEILING	03/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88150	A
HVAC/MECHANICAL	03/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88261	A
ABOVE CEILING	03/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88262	A
HVAC/MECHANICAL	03/20/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88323	A
INSULATION	03/20/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88324	A
INSULATION	03/23/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88328	A
INSULATION	03/24/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88340	A
HVAC/MECHANICAL	03/26/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88497	A
INSULATION	03/26/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88498	A
HVAC/MECHANICAL	03/30/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88522	A
INSULATION	03/30/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88525	A
HVAC/MECHANICAL	03/30/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88526	A
HVAC/MECHANICAL	03/31/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88581	A
FIRE STOP/DRAFT STOP	03/31/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88580	A
HVAC/MECHANICAL	04/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88664	A
ABOVE CEILING	04/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88665	A
INSULATION	04/02/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88752	A
INSULATION	04/02/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88753	A



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
ABOVE CEILING	04/02/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88754	A
INSULATION	04/03/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88785	A
INSULATION	04/03/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88783	A
INSULATION	04/07/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88891	A
INSULATION	04/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88955	A
INSULATION	04/13/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88992	A
ABOVE CEILING	04/13/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	88993	A
INSULATION	04/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	88996	A
INSULATION	04/15/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89056	A
INSULATION	04/16/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89079	A
INSULATION	04/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89114	A
INSULATION	04/17/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89116	A
INSULATION	04/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89120	A
INSULATION	04/20/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89124	A
FIRE STOP/DRAFT STOP	04/22/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89176	A
ABOVE CEILING	04/22/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89177	A
ABOVE CEILING	04/28/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89475	A
ABOVE CEILING	04/30/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89576	A
INSULATION	04/30/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89577	A
INSULATION	05/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89632	A
INSULATION	05/04/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89748	A
INSULATION	05/04/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	89746	A
ABOVE CEILING	05/05/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	89763	A
ABOVE CEILING	05/06/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90053	A
INSULATION	05/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90067	A
FINAL OTHER AGENCIES	05/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80342	A
ABOVE CEILING	05/12/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90126	A
INSULATION	05/12/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90127	A
INSULATION	05/13/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90188	A
HVAC/MECHANICAL	05/13/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90189	A
INSULATION	05/14/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90195	A
PIERS	05/15/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	80309	A
INSULATION	05/18/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90362	A
INSULATION	05/19/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90459	A
INSULATION	05/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90456	A
FIRE STOP/DRAFT STOP	05/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90477	A
HVAC/MECHANICAL	05/21/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90504	A
INSULATION	05/21/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90539	A
INSULATION	05/26/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90604	A
FINAL/C.O.	05/27/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90665	A
INSULATION	05/27/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90668	A
SLAB/PADS	05/28/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90717	A
INSULATION	05/28/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90718	A
INSULATION	05/29/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90705	A
INSULATION	05/29/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90741	A
INSULATION	06/01/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90850	A
INSULATION	06/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90842	A
INSULATION	06/02/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90886	A
INSULATION	06/03/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	90906	A
INSULATION	06/03/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90913	A
PIERS	06/03/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	90911	A
HVAC/MECHANICAL	06/05/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91017	A



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
PIERS	06/05/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91013	A
INSULATION	06/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91154	A
HVAC/MECHANICAL	06/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91155	A
INSULATION	06/08/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91150	A
INSULATION	06/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91197	A
INSULATION	06/10/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91189	A
FINAL/C.O.	06/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91187	A
PIERS	06/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91198	A
INSULATION	06/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91199	A
FINAL/C.O.	06/12/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91234	A
INSULATION	06/12/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91235	A
INSULATION	06/12/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91236	A
INSULATION	06/12/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91532	A
INSULATION	06/15/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91340	A
ROUGH FRAMING	06/15/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91342	A
HVAC/MECHANICAL	06/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91459	A
INSULATION	06/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91460	A
ABOVE CEILING	06/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91341	A
FINAL/C.O.	06/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91474	A
INSULATION	06/18/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91495	A
HVAC/MECHANICAL	06/18/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91496	A
FINAL/C.O.	06/19/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91531	A
INSULATION	06/22/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91617	A
FINAL/C.O.	06/23/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91681	A
INSULATION	06/24/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91689	A
HVAC/MECHANICAL	06/24/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91690	A
PATIO PREPOUR	06/24/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91692	A
INSULATION	06/24/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91693	A
INSULATION	06/25/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	91755	A
PATIO PREPOUR	06/25/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91753	A
INSULATION	06/25/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91754	A
SIDEWALK/STOOP PRE P	06/26/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91822	A
INSULATION	06/26/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	91823	A
ABOVE CEILING	06/29/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92049	A
INSULATION	06/29/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92047	A
INSULATION	06/29/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92006	A
PATIO PREPOUR	06/29/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92004	A
FINAL/C.O.	06/30/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92108	A
ABOVE CEILING	06/30/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92109	A
INSULATION	06/30/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92105	A
INSULATION	07/01/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92205	A
FINAL/C.O.	07/01/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92206	A
INSULATION	07/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92208	A
FINAL/C.O.	07/01/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92231	A
HVAC/MECHANICAL	07/02/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92232	A
SIDEWALK/STOOP PRE P	07/02/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92227	A
HVAC/MECHANICAL	07/02/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92228	A
SIDEWALK/STOOP PRE P	07/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92250	A
INSULATION	07/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92254	A
HVAC/MECHANICAL	07/07/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92287	A
FINAL/C.O.	07/08/15	PS	NA	NEW MULTI	D	1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	73111	A
FINAL/C.O.	07/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92366	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
HVAC/MECHANICAL	07/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92367	A
SIDEWALK/STOOP PRE P	07/08/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92380	A
FINAL/C.O.	07/09/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92532	A
ABOVE CEILING	07/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92578	A
SIDEWALK/STOOP PRE P	07/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92612	A
FINAL/C.O.	07/14/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92660	A
ABOVE CEILING	07/14/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92657	A
ABOVE CEILING	07/15/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92692	A
FINAL/C.O.	07/16/15	PS	PART	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92717	A
SLAB/PADS	07/16/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92718	A
ABOVE CEILING	07/16/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92720	A
FINAL/C.O.	07/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92744	A
INSULATION	07/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92745	A
ABOVE CEILING	07/17/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	92746	A
ABOVE CEILING	07/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92801	A
INSULATION	07/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92802	A
FINAL/C.O.	07/21/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92892	A
INSULATION	07/21/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	92893	A
INSULATION	07/24/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93003	A
INSULATION	07/24/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93001	A
ABOVE CEILING	07/27/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93078	A
ABOVE CEILING	07/27/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93077	A
FINAL/C.O.	07/28/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93201	A
FINAL/C.O.	07/28/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93202	A
INSULATION	07/28/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93195	A
FINAL/C.O.	07/29/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93220	A
FINAL/C.O.	07/29/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93221	A
INSULATION	07/29/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93224	A
FINAL/C.O.	07/30/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93237	A
FINAL/C.O.	07/30/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93250	A
FINAL/C.O.	07/30/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93251	A
FINAL/C.O.	08/04/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93380	A
FINAL/C.O.	08/04/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93381	A
FINAL/C.O.	08/04/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93382	A
FINAL/C.O.	08/04/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93383	A
INSULATION	08/05/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93499	A
FINAL/C.O.	08/05/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93500	A
ABOVE CEILING	08/05/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93496	A
FINAL/C.O.	08/06/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93552	A
FINAL/C.O.	08/06/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93553	A
FINAL/C.O.	08/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93550	A
FINAL/C.O.	08/06/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93551	A
SLAB/PADS	08/07/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93564	A
FINAL/C.O.	08/07/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93567	A
FINAL/C.O.	08/07/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93568	A
FINAL/C.O.	08/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	93630	A
INSULATION	08/10/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93631	A
ABOVE CEILING	08/10/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93632	A
ABOVE CEILING	08/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93760	A
INSULATION	08/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93761	A
INSULATION	08/12/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	93903	A
INSULATION	08/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94052	A



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FINAL/C.O.	08/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94053	A
FINAL/C.O.	08/13/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94054	A
FINAL/C.O.	08/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94106	A
FINAL/C.O.	08/17/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94105	A
FINAL/C.O.	08/18/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94139	A
FINAL/C.O.	08/18/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94141	A
FINAL/C.O.	08/19/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94184	A
FINAL/C.O.	08/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94182	A
FINAL/C.O.	08/19/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94183	A
FINAL/C.O.	08/20/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94190	A
FINAL/C.O.	08/20/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94191	A
INSULATION	08/21/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94320	A
FINAL/C.O.	08/21/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94321	A
FINAL/C.O.	08/21/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94322	A
FINAL/C.O.	08/24/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94377	A
FINAL/C.O.	08/24/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94378	A
FINAL/C.O.	08/25/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94445	A
FINAL/C.O.	08/25/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94446	A
FINAL/C.O.	08/26/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94509	A
FINAL/C.O.	08/26/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94510	A
FINAL/C.O.	08/26/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94511	A
FINAL/C.O.	08/26/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94512	A
FINAL/C.O.	08/27/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94549	A
FINAL/C.O.	08/27/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94550	A
ABOVE CEILING	08/28/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94638	A
FINAL/C.O.	08/28/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94639	A
FINAL/C.O.	08/28/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94634	A
FINAL/C.O.	08/28/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94635	A
ABOVE CEILING	08/31/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94658	A
FINAL/C.O.	08/31/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94659	A
FINAL/C.O.	09/01/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94743	A
FINAL/C.O.	09/01/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94744	A
FINAL/C.O.	09/01/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94742	A
FINAL/C.O.	09/02/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94762	A
FINAL/C.O.	09/02/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	94763	A
FINAL/C.O.	09/08/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	94990	A
FINAL/C.O.	09/09/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95046	A
FINAL/C.O.	09/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95047	A
HVAC/MECHANICAL	09/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95071	A
FINAL/C.O.	09/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95072	A
FINAL/C.O.	09/10/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95073	A
FINAL/C.O.	09/10/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95074	A
FINAL/C.O.	09/11/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95123	A
FINAL/C.O.	09/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95121	A
FINAL/C.O.	09/11/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95122	A
HVAC/MECHANICAL	09/14/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95205	A
FINAL/C.O.	09/14/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95206	A
FINAL/C.O.	09/14/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95207	A
FINAL/C.O.	09/14/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95203	A
FINAL/C.O.	09/15/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95278	A
INSULATION	09/15/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95276	A
FINAL/C.O.	09/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95340	A



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INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSP ID	T
INSULATION	09/16/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95345	A
FINAL OTHER AGENCIES	09/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95643	A
HVAC/MECHANICAL	09/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95355	A
FINAL/C.O.	09/17/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95356	A
HVAC/MECHANICAL	09/22/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95499	A
FINAL/C.O.	09/22/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95500	A
FINAL/C.O.	09/22/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95501	A
FINAL/C.O.	09/23/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95517	A
HVAC/MECHANICAL	09/25/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95653	A
INSULATION	09/28/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95733	A
FINAL/C.O.	09/30/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95754	A
INSULATION	10/02/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95815	A
ABOVE CEILING	10/02/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95825	A
FINAL/C.O.	10/02/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95811	A
FINAL/C.O.	10/05/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95844	A
INSULATION	10/06/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95900	A
FINAL/C.O.	10/06/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95893	A
FINAL/C.O.	10/06/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95894	A
FINAL/C.O.	10/07/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95940	A
INSULATION	10/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	95994	A
FINAL/C.O.	10/08/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95986	A
FINAL/C.O.	10/08/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	95987	A
INSULATION	10/09/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96042	A
FINAL OTHER AGENCIES	10/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96045	A
FINAL OTHER AGENCIES	10/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96046	A
FINAL/C.O.	10/09/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96039	A
FINAL/C.O.	10/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96040	A
FINAL/C.O.	10/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96143	A
FINAL/C.O.	10/14/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96220	A
FINAL/C.O.	10/19/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96423	A
FINAL/C.O.	10/20/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96503	A
FINAL/C.O.	10/20/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96504	A
FINAL/C.O.	10/20/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96505	A
INSULATION	10/22/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96650	A
FINAL/C.O.	10/22/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96648	A
FINAL/C.O.	10/22/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96649	A
FINAL/C.O.	10/23/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	96665	A
ABOVE CEILING	10/26/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96723	A
FINAL/C.O.	10/26/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96724	A
ABOVE CEILING	10/27/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96736	A
FINAL/C.O.	10/27/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96739	A
FINAL/C.O.	11/03/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96895	A
FINAL/C.O.	11/03/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	96896	A
FINAL/C.O.	11/09/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97104	A
FINAL/C.O.	11/09/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97105	A
FINAL/C.O.	11/11/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97134	A
FINAL/C.O.	11/13/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97203	A
FINAL/C.O.	11/13/15	PS	NA	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97204	A
FINAL/C.O.	11/17/15	PS	A	NEW MULTI	D	SWQ 1525 LAKE COOK RD	PPF AMLI LAKE COOK RD	97298	A
FINAL/C.O.	11/24/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97386	A
FINAL/C.O.	11/24/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97421	A
FINAL/C.O.	11/25/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97500	A



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION	DATE	BY	RSLT	PROJECT	CITY AREA	LOCATION	OWNER	INSF ID	T
FINAL/C.O.	11/25/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97509	A
FINAL/C.O.	12/03/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97708	A
FINAL/C.O.	12/03/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97709	A
FINAL/C.O.	12/04/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97746	A
FINAL/C.O.	12/04/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97747	A
FINAL/C.O.	12/07/15	PS	NA	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97757	A
FINAL/C.O.	12/07/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97758	A
FINAL/C.O.	12/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97813	A
FINAL OTHER AGENCIES	12/08/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97822	A
FINAL/C.O.	12/10/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	97823	A
FINAL/C.O.	12/16/15	PS	A	NEW MULTI	D	SWQ 15 PARKWAY NORTH BLVD (PRIVATE)	WOODVIEW APARTMENTS	98060	A
INSPECTOR TOTALS:		349	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
DEPARTMENT TOTALS:		1339	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00
REPORT TOTALS:		1339	INSPECTIONS	FEEES:	.00	PAID TO DATE:	.00	UNPAID:	.00



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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BUILDING DEPARTMENT

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION TYPE SUMMARY	COUNT	INSPECTOR SUMMARY	COUNT	RESULT SUMMARY	COUNT
ABOVE CEILING	41	BRIAN MCCARTHY	5	ADDITIONAL INFORMATION REQUIRD	1
ANCHOR BOLT - SIL PLATE	2	CLINTON E CASE	53	APPROVED	1,017
DRAINTILE/BACKFILL	1	ELEVATOR INSPECTION SERVICES	5	APPROVED AS NOTED	29
ELECTRICAL SERVICE	1	JEFFERY L HANSEN	225	FAILED	74
ELEVATOR - CONSTRUCTION	1	KEVIN FRANGIAMORE	3	NOT APPLICABLE	1
ELEVATOR - FINAL	3	MIKE MURRIN	513	NOT APPROVED	73
FINAL - PLUMBING	76	OUTSIDE SERVICE PROVIDER	3	PARTIAL INSPECTION	1
FINAL OTHER AGENCIES	16	PATRICK P SACCENTE	183	PASS	143
FINAL/C.O.	157	PATRICK SACCENTE	349		
FIRE STOP/DRAFT STOP	9				
FOOTING PRE POUR	24				
FOUNDATION BACKFILL	2				
FOUNDATION PRE POUR	51				
GARAGE FLOOR PRE POUR	2				
HVAC/MECHANICAL	49				
INSULATION	141				
OTHER	15				
PATIO PREPOUR	3				
PIERS	7				
ROUGH ALL TRADES	220				
ROUGH ELECTRICAL	2				
ROUGH FRAMING	11				
ROUGH PLUMBING	263				
RPZ	1				
SANITARY SERVICE OUT 5 FEET	5				
SERVICEWALK PREPOUR	2				
SEWER W/IN 5 FEET	3				
SIDEWALK/SLOOP PRE POUR	7				
SITE DEVELOPMENT	1				
SLAB/PADS	24				
STACK TEST/PLUMBING	31				
STORM SERVICE OUT 5 FEET	8				
TEMPORARY ELECTRICAL	1				
UNDERGROUND ELECTRIC	29				
UNDERGROUND PLUMBING	97				
WATER W/IN 5 FEET	33				

TOTAL INSPECTIONS: 1,339



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VILLAGE OF DEERFIELD
INSPECTION REPORT

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ALL

INSPECTIONS PERFORMED: 05/01/12 to 12/31/15

INSPECTION TYPE SUMMARY	COUNT	INSPECTOR SUMMARY	COUNT	RESULT SUMMARY	COUNT
ABOVE CEILING	41	BRIAN MCCARTHY	5	ADDITIONAL INFORMATION REQUIRD	1
ANCHOR BOLT - SIL PLATE	2	CLINTON E CASE	53	APPROVED	1,017
DRAINFILE/BACKFILL	1	ELEVATOR INSPECTION SERVICES	5	APPROVED AS NOTED	29
ELECTRICAL SERVICE	1	JEFFERY L HANSEN	225	FAILED	74
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FOOTING PRE POUR	24				
FOUNDATION BACKFILL	2				
FOUNDATION PRE POUR	51				
GARAGE FLOOR PRE POUR	2				
HVAC/MECHANICAL	49				
INSULATION	141				
OTHER	15				
PATIO PREPOUR	3				
PIERS	7				
ROUGH ALL TRADES	220				
ROUGH ELECTRICAL	2				
ROUGH FRAMING	11				
ROUGH PLUMBING	263				
RPZ	1				
SANITARY SERVICE OUT 5 FEET	5				
SERVICEWALK PREPOUR	2				
SEWER W/IN 5 FEET	3				
SIDEWALK/STOOP PRE POUR	7				
SITE DEVELOPMENT	1				
SLAB/PADS	24				
STACK TEST/PLUMBING	31				
STORM SERVICE OUT 5 FEET	8				
TEMPORARY ELECTRICAL	1				
UNDERGROUND ELECTRIC	29				
UNDERGROUND PLUMBING	97				
WATER W/IN 5 FEET	33				

TOTAL INSPECTIONS: 1,339

** END OF REPORT - Generated by Clint Case **

REQUEST FOR BOARD ACTION

Subject: Departmental Report of the Community Development Department
Planning Division – November 1, 2015 through April 30, 2016.

Action Requested: Approval of Report

Originated by: Community Development Department

Referred to: Mayor and Board of Trustees

Reports and Documents Attached:

Departmental Report – Planning Division

Date Referred to Board: May 16, 2016

Action Taken: _____

COMMUNITY DEVELOPMENT DEPARTMENTAL REPORT
Planning Division
11/01/15 to 04/30/16

Summary of Commission Activity:

Plan Commission Activity

- A public hearing (November 12, 2015) for a Special Use for the proposed Escape Beauty Salon in the building located at 711 Orchard Street.
- A pre-filing conference (November 12, 2015) for a Text Amendment and a Special Use for a proposed massage services establishment at 687 Waukegan Road (north end of Baskin Robins mini mall. Applicant did not proceed to the public hearing.)
- A pre-filing conference (November 12, 2015) and public hearing (January 14, 2016) for an amendment to a Special Use for Briarwood Country Club to permit changes to the previously approved paddle tennis facilities (Briarwood Country Club).
- In fall of 2015, the Plan Commission held a public hearing for the special use for the 61,867 square foot Jewel and two 4,000 square foot outlot buildings in Deerbrook Shopping Center. This recommendation went to the Board of Trustees on November 2, 2015.
- A workshop meeting (January 14, 2016) for a Finding of Substantial Conformance for the Final Plat of Subdivision for 225 and 243 Wilmot Road (Congregational Church of Deerfield property).
- A public hearing (January 28, 2016) for an amendment to the Deerfield Comprehensive Plan to Adopt a Master Plan for the Northwest Quadrant of the Village Center.
- A pre-filing Conference (February 11, 2016) and a public hearing (April 14, 2016) for proposed renovations to 636 Deerfield Road in the Shopper's Court PUD (former Overstock Furniture Building) and the west end of the Village Owned Parking Lot.
- A public hearing (February 25, 2016) for a Special Use for Roti Modern Mediterranean restaurant located in the 720 Waukegan Road (former Mephisto Shoes space) at the Shops at Deerfield Square.
- A pre-filing conference (February 25, 2016) and workshop meeting (March 24, 2016) for Approval of a Final Development Plan for 8 Parkway North for a 200,970 square foot five story office building in the Parkway North Center on Site 5 & Site 8 (Quadrangle).
- A pre-filing conference (February 25, 2016) and a public hearing and workshop meeting (April 14, 2016) for Approval of a Final Development Plan for 7 Parkway North for a 41,139 square foot two story office building in the Parkway North Center (American Board of Psychiatry and Neurology).
- A pre-filing conference meeting (March 24, 2016) and a public hearing (April 28, 2016) for a Special Use for a Portillo's Restaurant with drive-thru at 700 Lake Cook Road (former On the Border restaurant site).
- A public hearing (April 28, 2016) for a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, in Deerfield Village Centre (former Orange Leaf space).

The Plan Commission was issued Ipads in February for electronic Plan Commission distributions. Overall, the feedback has been positive on the use of the Ipads. The Plan Commissioners are provided larger size hard copies of individual plans (eg. site plan, landscape plan) when needed.

Village Center Commission (VCC) Activity

The group is an idea commission promoting downtown Deerfield, advocating for Village Center businesses and working closely with the Chamber of Commerce. As a steward of the downtown, the Commission plays an essential role in keeping the downtown attractive, safe, growing, dynamic, and exciting. The VCC is made up of volunteer residents, one member from the Chamber of Commerce, and one member from the Village Center business community. The VCC is in the process of creating a “Why Locate Your Business in Deerfield” brochure targeting prospective businesses and merchants on the many attributes that make the Village of Deerfield a prosperous business location. The VCC welcomed new Commissioner Ken Stolman. Ken brings a strong marketing and business background to the VCC group and recognizes that attracting and maintaining businesses is the cornerstone to a vibrant and healthy community. Ken works for Salesforce.com in technology sales and is looking forward to working with the Village Center Commission.

Appearance Review Commission (ARC) Activity

Over the last six months the Appearance Review Commission held ten meetings and worked with 14 petitioners.

In the Village Center:

- Starbucks, 675 Deerfield Road, received approval for outdoor fencing and furnishings: tables, chairs and umbrellas.
- Roti Modern Mediterranean, 720 Waukegan Road, received approval for a wall sign, and a denial to change the color of two building elements (an awning, and the background panel of the wall sign to black). The Board overturned the ARC’s decision. Roti Modern Mediterranean also received approval for outdoor tables and chairs.
- Menchies Frozen Yogurt, 775 Waukegan Road, received approval for outdoor seating, tables and chairs.
- The 636 Building, 636 Deerfield Road, received a preliminary review of the proposed façade improvements. After suggestions from the commission, changes were made and the petitioner came back before the ARC for a continuation of the preliminary review. A final review with the ARC is scheduled in June.

In the Outlying Commercial District:

- Deerbrook Mall, received final approval for renovations to the northern portion of the this commercial PUD.
- SportClips, 39 Waukegan Road, received approval for 2 sign panels for the Cadwells Corners’ Waukegan Road pylon sign.
- Sleep Number, 60 S. Waukegan Road in the Starbucks and former Chase Bank outlot building, received approval for 3 wall signs, façade changes and 1 opaque window area, which occurred over two meetings.
- Wheelpower Studio, 49 Waukegan Road in Cadwells Corners, received approval for 1 wall sign (the business changed their name from the originally approved Wheelhouse Studio).
- Lashes, 405 Lake Cook Road, in Deerfield Park Plaza received approval for 1 wall sign and fast track approval for 2 sign panels for the Deerfield Park Plaza pylon sign.
- Chaube Coffee, 601 Lake Cook Road in the Metra Lake Cook Road Station, received a denial of their proposed sign. The ARC asked that the sign be reduced in size and that the multiple colors on the letter U be removed.

- BP Gas Station, 1 Waukegan Road, received a denial for the proposed convex wall signs. The ARC asked that the signs be either channel letters or decals.
- Cadwell's Corners shopping center received approval for building alterations to the southern portion of the building to remove the glass atrium and replace it with a flat roof and approval of a landscape plan, which occurred over two meetings. The petitioner informed the Village that the improvement is on hold for now.
- Portillo's, 700 Lake Cook Road, received a preliminary review of new construction: building, site and signage. A new sign variation to the south was proposed so a second preliminary for the sign meeting was held.

The Appearance Review Commission welcomed new Commissioner Daniel Moons. Mr. Moons is an attorney for the McDonald's Corporation and has experience in real estate, commercial transactions, and collaborative ventures.

Appearance Code Update

In the last six months, three and one half meetings were dedicated to updating the Deerfield Appearance Code. The ARC started the review in November 2011 and is currently very close to the completion of their review and update. The focus has been on Site Design, and consultants, Barbara Rosborough of Rosborough Partners, Inc. and Robert Milani from the Chalet Nursery, both Registered Landscape Architects and Horticulturalists, have assisted with the landscape portion. Exhibits including diagrams and photos, all drawn and photographed by staff, are being added to help illustrate the updated Code. The goal is to create user-friendly booklets that provide a clear understanding of the appearance standards that create Deerfield's character. Once completed, two booklets, one for Signs, and the other for Building & Site will be presented to the Board of Trustees for adoption.

Cemetery Commission

Over the last six months, the Cemetery Commission has not held any meetings. A meeting is scheduled for May 10th with an inspection of the cemetery grounds.

Since the creation of the Deerfield Cemetery website, there have been 2,224 hits on the Cemetery webpage, with 236 views in the last six months. The site was made public in January 2015. The Village GIS Specialist reports continuous public activity is occurring on the site.

Text Amendments to the Zoning Ordinance for the C-1 Village Center District

The Plan Commission's next major project will be to review the list of Permitted and Special Uses in the C-1 Village Center District in order to update the list of uses in the Village Center. Due to the heavy Plan Commission schedule, the Plan Commission did not get to this over the past 6 months, but they are planning to get to this matter starting in June.

Inventory of Available Commercial Spaces

Planning staff continues to maintain an inventory of available commercial retail and service space which is available on the Village's website at Business → Economic Development → Commercial Space Availabilities. Staff continues to update this information quarterly, or as new information

becomes available. The information provided on the website includes the development name and address; the broker contact person, phone number and email; and the total size of the development along with the available spaces' square footage. Maps are provided that show the location of the properties and the traffic counts on the adjacent major roadways. Provided on the economic development webpages are business analyst data which contains recent detailed demographic, consumer spending, and market potential data. The website also includes the zoning certificate of compliance application, permitted use checklist, a summary of the special use process, and flow charts for permitted use and special uses, and the business registration form.

Village Community Events Banner Poles

The Village of Deerfield maintains two banner poles which are used to notify the Village of community happenings. One is located at the northwest corner of Deerfield and Robert York Roads, and the other is located at the northeast corner of Deerfield and Waukegan Roads. The Village's banner poles are a custom design, therefore all banners need to be custom made for Deerfield. Staff is continuing to design and acquire new banners, and work with other organizations wishing to promote their community event. Staff also develops and maintains a calendar of scheduled banner times when banners are to be installed and changed out on the banner poles.

**COMMITTEE OF THE WHOLE – Minutes of Meeting
May 2, 2016**

The Village Board met as a Committee of the Whole in the Council Chambers of the Village Hall at 7:00 p.m. on Monday, May 2, 2016. In attendance were:

PRESENT:

Village Board

Harriet Rosenthal, Mayor
Robert Benton, Trustee
Robert Nadler, Trustee
Thomas Jester, Trustee
William Seiden, Trustee
Barbara Struthers, Trustee
Dan Shapiro Arrived at 7:15 p.m.

Staff

Kent Street, Village Manager
Andrew Lichterman, Asst. Village Manager
Dan Nakahara, Associate Planner
Barbara Little, Director of Public Works and Eng.
Robert Phillips, Deputy Director of PW and Eng.
David Fitzgerald, Management Analyst
Clint Case, Building and Code Enforcement Supervisor

Public Comment

None on non-agenda items

De-Annexation of 780 Saunders Road from the Village of Deerfield to the Village of Riverwoods

Manager Street noted the de-annexation results in improved layout and traffic flow by combining the parcels. This also relieves the Village of zoning and police services. Trustee Nadler inquired if there was any precedence of the Village doing this in other circumstances. Manager Street noted there is no comparable precedent for this possible de-annexation, as the Village has long-standing boundary agreements with neighboring communities.

Trustee Seiden inquired if there was any advantage to the Village in allowing the de-annexation. Manager Street noted the Village would no longer provide police service, code enforcement and planning professional services. He noted it would result in more coordinated planning for the corner.

Trustee Struthers asked about the loss of property tax. Manager Street noted that the parcel is currently undeveloped, but the property tax loss would be based on any future development. Trustee Jester asked if Riverwoods would accept the reverse deal, and give control of the entire corner over to Deerfield for ease of planning. Manager Street noted that Riverwoods would like to keep its current developed properties, but noted the Village could investigate revenue sharing.

Trustee Nadler is in favor of de-annexing with the Village of Deerfield receiving the sales tax and property tax generations in perpetuity. Trustee Struthers concurred. Mayor Rosenthal did not think that would be acceptable to Riverwoods. Trustee Jester suggested having an appraisal completed to determine fair market value as a basis for compensation. Mr. Street noted the Village does not own the property but the appraisal could be used as justification for compensation.

Manager Street noted that since there was no consensus, staff would investigate the projected real estate and sales tax numbers associated with an improved building at this site and bring the information back to the Board for further consideration at a later date.

Discussion of Right-in-Right-out Entrance to the Lindeman Lot from Deerfield Road

Manager Street reported the this curb cut was part of the Northwest Quadrant Plan. He noted that the working group has endorsed this right-in, right-out curb cut as part of their ongoing meetings. Trustee Struthers would be in favor of this contingent on closing the alley behind Joy Fiorini's building. Mr. Street noted discussions continue with stakeholders of the NWQ plan, but there will not be an agreement to close the alley before July, which is when the contractor can complete the work. Trustee Nadler asked staff to obtain an opinion from an independent traffic engineer regarding the safety of the curb cut. Trustee Jester noted the traffic consultant on the NWQ Task Force proposed this curb cut.

Mr. Street noted to add this work to the Deerfield Road contract is expected to be \$15,000 - \$20,000. He noted there will be a marginal increase if completed at a later date. Mayor Rosenthal noted there will also be added construction disruption if completed later.

Manager Street summarized that staff will get an opinion from a professional traffic engineer confirming the safety of the curb cut as well as a letter of concurrence from Joy Fiorini.

Discussion of Possible Reconstruction of Deer Lake Road and Estate Drive

Manager Street noted that three options to complete this work have been presented for Board consideration. Deputy Director of Public Works Bob Phillips presented the options researched by staff to complete the work prior to Portillo's opening. First is to extend the Street Rehab contract to A-Lamp at anticipated price of \$926,196, plus engineering. Second is to accelerate the bidding process to preferred vendors only at an estimated price of \$1.6 million. The third option is a design-build Contract. Mr. Phillips noted that the price for this is unknown, but expected to be more than the first two options. Trustee Nadler suggested that any road improvement be contingent on the closing of the real estate sale for Portillo's.

Mayor Rosenthal stated that these roads are in the capital improvement plan but are being considered for reconstruction sooner than previously listed because they will see much higher traffic after Portillo's opens.

There was consensus from the Board to extend the street rehab contract to include this work. Manager Street noted that the street rehab contractor also needs to agree to extending unit prices. This item will be presented to the Board at the next meeting, subject to concurrence from the contractor.

Trustee Nadler made a motion to adjourn. The motion was seconded by Trustee Struthers.

The meeting adjourned at 7:29 p.m.

Respectfully submitted,
David Fitzgerald,
Management Analyst

May 2, 2016

The regular meeting of the Board of Trustees of the Village of Deerfield was called to order by Mayor Harriet Rosenthal in the Council Chambers of the Village Hall on May 2, 2016, at 7:30 p.m. The clerk called the roll and announced that the following were:

Present: Harriet Rosenthal, Mayor
Thomas Jester
Robert Nadler
William Seiden
Dan Shapiro
Barbara Struthers

Absent: Alan Farkas

and that a quorum was present and in attendance. Also present were Kent Street, Village Manager and Village Attorney Peter Coblentz.

PLEDGE OF ALLEGIANCE

the Pledge of Allegiance.

Students from Kipling Elementary School's Leader in Me program led those in attendance in reciting

Anthony McConnell, principal of Kipling Elementary School introduced the students. The Leader in Me program organizes your life by teaching seven habits. The seven habits are: be proactive, begin with the end in mind, put first things first, think win-win, seek first to understand then to be understood, synergize, and sharpen the saw.

Mayor Rosenthal attended a program at Kipling where every classroom studied these habits, which has made an impact on the school. She thanked Mr. McConnell for his support of this program. Mr. McConnell thanked the families that support the students and the program.

HUMAN POWER RE-APPOINTMENTS

The Human Power Commission recommends the following Board and Commission re-appointments:

Sherry Flores – Appearance Review Commission
Herb Kessell – Zoning Board of Appeals
Susie Kessler – Human Power Commission
Dorothy Collins – Safety Commission
Brian Wolkenberg – Sustainability Commission

Trustee Jester requested the Human Power Commission consider an alternative name .
Trustee Shapiro moved to accept the re-appointments. Trustee Struthers seconded the motion.
The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)
NAYS: None (0)

PROCLAMATION

Mayor Rosenthal read a Proclamation declaring May 2, 2016, as Mayor's Monarch Day in the Village of Deerfield and encouraged residents and Village staff to take steps to increase the planting of milkweed and nectar plants to preserve and strengthen the monarch butterfly population.

Trustee Struthers moved to accept the Proclamation. Trustee Jester seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

The Stageman family discussed class projects to save monarch butterflies. They thanked Mayor Rosenthal for signing the monarch pledge. Trustee Jester indicated the monarch population is now growing, but has a long way to go to reach its past population size.

PROCLAMATION

Trustee Struthers read a Proclamation declaring May 15, 2016, as Preeclampsia Awareness Day in the Village of Deerfield and applauds the Preeclampsia Foundation's mission to reduce maternal and infant illness and death due to preeclampsia and other hypertensive disorders of pregnancy.

Trustee Shapiro moved to accept the Proclamation. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

Nikki Mather thanked the Village for their support. There will be a large walk in Chicago, which has raised \$70,000 each year.

PROMOTION

Chief Sliozis announced the promotions of two Sergeants to Commander. He introduced the members of the Police Commission, who were present. Chief Sliozis noted within the past six days, two officers have used AED devices to save lives.

Chris Fry began with Deerfield in July 1997. He served in numerous positions within the department and the Lake County Major Crimes Task Force. He did an outstanding job with the Task Force. He was promoted to Sergeant in 2007 and serves as the accreditation manager. Mr. Street swore Sergeant Fry to the position of Commander.

Commander Fry thanked the Board for supporting the police department. He thanked his family for their support and Chief Sliozis and Deputy Chief Keane for their guidance.

Juan Mazariegos began with Deerfield in June 1999. He served in numerous positions within the department and has been very active in the various charities. Mr. Street swore Sergeant Mazariegos to the position of Commander.

Commander Mazariegos thanked the Board for their support. He thanked his family and friends for their support and Chief Sliozis and Deputy Chief Keane for their guidance.

MINUTES OF PREVIOUS MEETING

Trustee Jester moved to approve the minutes from the April 18, 2016, Board of Trustees meeting.

Trustee Nadler seconded the motion. The motion passed unanimously on a voice.

TREASURER'S REPORT

Finance Director Eric Burk presented highlights from the March 2016 Treasurer's Report

representing the first quarter of the year. The non-home rule sales tax decreased from the same period last year. The Village does not have TJ Maxx. Hotel tax is consistent with the prior year. The electric utility tax is consistent with last year, but down for the year to date. Building permit revenues decreased from last month, but are up year to date. The Village received the upfront portion of the Deerfield Road project. The Village will have some seasonal expenditures including engineering and construction costs.

BILLS AND PAYROLL

Trustee Struthers moved to approve the Bills and Payroll. Trustee Shapiro seconded the motion. The

motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

PUBLIC COMMENT

Andrew Marwick, 442 Kelburn, noted Deerbrook Mall is not performing well. He does not believe

the proposed Jewel store will be a big draw because it will be smaller than the Highland Park store. Mr. Marwick indicated Fresh Thyme seems to be doing well. He expressed concern about having a warehouse club where Wonder used to be, because they will remove the parking garage. He suggested finding another use for that location.

REPORTS

REPORT AND RECOMMENDATION OF THE BOARD OF ZONING APPEALS RE: REQUEST FOR A FENCE HEIGHT MODIFICATION AT 705 INDIAN HILL ROAD FOR A FENCE 10 FEET IN HEIGHT INSTEAD OF THE PERMITTED MAXIMUM HEIGHT OF

The Board of Zoning Appeals held a Public Hearing on April 5, 2016, to consider a request for a fence height modification at 705 Indian Hill Road, to allow a 10-foot fence instead of the maximum permitted height of 7 feet. The Board of Zoning Appeals voted 4-0 in favor of the modification.

7 FEET Trustee Struthers noted the fence was installed prior the approval. She believes the fence is 3 feet taller than it should be and will trap birds. Trustee Struthers does not believe a 10-foot fence is needed and would not want to set a precedent for sport netting. Trustee Struthers is not in favor of this modification.

BZA Chairman Bob Speckmann felt the increased height was inconsequential. The netting is see-through and very thin. It does not block any view and seemed to be in the best interest to keep balls on that property. Trustee Struthers would not want to see a 10-foot precedent. Ch. Speckmann noted this is something the Zoning Ordinance does not address, because it is sports court netting and not a fence.

Brooke Jacobs, 705 Indian Hill, noted the netting behind the basketball hoop is 10 feet high. By putting up the netting, it is keeping her children and the neighbors safe.

Trustee Seiden noted he would not want this in his yard, but does not find it objectionable.

Trustee Jester moved to accept the report and recommendation of the Board of Zoning Appeals. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Jester, Seiden, Nadler (3)

NAYS: Shapiro, Struthers (2)

Mr. Coblenz noted the three affirmative votes are enough to prepare an Ordinance, but four affirmative votes are needed to pass the Ordinance.

REPORT AND RECOMMENDATION OF THE PLAN COMMISSION RE: REQUEST FOR APPROVAL OF A FINAL DEVELOPMENT PLAN FOR 7 PARKWAY NORTH CENTER AND TO AMEND THE PARKWAY NORTH CENTER SIGN PLAN TO ALLOW A WALL SIGN AT 7 PARKWAY NORTH

Mr. Street reported the Plan Commission held a Public Hearing to consider the request for approval of a final development plan for the property at 7 Parkway North Center and to amend the sign plan to allow a wall sign on April 14, 2016. They voted 5-0 in favor of the request.

WALL SIGN AT 7 PARKWAY NORTH Donna Pugh, attorney with Foley & Lardner, noted this is one of two vacant sites in Parkway North. They have done some easement work on three easements. The wall signage is a modification for the Parkway North sign plan. The proposed sign will be less than 1 percent of the wall.

Robin Callen, Chief Financial Officer with the American Board of Psychiatry and Neurology (APBN), reported they have been in business since 1923. They have volunteers from all over the country develop testing at their office. They develop and administer exams for psychiatrists and neurology certification.

Jerry Wallach, Perkins Eastman Architects, showed the site plan. He indicated the Village Code requires more parking than is actually needed for this use. They have land banked some parking and created a front yard. They propose an underground parking area for employees. The proposed building is smaller than the other buildings in Parkway North. The materials are complimentary to the other buildings.

Trustee Struthers noted there is one wall without windows. Mr. Wallach stated that is the area leading into the underground parking.

Landscape Architect Ted Wolf, Principal with Wolf Architecture, stated they would replicate the landscaping in Parkway North. The back courtyard will be richly landscaped and oriented toward the pond. They will have seating areas and interesting horticultural elements.

Steve Corcoran, Traffic Engineer with Eriksson Engineering Associates, Ltd. stated they did the traffic study after the Deerfield Road traffic light was installed, so the study is more accurate. They are generating less traffic than the normal use in a building this size. They are providing three access points including two visitor entrances. They will have two cross easements and will relocate an easement further south between Walgreens University and ABPN.

Mike Renner, VP Eriksson Engineering, stated the water main will be relocated to avoid the foundation wall of the building. When relocated, this will benefit other buildings in Parkway North. They will provide records to the Village to prove there is sufficient volume in the retention pond. The storm sewer will remain. The sanitary sewer is existing. It is tributary to the pump station and part of the Lake County Special Service Area. They will provide calculations to prove there is sufficient pump pressure.

Trustee Jester moved to accept the Report and Recommendation of the Plan Commission. Trustee Nadler seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

REPORT AND RECOMMENDATION
OF THE PLAN COMMISSION RE:
REQUEST FOR APPROVAL TO
AMEND THE SHOPPERS COURT
COMMERCIAL PLANNED UNIT
DEVELOPMENT TO PERMIT MAJOR
RENOVATIONS TO THE 636
DEERFIELD ROAD BUILDING TO
CONVERT THE BUILDING INTO A
MULTI-TENANT BUILDING, AND
CHANGES TO THE WEST END OF THE
VILLAGE OWNED MUNICIPAL

The Plan Commission held a Public Hearing on April 14, 2016, to consider the request to amend the Shoppers Court Commercial Planned Unit Development to permit major renovations to the 636 Deerfield Road building to convert the building into a multi-tenant building and changes to the west end of the Village-owned municipal parking lot. The Plan Commission voted 5-0 in favor of the request. The Appearance Review Commission was also in favor of the building changes but did not want the sign letters to extend past the building. Larry Freedman, attorney with Ash, Aron,

PARKING LOT Freedman & Logan LLC. Jonathan Berger with Berger Asset Management and Martina Stoycheva with Partners in Design Architects were present.

Mr. Berger noted he is the managing partner of Bensenville Associates, who purchased Shoppers Court. Shoppers Court was built in 1951 and very little has been done on the property. Shoppers Court needs a lot of work. He wants to make the building a multi-tenant, multi-sided building. Mr. Berger stated they will need to restripe one row of the municipal parking lot. He wants to make this a gateway into Deerfield.

Trustee Struthers questioned moving the handicapped spot from the side of the building to the rear of the building. Ms. Stoycheva noted the space was moved to accommodate a side entrance. She stated that handicapped parallel parking spaces do not require a loading zone and they are not changing the dimensions of the space.

Mayor Rosenthal asked about the sign variations. Mr. Berger stated they want to put the address on both sides of the fin. The height of the sign requires a variance as well as having a two-sided sign.

Trustee Nadler moved to accept the Report and Recommendation of the Plan Commission. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)
NAYS: None (0)

Mr. Berger stated he also wants public art in a few spots on the building including the west façade and the Italian Kitchen wall. They will also do sculptural bike racks as well.

CONSENT AGENDA

ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN FOR 8 PARKWAY NORTH IN THE PARKWAY NORTH CENTER – QUADRANGLE DEVELOPMENT COMPANY – 1R	An Ordinance approving a final development plan for 8 Parkway North in the Parkway North Center. First Reading. Mayor Rosenthal indicated this will stand as a First Reading of the Ordinance.
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OLD BUSINESS

There was no Old Business.

NEW BUSINESS

AUTHORIZATION TO AWARD
CONTRACT FOR PHASE II
ENGINEERING CONSULTING
SERVICES FOR THE KATES ROAD
BRIDGE REHABILITATION PROJECT

Deputy Director of Public Works and Engineering Bob Phillips reported the Phase I engineering has been completed and submitted to IDOT. The Phase I study identified the scope of work, which included the replacement of the bridge deck and the patching and resurfacing of Kates Road and part of Pflugsten

Road. Mr. Phillips stated that as part of the agreement IDOT will reimburse the Village for 80 percent of the bridge design work, or \$140,590, leaving the Village responsible for \$28,118. The remaining portion of the design contract is related to roadway rehabilitation and is not eligible for reimbursement. For that portion, the Village will be solely responsible for all design related fees, an estimated cost of \$15,658. Staff suggested the Ciorba Group is best suited for the job.

Trustee Jester moved to approve the Local Agency Agreement to enter into a Federal agreement for the 80/20 split. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

AUTHORIZATION TO AWARD THE
CONSTRUCTION CONTRACT FOR
THE NORTH AVENUE
INFRASTRUCTURE IMPROVEMENT
PROJECT

Mr. Phillips reported North Avenue straddles both Deerfield and Bannockburn. The Village entered into an agreement with Bannockburn and IDOT. The Village of Deerfield will be the lead agency of the agreement and will pay for the construction bills, but will get reimbursed by Bannockburn for

their share of the participating costs. The Village opened six bids on April 22, 2016. The low bid was from Berger Excavating Contractors in the amount of \$2,486,229. The Village is responsible for their portion of the split as well as the sanitary sewer and water work.

Trustee Shapiro moved to concur to award the project to Berger Excavating Contractors in an amount not to exceed \$2,486,229. Trustee Jester seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

AUTHORIZATION TO EXECUTE
CONTRACT FOR SIDEWALK BUMP
GRINDING

Mr. Phillips reported the Village is trying to fix trip hazards rather than replace slabs of concrete. They will shave off the bumps. The Village has budgeted \$100,000 for the project, but is seeking

authorization for \$20,000 at this time.

Trustee Nadler moved to authorize \$20,000 for sidewalk bump grinding. Trustee Struthers seconded the motion. The motion passed by the following vote:

AYES: Jester, Nadler, Seiden, Shapiro, Struthers (5)

NAYS: None (0)

DISCUSSION

DOWNTOWN RECYCLING BINS

Earth Day.

Mayor Rosenthal noted the Village hosted a ribbon cutting for the new downtown recycling bins on

ELECTRONICS RECYCLING

Mayor Rosenthal reported the electronics recycling at the Public Works Facility was very well received.

ARBOR DAY

to plant a tree at Deerfield High School on Arbor Day.

Mayor Rosenthal indicated this is the third year the Village has participated with the Earth Works Club

UPCOMING RIBBION CUTTINGS

A ribbon cutting for Wheel Power in Cadwell's Corners will take place on May 6, 2016, at 5 p.m. A ribbon cutting for Venue One will take place on May 12, 2016, at noon.

Mayor Rosenthal announced there will be two upcoming ribbon cuttings:

INTERN OF THE YEAR

Year by the Illinois Association of Municipal Management Assistants.

Mayor Rosenthal congratulated Village Intern Sam Barghi who was recently was award Intern of the

ADJOURNMENT

the meeting. Trustee Nadler seconded the motion. The motion passed unanimously. The meeting was adjourned at 9:25 p.m.

There being no further business or discussion, Trustee Shapiro made a motion to adjourn

APPROVED:

Mayor

ATTEST:

Village Clerk

**BILLS FOR THE
MAY 16, 2016
VILLAGE BOARD MEETING**

Vendor	Invoice #	Description	Org	Obj	Total Invoice
1ST AYD CORPORATION	PSI38098	SAFETY SUPPLIES	542010	5320	146.06
ADVANCED TREECARE	1031-95891	PARKWAY TREE AND STUMP REMOVAL	102037	5365	3,740.00
AMERICAN CHARGE SERVICE	98364	TAXI SUBSIDY PROGRAM	101210	5384	1,510.00
AMERICAN FIRST AID SERVICES INC	35878	FIRST AID SUPPLIES	102010	5410	32.28
AMERICAN FIRST AID SERVICES INC	35878	FIRST AID SUPPLIES	102110	5410	32.26
AMERICAN FIRST AID SERVICES INC	35878	FIRST AID SUPPLIES	502010	5410	32.28
AMERICAN FIRST AID SERVICES INC	35878	FIRST AID SUPPLIES	542010	5410	32.28
AMERICAN FIRST AID SERVICES INC	35879	FIRST AID SUPPLIES WRF	542052	5410	30.10
					159.20
ANDERSEN, ROBERT R.	3931042216	EXP REIMB - IAWPCO CONF	542052	5211	96.00
ARAMARK REFRESHMENT SERVICES	492051	COFFEE - PW/ENG	102010	5450	60.49
ARAMARK REFRESHMENT SERVICES	492051	COFFEE - PW/ENG	102110	5450	60.49
ARAMARK REFRESHMENT SERVICES	492051	COFFEE - PW/ENG	502010	5450	60.49
ARAMARK REFRESHMENT SERVICES	492051	COFFEE - PW/ENG	542010	5450	60.49
					241.96
AVALON PETROLEUM COMPANY	560244	FUEL - RFG 10% ETHANOL	100000	1510	14,536.00
BADE PAPER PRODUCTS INC	201331-00	MISC PAPER SUPPLIES	102010	5460	44.63
BADE PAPER PRODUCTS INC	201331-00	MISC PAPER SUPPLIES	102110	5460	44.61
BADE PAPER PRODUCTS INC	201331-00	MISC PAPER SUPPLIES	502010	5460	44.63
BADE PAPER PRODUCTS INC	201331-00	MISC PAPER SUPPLIES	542010	5460	44.63
					178.50
BEACON SSI INCORPORATED	0000076887	FUEL BAY REPAIR	502010	5320	994.81
BELL FUELS, INC	239258	GENERATOR FUEL	106010	5420	651.12
BIESENTHAL, JACOB OR AMY	537858	TREE APPLICATION REFUND	100001	4232	75.00
BIG BAND SOUND OF DEERFIELD	05302016	MEMORIAL DAY PERFORMANCE	101210	5387	400.00
BMW PLUMBING, INC.	79919	LOCKER ROOM MAINT	106010	5320	377.00
BRENDAN'S TOOLS INC	04261620783	SMALL TOOLS	702050	5440	74.14
BROWNELLS INC	12476178.00	RANGE EQUIPMENT	106034	5460	121.18
BURK, ERIC	03242016	EXP REIMB - MISC TRAVEL	101111	5332	230.08
BURK, ERIC	04282016	EXP REIMB - MISC TRAVEL	101111	5332	171.53
					401.61
CACHOLA, OLIVER	042016	TRAVEL EXP REIMB	106034	5211	100.86
CATERED PRODUCTIONS	16-1005-1	FINE ARTS FESTIVAL PREVIEW PARTY	101210	5387	1,072.92
CDW GOVERNMENT INC	CTM6103	WATER SCADA CELLULAR MODEM	502010	5322	544.26
CDW GOVERNMENT INC	CVV7173	REPLACEMENT HARD DRIVES	106010	5322	49.71
CDW GOVERNMENT INC	CVV7173	REPLACEMENT HARD DRIVES	502010	5322	49.71
					643.68
CINTAS	022303309	MATS - PW/ENG/TRN STN	102010	5320	67.30
CINTAS	022303309	MATS - PW/ENG/TRN STN	102038	5320	67.30
CINTAS	022303309	MATS - PW/ENG/TRN STN	502010	5320	67.30
CINTAS	022303309	MATS - PW/ENG/TRN STN	542010	5320	67.30
CINTAS	022303310	MATS - WRF	542052	5320	83.80
CINTAS	022306366	MATS - VH	101111	5320	59.98
CINTAS	022309468	MATS - VH	101111	5320	59.98
					472.96
CIORBA GROUP, INC.	0022620	BRIDGE MAINTENANCE ENGINEERING	222082	5362	1,834.43
CITY OF HIGHLAND PARK	009155-043016	WATER PURCHASES - APR 15	502031	5423	105,225.32
CITY OF HIGHLAND PARK	009530-043016	WATER PURCHASES - APR 15	502031	5423	9,488.35
CITY OF HIGHLAND PARK	020587-043016	WATER PURCHASES - APR 15	502031	5423	47,896.30
					162,609.97
CLASS C SOLUTIONS GROUP	8380700001	SHOP SUPPLIES/HARDWARE	702050	5421	311.65
CLASS C SOLUTIONS GROUP	8380700003	SMALL TOOLS	702050	5440	177.38
					489.03
COMCAST CABLE	0010692-050516	CABLE TV SERVICE: 05/16/2016 - 06/15/2016	101210	5540	6.35
COMCAST CABLE	0010692-050516	CABLE TV SERVICE: 05/16/2016 - 06/15/2016	106010	5550	6.36
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	101111	5540	172.29
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	101210	5540	172.29
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	101330	5540	172.29
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	102010	5540	34.46
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	102110	5540	86.14
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	106010	5550	172.29
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	502010	5540	25.84
COMCAST CABLE	42921186	VOICE TRUNKS SERVICES - MAY 16	542052	5540	25.84
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	101111	5540	446.04
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	101210	5540	446.04
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	101330	5540	446.04
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	102010	5540	111.51
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	102110	5540	111.51
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	106010	5550	446.04
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	502010	5540	111.51
COMCAST CABLE	42936899	FIBER INTERNET SERVICES - MAY 16	542052	5540	111.51
					3,104.35

Vendor	Invoice #	Description	Org	Obj	Total Invoice
COMED	0039019040-032916	A/C 0039019040 02/26/2016 TO 03/25/2016	102050	5510	187.89
COMED	0210000007	A/C 0210000007 02/26/2016 TO 03/25/2016	542052	5510	30.77
COMED	0263148072-032316	A/C 0263148073 02/25/2016 TO 03/23/2016	502031	5510	1,113.77
COMED	0297076067-032816	A/C 0297076067 02/29/2016 TO 03/28/2016	542052	5510	135.67
COMED	0441157035-032316	A/C 0441157035 02/25/2016 TO 03/23/2016	102050	5510	40.06
COMED	0507100076-032816	A/C 0507100076 02/29/2016 TO 03/28/2016	542052	5510	239.59
COMED	0603118092-033116	A/C 0603118092 02/24/2016 TO 03/28/2016	542052	5510	30.91
COMED	0744127017	A/C 0744127017 02/25/2016 TO 03/24/2016	542052	5510	37.72
COMED	1093039047-032316	A/C 1093039047 02/25/2016 TO 03/23/2016	602038	5510	21.43
COMED	1695047067-032116	A/C 1695047067 02/19/2016 TO 03/21/2016	102050	5510	2,536.62
COMED	2055118031-032316	A/C 2055118031 02/25/2016 TO 03/23/2016	102050	5510	44.54
COMED	2763162001-032416	A/C 2763162001 02/26/2016 TO 03/24/2016	502031	5510	136.78
					<u>4,555.75</u>
COMMUNICATIONS REVOLVING FUND	T1632835	COMMUNICATIONS SERVICES: MAR 16	176020	5550	506.40
CRAFTWOOD LUMBER CO.	214540	SUPPLIES FOR BRICK BOLLARDS	102037	5914	201.23
CRAFTWOOD LUMBER CO.	214862	SUPPLIES FOR BRICK BOLLARDS	102037	5914	63.48
CRAFTWOOD LUMBER CO.	215284	SUPPLIES FOR BRICK BOLLARDS	102037	5914	105.48
					<u>370.19</u>
CRYSTAL MNGMNT & MAINT SERVICES CORP	23671	CLEANING SERVICES - MAY 16	101210	5320	967.84
CRYSTAL MNGMNT & MAINT SERVICES CORP	23671	CLEANING SERVICES - MAY 16	102010	5320	351.83
CRYSTAL MNGMNT & MAINT SERVICES CORP	23671	CLEANING SERVICES - MAY 16	106010	5320	891.66
CRYSTAL MNGMNT & MAINT SERVICES CORP	23671	CLEANING SERVICES - MAY 16	542052	5320	28.67
					<u>2,240.00</u>
CUMMINS NPOWER LLC	711-99351	GENERATOR MAINTENANCE	106010	5320	1,582.19
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	101111	5335	415.00
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	502010	5335	312.32
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	502010	5337	663.76
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	542010	5335	141.05
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	542010	5337	299.76
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	582030	5337	107.06
DATAPROSE LLC	DP1601052	UTILITY STMTS & LATE NOTICES: APR 16	582030	5390	50.37
					<u>1,989.32</u>
DAVEY TREE EXPERT COMPANY	537646	TREE APPLICATION REFUND - 96 ESTATE DRIVE	100001	4232	75.00
DAVEY TREE EXPERT COMPANY	538140	TREE APPLICATION REFUND - 1390 WINCANTON DR	100001	4232	75.00
					<u>150.00</u>
DEERFIELD ELECTRIC CO INC	107837	SERVICE CALL - WRF	542052	5322	284.50
DEERFIELD PARK DISTRICT	1497393	ANNUAL PTSC CONTRIBUTION: 2015	101111	5383	117,908.00
DEERFIELDS BAKERY	1718452	REFRESHMENTS - PW MEETING	102010	5210	21.36
DEERFIELDS BAKERY	1718452	REFRESHMENTS - PW MEETING	502010	5210	21.36
DEERFIELDS BAKERY	1718452	REFRESHMENTS - PW MEETING	542010	5210	21.36
					<u>64.08</u>
DEUTSCH, RYAN OR RACHAEL	537467	TREE APPLICATION REFUND	100001	4232	75.00
DICKINSON, TYLER	104974041816	EXP REIMB - CAT CONFERENCE	102110	5211	1,034.12
DISCOVERY BENEFITS	0000643530-IN	FLEX BENEFITS ADMIN - APR 16	101111	5365	259.70
DYNEGY ENERGY SERVICES	147136816031	A/C 0195097137 02/29/2016 TO 03/24/2016	502031	5510	2,496.03
DYNEGY ENERGY SERVICES	147136916031	A/C 0411051084 02/26/2016 TO 03/24/2016	542052	5510	1,928.44
DYNEGY ENERGY SERVICES	147137016031	A/C 0465035072 02/26/2016 TO 03/27/2016	502031	5510	600.25
DYNEGY ENERGY SERVICES	147137116031	A/C 0606055010 02/26/2016 TO 03/28/2016	502031	5510	1,861.55
DYNEGY ENERGY SERVICES	147137216031	A/C 0822171022 02/26/2016 TO 03/24/2016	542052	5510	1,457.82
DYNEGY ENERGY SERVICES	147137316031	A/C 0927104050 02/23/2016 TO 03/22/2016	542052	5510	1,589.78
DYNEGY ENERGY SERVICES	147137416031	A/C 3547124017 02/26/2016 TO 03/22/2016	542052	5510	14,801.30
					<u>24,735.17</u>
ELEVATOR INSPECTION SERVICES COMPANY INC	59723	ELEVATOR INSPECTION	101330	5365	80.00
ELEVATOR INSPECTION SERVICES COMPANY INC	59725	ELEVATOR INSPECTION	101330	5365	80.00
					<u>160.00</u>
EMPLOYMENT SCREENING ALLIANCE	12476	PREEMPLOYMENT CREDIT REPORT	106010	5387	18.50
FGK SERVICES INC	0516-10	TRAIN STATION CLEANING - MAY 16	102038	5320	505.04
FIORE NURSERY AND LANDSCAPE SUPPLY	I90485	TREE FOR ARBOR DAY	102037	5365	275.00
FIORE NURSERY AND LANDSCAPE SUPPLY	I90558	TREE FOR PARKING LOT	602038	5322	1,395.00
					<u>1,670.00</u>
FRANKEL, RICHARD	537115/55859	912 CASTLEWOOD - DEPOSIT REFUND	910000	2423	200.00
GALLS LLC	005171818	APPAREL: RANIERI	106034	5130	131.99
GALLS LLC	005246691	APPAREL: KROLL	106010	5130	75.99
GALLS LLC	005246961	APPAREL: MELVIN	106010	5130	28.30
GALLS LLC	005285264	APPAREL: KROPP	106034	5130	19.02
GALLS LLC	005292647	APPAREL: CETNAROWICZ	106034	5130	47.59
GALLS LLC	005300388	APPAREL: BUDNY	106034	5130	49.20
GALLS LLC	005300742	APPAREL: KUHLLERS/MELVIN	106010	5130	101.20
GALLS LLC	005300742	APPAREL: KUHLLERS/MELVIN	106034	5130	215.06
					<u>668.35</u>
GEWALT-HAMILTON ASSOCIATES INC	4625.902-1	PROF SERVICES - NORTHWEST QUADRANT	101210	5365	1,158.00

Vendor	Invoice #	Description	Org	Obj	Total Invoice
GHA TECHNOLOGIES INC	983726	CAMERA	106034	5810	276.67
GHA TECHNOLOGIES INC	985563	PRINTER TONER	101330	5460	<u>72.02</u>
					348.69
GRAINGER INC	9083693680	FUSES - WRF	542052	5470	163.74
GRAINGER INC	9085018407	EMERGENCY MANAGEMENT EQUIPMENT	106010	5460	87.56
GRAINGER INC	9089103486	FUSES - WRF	542052	5470	<u>91.60</u>
					342.90
GRAND PRIX CAR WASH	043016	SQUAD CAR WASHES: APR 16	106034	5326	243.65
GRAY, GEORGE BARRETT	04282016	FAMILY DAYS - EXP REIMB	101210	5386	129.92
HARDROCK	537639/55790	1705 GARAND - DEPOSIT REFUND	910000	2423	200.00
HAVEY COMMUNICATIONS, INC	6359	RADIO REPAIR	176020	5323	139.00
HD SUPPLY WATERWORKS	F297185	FIRE HYDRANTS	502050	5421	19,428.00
HD SUPPLY WATERWORKS	F425352	CHECK VALVE	542031	5421	<u>255.00</u>
					19,683.00
HIGHLAND PARK FORD	105847	SQUAD INVENTORY - WIPER BLADES	702050	5470	52.44
HIGHLAND PARK FORD	CM105423	CORE RETURN	702050	5470	<u>(50.00)</u>
					2.44
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	101111	5350	5,154.05
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	102010	5350	8,726.44
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	102110	5350	927.18
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	106010	5350	19,143.64
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	502010	5350	8,181.03
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	542010	5350	10,908.05
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	582030	5350	463.59
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	602019	5350	196.34
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	602038	5350	196.34
HIGH-LEVEL EXCESS LIABILITY POOL	1057	2016/2017 ANNUAL CONTRIBUTION	702050	5350	<u>1,145.34</u>
					55,042.00
HOME DEPOT CREDIT SERVICES	1105661	SMALL TOOLS - GRINDER	702050	5440	280.53
HOME DEPOT CREDIT SERVICES	1105678	OPERATING SUPPLIES	101111	5460	80.04
HOME DEPOT CREDIT SERVICES	1105678	OPERATING SUPPLIES	102038	5460	7.27
HOME DEPOT CREDIT SERVICES	1105678	OPERATING SUPPLIES	106010	5460	58.21
HOME DEPOT CREDIT SERVICES	1105732	TOOLS FOR FORMING CONCRETE	102050	5440	233.85
HOME DEPOT CREDIT SERVICES	7206201	SUPPLIES	542031	5421	<u>35.84</u>
					695.74
IAFCI	2542	TRAINING: PETTORELLI	106033	5212	120.00
IDLEWOOD ELECTRIC SUPPLY INC	280638	SUPPLIES - WRF	542052	5470	1.45
IL DIRECTOR OF EMPLOYMENT SECURITY	0662076550	A/C 800792 / BEN118R / Q1/2016	101330	5122	3,514.78
ILLINOIS EPA	2016-2017 TESTING	WATER SUPPLY TESTING: JUL 16 - JUN 17	502031	5365	1,360.00
ILLINOIS SCHOOL RESOURCE OFFICERS ASSN	2016	CONFERENCE: KROPP	106034	5212	199.00
ILLINOIS SECRETARY OF STATE	1FM5K8AR6EGC37842	TITLE - SQUAD #2	106034	5326	95.00
ILLINOIS SECRETARY OF STATE	1FMJU1G5XEEF38842	TITLE AND PLATES - SQUAD #1	106034	5326	104.00
ILLINOIS SECRETARY OF STATE	IHTWCAAR8EH793130	TITLE AND PLATES - #801	102036	5326	<u>103.00</u>
					302.00
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	101111	5810	161.23
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	101210	5810	483.70
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	101330	5810	322.47
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	102110	5810	322.47
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	502010	5810	161.23
INSIGHT PUBLIC SECTOR	1100472651	STAFF LAPTOP	542052	5810	161.23
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	101111	5810	1,604.91
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	101210	5810	4,814.72
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	101330	5810	3,209.81
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	102110	5810	3,209.81
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	502010	5810	1,604.91
INSIGHT PUBLIC SECTOR	1100472879	STAFF LAPTOPS	542052	5810	<u>1,604.91</u>
					17,661.40
INTUITIVE CONTROL SYSTEMS LLC	SIN008924	RADAR MESSAGE SIGN	106034	5810	5,470.00
JG UNIFORMS, INC	42455	APPAREL: GONZALEZ	106020	5130	51.39
JG UNIFORMS, INC	42456	APPAREL: KUPSAK	106034	5130	109.98
JG UNIFORMS, INC	42457	APPAREL: OBRZUT	106034	5130	109.98
JG UNIFORMS, INC	42458	APPAREL: LORENZ	106034	5130	156.20
JG UNIFORMS, INC	42656	APPAREL: FRONTONE	106034	5130	278.00
JG UNIFORMS, INC	42686	APPAREL: GLOWACZ	106020	5130	130.98
JG UNIFORMS, INC	42704	APPAREL: MCCOWAN	106034	5130	50.61
JG UNIFORMS, INC	42705	APPAREL: NICHOLS	106034	5130	<u>39.95</u>
					927.09
JP COOKE COMPANY	394448	VILLAGE OF DEERFIELD STAMP	101111	5410	28.40
KANKAKEE NURSERY CO	115522	ASH TREE REPLACEMENT	102037	5365	5,832.00
KANKAKEE NURSERY CO	115550	ASH TREE REPLACEMENT	102037	5365	<u>6,200.00</u>
					12,032.00

Vendor	Invoice #	Description	Org	Obj	Total Invoice
KATZ, MICHAEL	10030	1102 ELMWOOD - DEPOSIT REFUND	910000	2423	500.00
KONICA MINOLTA BUSINESS SOLUTIONS	9002361791	COPIER MAINT/PW-ENG/APR 16	102110	5450	104.20
LAKE COUNTY COLLECTOR	PTAX/2015/1ST&2ND	DRAINAGE DISTRICT - TY2015 INSTALLMENTS 1 & 2	102050	5365	12,392.43
LAKE COUNTY RECORDER	2016-00021879	RECORDING FEES: SAMANTHA'S WAY/PLAT OF SUBDIVISION	101330	5365	68.00
LAW ENFORCEMENT SYSTEMS INC	193686	DOCUMENT PROTECTION BAGS	106034	5460	73.00
LICHTERMAN, ANDREW	04222016	EXP REIMB - IAMMA CONF REG	101210	5331	75.00
MAG CONSTRUCTION	16-030	SIDEWALK MUD JACKING	542052	5320	500.00
MAG CONSTRUCTION	16-033	BRIERHILL/DEERFIELD RD COLUMN REMOVAL	222082	5910	2,500.00
					3,000.00
MASTER BREW	1340859	COFFEE	106010	5460	89.48
MCHENRY ANALYTICAL WATER LABORATORY, INC	1601717	INDEPENDENT LAB TESTING	542052	5365	221.20
MENACKER, NADINE	APR16	HOME GREETER - APR 16	101210	5387	200.00
MENONI & MOCOgni, INC.	1175671	SHADE GRASS SEED	102037	5421	143.00
MENONI & MOCOgni, INC.	1176870	SIDEWALK REPAIR SUPPLIES - WRF	542052	5320	36.00
MENONI & MOCOgni, INC.	1177251	BLACK DIRT	102037	5365	172.89
MENONI & MOCOgni, INC.	1177670	BLACK DIRT	502050	5421	62.22
MENONI & MOCOgni, INC.	1177706	BLACK DIRT	102037	5421	170.09
MENONI & MOCOgni, INC.	1179016	PEAT MOSS	102037	5421	50.00
MENONI & MOCOgni, INC.	1179138	MULCH	102037	5421	133.96
MENONI & MOCOgni, INC.	1179194	SHADE GRASS SEED	102037	5421	205.50
MENONI & MOCOgni, INC.	1179523	CONCRETE STAKES	102050	5421	146.70
					1,120.36
METZGER, BARRY AND HOLLY	485890/54028	735 SMOKE TREE - DEPOSIT REFUND	910000	2423	5,000.00
MGP, INC	3019	CSR STUDY GROUP - APR 16	101210	5365	275.00
MGP, INC	3020	GIS STAFFING SERVICES - APR 16	102110	5375	6,334.17
					6,609.17
MICROSYSTEMS INC	I000074539	SCANNING OF COMMERCIAL PLANS - BLDG	101330	5335	1,928.41
MICROSYSTEMS INC	I000074569	STREET FILES DOCUMENT ARCHIVING PROJECT	101210	5365	1,156.87
MICROSYSTEMS INC	I000074572	ANNUAL SOFTWARE MAINTENANCE	101210	5365	175.00
					3,260.28
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	101111	5324	675.73
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	101210	5914	168.93
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	102038	5320	675.73
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	102050	5365	675.73
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	602019	5320	675.73
MOORE LANDSCAPES INC.	26786	TURF MAINT/MAY 16/#5 OF 12	602038	5390	506.82
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	101111	5324	1,073.74
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	101210	5914	2,863.33
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	102037	5914	2,147.50
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	102038	5320	357.92
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	602019	5320	357.92
MOORE LANDSCAPES INC.	26787	PLANTING & MAINT/MAY 16/#5 OF 12	602038	5390	357.92
					10,537.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33077	TREE PLANTING	102037	5365	160.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33082	CENTER ISLAND CLEAN UP	102050	5365	248.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33083	LANDSCAPE RESTORATION	102050	5365	60.00
MOSCONI - ENRICO LANDSCAPE CONTRACTORS INC	T33088	MAINTENANCE OF CENTER ISLANDS	102050	5365	540.00
					1,008.00
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	100000	1614	188,061.57
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	101111	5350	57,098.21
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	102010	5350	96,674.23
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	102110	5350	10,271.63
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	106010	5350	212,079.07
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	500000	1614	45,316.04
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	502010	5350	90,632.09
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	540000	1614	60,421.39
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	542010	5350	120,842.78
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	580000	1614	2,567.91
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	582030	5350	5,135.82
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	600000	1614	2,175.18
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	602019	5350	2,175.17
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	602038	5350	2,175.17
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	700000	1614	6,344.25
MUNICIPAL INSURANCE COOPERATIVE AGENCY	2016-2017	ANNUAL PREMIUM 2016 - 2017	702050	5350	12,688.49
					914,659.00
MURRIN, MICHAEL	APR16	PLUMBING INSPECTIONS (40) - APR 16	101330	5365	2,600.00
MUTUAL SERVICES OF HIGHLAND PARK	523831	GATE VALVE	502050	5421	34.19
NAPA AUTO PARTS - WHEELING	387981	SEAL - #308	702050	5470	8.75
NAPA AUTO PARTS - WHEELING	388751	SHOP PAINT	702050	5470	22.19
NAPA AUTO PARTS - WHEELING	389233	TIRE MACHINE REPAIR	702050	5322	171.13
					202.07
NORTH SHORE GAS	3500025944094-032116	A/C 3 5000 2594 4094 02/18/2016 TO 03/17/2016	502031	5520	260.35
NORTHERN IL POLICE ALARM SYST	10926	ANNUAL MEETING FEE (2)	106034	5212	54.00
OFFICE DEPOT	836962656001	OFFICE SUPPLIES	101111	5450	44.96
OH, SO JE	04142016	WILDFISH LIQUOR LICENSE REIMBURSEMENT	100001	4211	1,250.00
PARENT NETWORK	05162016	OPERATING/PROGRAMMING GRANT	101210	5387	1,000.00
PASSPORT PARKING INC	3346	MOBILE PAY SERVICES - APR 16	101210	5370	1,006.50

Vendor	Invoice #	Description	Org	Obj	Total Invoice
PERMA-LIFE	1604	LOCK REPLACEMENT	102050	5365	320.00
PERMA-LIFE	1605	LOCK ADJUSTMENTS - PW GARAGE	102010	5320	360.00
PERMA-LIFE	1616	LOCK REPLACEMENT - TRAIN STATION	102038	5320	1,085.00
					1,765.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101111	5213	7.50
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101210	5331	35.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101210	5332	30.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101210	5332	36.83
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101210	5387	33.36
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	101210	5450	10.37
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	102110	5213	9.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	102110	5332	18.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	102110	5410	60.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	102110	5450	30.58
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	106034	5460	25.44
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	176020	5370	35.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	542010	5410	18.75
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	542052	5213	9.00
PETTY CASH - ADMIN	70265/05062016	RECONCILE & REPLENISH PETTY CASH	542052	5410	27.99
					386.82
PHILLIPS, ROBERT W.	101646041816	EXP REIMB - CAT CONFERENCE	102110	5211	88.00
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	101111	5337	46.35
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	101210	5337	46.35
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	101330	5337	46.35
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	102010	5337	46.35
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	106010	5337	61.80
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	502010	5337	30.90
PITNEY BOWES	3100147806	QRTLY MAINT: FEB 16 - APR 16	542010	5337	30.90
					309.00
PRECISION SERVICE & PARTS INC	30IV089935	ALTERNATOR - #310	702050	5470	415.52
QUILL CORPORATION	5093814	OFFICE SUPPLIES	102010	5450	11.56
QUILL CORPORATION	5093814	OFFICE SUPPLIES	102110	5450	11.53
QUILL CORPORATION	5093814	OFFICE SUPPLIES	502010	5450	11.56
QUILL CORPORATION	5093814	OFFICE SUPPLIES	542010	5450	11.56
					46.21
RADAR MAN INC	2975	EQUIPMENT REPAIR	106010	5322	270.00
RED'S GARDEN CENTER INC	3948	TOPSOIL	502050	5421	165.00
RED'S GARDEN CENTER INC	3986	TOPSOIL	502050	5421	198.00
RED'S GARDEN CENTER INC	4462	BLACK DIRT	102037	5421	99.00
					462.00
SAFARILAND LLC	I16-052932	TRAINING: HARDT	106034	5212	275.00
SAM'S CLUB DIRECT	0252	OPERATING SUPPLIES	101210	5460	124.96
SAM'S CLUB DIRECT	0252	OPERATING SUPPLIES	101330	5460	41.66
SAM'S CLUB DIRECT	0252	OPERATING SUPPLIES	102010	5460	104.13
SAM'S CLUB DIRECT	0252	OPERATING SUPPLIES	102038	5460	20.83
SAM'S CLUB DIRECT	0252	OPERATING SUPPLIES	106010	5460	124.97
					416.55
SCHINDLER ELEVATOR CORP	8104264531	QTRLY MAINT/PD ELEV/MAY 16 - JUL 16	106010	5320	1,188.03
SLOAN, DAVID SHAWN	101849024416	EXP REIMB - IAWPCO CONFERENCE	542052	5211	96.00
STATE TREASURER	43614	TRAFFIC SIGNAL MAINT/ JAN 16 - MARCH 16	102050	5611	5,850.00
STRAND ASSOCIATES INC	0119388	WILMOT RD LIFT STATION IMPROVEMENT	222082	5990	3,152.36
STRAND ASSOCIATES INC	0119710	OPERATIONAL ASSISTANCE - MARCH 2016	542052	5362	328.96
					3,481.32
STRAUSS, TOM OR KIM	537490	TREE APPLICATION REFUND	100001	4232	75.00
SUBURBAN LABORATORIES INC	133533	LEAD TESTING	502031	5365	135.00
SUNSET FOOD MART INC	163725	OPERATING SUPPLIES	101111	5460	59.52
SUNSET FOOD MART INC	163725	OPERATING SUPPLIES	101330	5460	3.31
SUNSET FOOD MART INC	163725	OPERATING SUPPLIES	106010	5460	3.30
					66.13
SUSAN AND DANIEL KEATING	537777/55921	1411 WOODLAND - DEPOSIT REFUND	910000	2423	200.00
SWAGIT PRODUCTIONS LLC	7267	VIDEO STREAMING SERVICES/BOARD MEETINGS - APR 16	101210	5364	645.00
TD CONSTRUCTION SERVICES LLC	531212	PLAN REVIEW FEE REFUND	100001	4220	400.00
THELEN MATERIALS LLC	332789	STONE/CLEAN FILL DUMP	502050	5421	2,338.48
THELEN MATERIALS LLC	333110	STONE/DIRT REMOVAL	502050	5421	3,262.24
					5,600.72
TRAFFIC CONTROL & PROTECTION INC	86363	BARRICADES	102050	5421	495.00
TRAFFIC CONTROL & PROTECTION INC	86363	BARRICADES	502050	5421	495.00
TRAFFIC CONTROL & PROTECTION INC	86363	BARRICADES	542051	5421	495.00
					1,485.00
UNION DRAINAGE DISTRICT NO. 1	04-05-201-005-2015	2015 ANNUAL MAINT BILL - 29A	542051	5365	946.90
VAN METER & ASSOCIATES, INC	60015-G	SUBSCRIPTION	106020	5213	165.00
VOIGT, DOUGLAS	413169/51667	1134 CHESTNUT - DEPOSIT REFUND	910000	2423	500.00
WALGREEN NATIONAL CORP	FEB16	SALES TAX REBATE - FEB 16 SALES	101111	5395	266,115.60

Vendor	Invoice #	Description	Org	Obj	Total Invoice
WASTE MANAGEMENT	5731735-2008-7	REFUSE SERVICE - APR 16	582030	5391	277.20
WASTE MANAGEMENT	5731736-2008-5	REFUSE SERVICE - APR 16	582030	5391	2,433.20
WASTE MANAGEMENT	5731742-2008-3	REFUSE SERVICE - APR 16	582030	5391	485.10
WASTE MANAGEMENT	5731743-2008-1	REFUSE SERVICE - APR 16	582030	5391	616.00
WASTE MANAGEMENT	5734975-2008-6	YARDWASTE STICKERS	582030	5410	4,050.00
WASTE MANAGEMENT	5734976-2008-4	REFUSE SERVICE - APR 16	582030	5391	97,770.24
WASTE MANAGEMENT	5734977-2008-2	REFUSE SERVICE - APR 16	582030	5391	271.04
WASTE MANAGEMENT	5734978-2008-0	REFUSE SERVICE - APR 16	582030	5391	1,151.92
WASTE MANAGEMENT	5734979-2008-8	REFUSE SERVICE - APR 16	582030	5391	414.72
					107,469.42
WHOLESALE DIRECT INC	000220411	HOSE REEL REPAIR	702050	5322	64.29
WL CONSTRUCTION SUPPLY INC	10030	CONCRETE BLADES	102050	5421	406.65
WL CONSTRUCTION SUPPLY INC	10030	CONCRETE BLADES	502050	5421	406.66
WL CONSTRUCTION SUPPLY INC	10030	CONCRETE BLADES	542031	5421	406.66
					1,219.97
XYLEM DEWATERING SOLUTIONS INC	400602211	HOSE AND FITTING	502050	5421	468.00
ZIEBELL WATER SERVICE PRODUCTS	232847-000	GASKETS	502050	5421	64.00
ZIEBELL WATER SERVICE PRODUCTS	232848-000	HYDRANT WRENCHES	502050	5421	376.00
					440.00
					Total Invoices
					\$ 1,839,023.22
Pre-Paid Checks					
CLERK OF THE CIRCUIT COURT OF COOK COUNTY	539890	BOND MONEY TRANSFER	910000	2441	575.00
					Total Pre-Paid Checks
					\$ 575.00
Pre-Paid Wire Transactions					
DEERFIELD BANK & TRUST	BAF1190APR16	BANK ANALYSIS FEE/1190/APR 16	730000	2801	17.77
DEERFIELD POLICE PENSION	POLPEN04292016	POLPEN CONTRIBS 04/29/2016 PR	730000	2066	14,939.26
FEDERAL TAXES	PR042916	FICA/MC/FIT 04/29/2016 PR	730000	2011	52,019.62
FEDERAL TAXES	PR042916	FICA/MC/FIT 04/29/2016 PR	730000	2031	30,702.84
FEDERAL TAXES	PR042916	FICA/MC/FIT 04/29/2016 PR	730000	2032	7,180.42
FEDERAL TAXES	PR042916	FICA/MC/FIT 04/29/2016 PR	730000	2033	4,110.86
					94,013.74
ICMA	ICMAREG04292016	ICMA REG 04/29/2016 PR	730000	2042	17,703.97
ICMA	ICMAROTH04292016	ICMA ROTH 04/29/2016 PR	730000	2042	6,842.68
					24,546.65
ILLINOIS DEPT OF REVENUE	PR04292016	SIT 04/29/2016 PR	730000	2051	12,749.99
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	1613	7,951.28
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2437	500.00
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2437	1,997.88
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2437	2,136.77
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2437	23,260.40
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2438	59.93
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2438	117.31
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2438	23,743.21
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2439	361.98
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	100000	2439	63,815.22
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	101111	5120	650.00
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	730000	2054	925.84
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	730000	2054	1,002.28
IPBC	APR16	MEDICAL/LIFE INSURANCE: APR 16	730000	2060	170,955.20
					297,477.30
US BANK	SNKTRSTAPR16	TRUST FEES/SINK ACCT/APR 16	367072	5369	49.31
US BANK	BAF1010APR16	BANK ANALYSIS FEE/1010/APR 16	730000	2801	291.13
US BANK	TRUSTAPR16	TRUST FEES/VILL ACCT/APR 16	730000	2801	125.76
					466.20
					Total Pre-Paid Wire Transactions
					\$ 444,210.91
					Grand Total
					\$ 2,283,809.13

To the Finance Director:

The payment of the above listed accounts has been approved by the Board of Trustees at their meeting held on May 16, 2016 and you are hereby authorized to pay them from the appropriate funds.

(Treasurer)

REQUEST FOR BOARD ACTION

Agenda Item: 16-49

Subject: Report and Recommendation of the Plan Commission Re: Request for a Special Use for a Portillo's Restaurant with a Drive-Thru at 700 Lake Cook Road (former On the Border Restaurant)

Action Requested: Approval for Recommendation

Originated by: Plan Commission

Referred to: Mayor and Board of Trustees

Summary of Background and Reason for Request:

The Plan Commission held a public hearing on April 28, 2016 to consider the special use request of InSite Real Estate. InSite Real Estate is the contract purchaser of the 700 Lake Cook Road property and they are working with Portillo's to develop a Portillo's restaurant with a dual lane drive-thru. The Plan Commission recommends approval of the plans with the requested variations.

Reports and Documents Attached:

Recommendation
Public Hearing Minutes 4/28/16
Workshop Minutes 4/28/16
Prefiling Minutes 3/24/16
Appearance Review Commission Memo
Aerial Photo (2)
Zoning Map
Petitioner's Materials

Date Referred to Board: May 16, 2016

Action Taken: _____

RECOMMENDATION

TO: Mayor and Board of Trustees

FROM: Plan Commission

DATE: April 28, 2016

RE: Request for a Special Use for Portillo's Restaurant with a Drive-thru at 700 Lake Cook Road including necessary variations (former On the Border Restaurant).

We transmit for your consideration a recommendation adopted by the Plan Commission of the Village of Deerfield on the request of the petitioners for an Special Use for a Portillo's Restaurant at 700 Lake Cook Road. The Plan Commission held a public hearing on April 28, 2016. At that public hearing, the petitioners presented testimony and documentary evidence in support of the request. A copy of the public hearing and workshop minutes are attached.

In support of its request, the Plan Commission makes the following findings of fact and conclusions:

FINDINGS OF FACT

Subject Property

The subject property is 700 Lake Cook Road, which is currently developed with a vacant On the Border restaurant building and parking lot. Prior to On the Border, Chi-Chi's restaurant was located on the property. The property is zoned C-2 Outlying Commercial District and is approximately 2.3 acres in size. This property is part of the Brickyards development. InSite Real Estate is the contract purchaser of the 700 Lake Cook Road property and they are working with Portillo's to develop the restaurant.

Surrounding Zoning and Land Use

North (across Estate Drive): I-1 Office, Research and Restricted Industrial District, 3 office buildings (Deer Park Business Center)

South (south of Lake Cook Road): I-1 Office, Research and Restricted Industrial District, 707 Lake Cook Road Office Building and C-2 Outlying Commercial District, Home Depot PUD

East (across Deer Lake Road): C-2 Outlying Commercial District, Demetri's Restaurant and Eggshell Café

West: I-1 Office, Research and Restricted Industrial District, 770 Lake Cook Road office building (3 stories); and C-2 Outlying Commercial District, Courtyard Marriott Hotel

Proposed Plan

The petitioners are seeking a Special Use in order to establish a Portillo's restaurant with drive-thru at 700 Lake Cook Road (former On the Border restaurant property). The existing 7,100 square foot On the Border building will be demolished and new restaurant constructed. The proposed Portillo's restaurant will have a footprint of 9,318 s.f. on the ground floor and will have a 1,514 s.f. mezzanine level which will be used for storage. The total area of the restaurant will be 10,832 s.f. A dual drive-thru for 40 cars is proposed that will wrap around the west, south and east sides of the building. The main parking lot will be on the north side of the building and a row of parking will be provided on the east side of the building. The main entrance to the restaurant will be on the north side of the building, facing the parking lot. The petitioner's site plan shows the drive aisle in adjacent to the main restaurant entrance will be striped with cross hatching to alert drivers that they are in an area with pedestrians and cross traffic.

Typical hours of operation will be from 10:30 a.m. to 10 p.m. Sunday through Thursday, and 10:30 a.m. to 11 p.m. Friday through Saturday. The petitioner's materials indicate they will be seeking a liquor license. One (1) fully enclosed outdoor dining area with ornamental fencing is being proposed on the north side of the building on the east side of the main entrance and accessible from the interior of the building only as required by the Municipal Code when alcohol is served in an outdoor seating area. The petitioners are proposing to add new landscaping to the property around the building and the parking lot, and they are proposing a screened trash enclosure with a small berm and built up with a brick enclosure at the southeast corner of the site to the east of the drive-thru lanes.

The proposed Portillo's restaurant will feature hot dogs, burgers, salads, Italian beef and an assortment of other sandwiches and sides as well as a catering menu. The architecture of Portillo's restaurant buildings is unique. The petitioners have indicated that the Deerfield concept is a 70's themed building. An entry mural over the front door evokes the 1970's theme/décor going on inside the building. The petitioners will be seeking several sign variations which are detailed in the signage section below.

Staff has asked the petitioners for a detailed written description of the proposed use at this location, and the petitioners have provided this in their materials. In order to avoid repetition by including a more detailed written description of the proposed new restaurant in this report, please see the petitioner's written materials for more detailed write up on the proposed Portillo's Deerfield restaurant.

In the October 2014 traffic study, KLOA observed the proposed dual drive through lanes will maximize the amount of stacking provided (40 vehicles) which together with Portillo's typical operation of using employees to assist in taking and delivering orders will be adequate in accommodating the projected demand. Further, the 2014 study concluded that volume of traffic to be generated by the proposed restaurant can be accommodated by the existing roadway system without significantly increasing the overall delays. The petitioners have updated the 2014 traffic study with new traffic

counts and the 2016 study showed a slight increase in lunch hour traffic on Lake Cook Road, but this increase did not did not change the study's conclusions with respect to the drive-thru operations (including stacking) or access to the site.

Access

The Brickyards development is accessed from Lake Cook Road by Deer Lake Road and from Pfingsten Road by Estate Drive. Deer Lake Road and Estate Drive are public streets. The Village is targeting these public streets for reconstruction in 2016. The three existing access points to the subject property will be kept in approximately the same location, but updated and enlarged. The existing primary access point on Deer Lake Road will be widened and will consist of one inbound lane and two outbound lanes (one right turn lane, one straight and left turn lane). The existing access point on Estate Drive will be widened and updated. The existing east/west access point to the north of the restaurant building that connects to the three story office building to the west will be maintained in its current location.

Zoning Conformance

The petitioners are seeking a Special Use for the proposed restaurant with a drive-thru, including and necessary variations. Zoning Ordinance Article 5.02-C,1,k requires that a drive-thru has "direct signalized access to an existing right-of-way." This means that vehicular access to a signalized intersection must be gained without entering the public street system. For the proposed Portillo's restaurant, vehicles will have to enter a public street (Deer Lake Road) for a short distance before gaining access to the signalized intersection at Deer Lake Road and Lake Cook Road, therefore, a variation from this provision in the Zoning Ordinance will be required.

Minimum Setbacks

This property is part of the Brickyards PUD. A 50' building setback line from the Lake Cook Road and Deer Lake Road property lines exists on the subject property. The new Portillo's restaurant building will be set back approximately 65' from the Lake Cook Road property line (the front yard) and approximately 83' from the Deer Lake Road property line (corner side yard). An interior side yard (to the west) requires a minimum of 12 feet, and the rear yard (to the north) requires 10 feet and the new building setbacks exceeds these requirements.

Maximum Lot Coverage

Lot coverage is the area of the lot covered by the principal and accessory buildings.

Allowed: 30% of the total area of the lot.

Proposed: 9.27% of the total area of the lot.

Building Height

Allowed: 35'

Proposed: The proposed new Portillo's building will be a maximum height of 30' 1" from grade at the highest point on the tower element.

Parking

Required: One (1) parking space for each 60 square feet of gross floor area for sit-down restaurant, and one (1) parking space for each 120 square feet of gross floor area for carry out. Storage areas are not counted in the required parking areas. The first floor of the restaurant is 9,318 s.f. and the petitioners estimate that customers who park and come inside the restaurant will be 50 percent sit-down, and the other 50 percent carry-out business. The proposed restaurant would require 117 parking spaces (50% of 9,318 s.f. = 4,659 s.f. / 60 = 77.65 spaces required for the sit-down portion of the restaurant; and 50% of 9,318 s.f. = 4,659 s.f. / 120 = 38.82 spaces required for the carry-out portion of the restaurant; 77.65 + 38.82 = 116.47 = 117 spaces required). The Village can reduce or increase parking requirements for a restaurant by 25% of the required total, according to the Zoning Ordinance. Outdoor seating areas are counted in the parking requirement unless it is determined that outdoor seating areas should not be included in the parking requirement. Staff has estimated that approximately 11 parking spaces would be required if the outdoor seating area is included in the parking count. At the Plan Commission meetings, they were not believe it was necessary to count the outdoor seating area at the north end of the restaurant toward the parking requirement for the restaurant as outdoor seating areas are seasonal, and even when they are open there are many times when they are not in use on an ongoing basis due to the weather conditions. For other outdoor seating areas that the Village approved in the past, the outdoor seating area have not been counted toward the parking requirements.

Parking Provided: There will be a total of 124 parking spaces provided on the subject property, including 5 handicapped accessible spaces, as required.

Size of Parking Stalls and Aisle Widths

Required: 9' x 19' (perpendicular) with a 24' aisle width

Proposed: As required (Note: the former On the Border received a parking variation to allow spaces that were 18'6" deep in lieu of 19' deep).

Location of Parking Spaces

Allowed: Parking permitted in required yards, but must be 5' from the property line.

Proposed: As required, the parking setback meets or exceeds 5' from the property line.

Loading

Required: One loading area (12' wide by 30' long) or as determined by the Village for a Special Use.

Proposed: The petitioner's site plan indicates that loading will take place in front of the trash enclosure area at the concrete pad at the south end of the building.

Landscape Plan

The petitioners are proposing changes to the existing landscaping on the property. The petitioner's landscape plan indicates the location, number, type and size of the proposed plantings on the property for the north and east parking lots, around the new drive-thru lanes and trash enclosure, and the south side of the property facing Lake Cook Road.

Screening of the Parking Lot

Required: Permanent peripheral screening four (4) feet high shall be constructed in side and rear yards adjacent to parking areas. This screening may consist of a planted earth berm, densely planted evergreen shrubs or trees, or a combination of both.

Proposed: The petitioners will be providing new landscaping as shown on their landscape plan, Sheet L1.00. The plantings include shade trees, ornamental trees, shrubs, grasses, perennials and annuals. The petitioner's written description indicates the plantings were chosen for variety and diversity, as well as salt tolerance. The parking areas will be screened by landscaping.

Lighting

Required: The Zoning Ordinance requires that illumination be arranged so that it is directed away from adjoining properties and streets so as to not project direct rays of light onto adjacent properties or street right-of-ways and not produce excessive glare.

Proposed: The petitioners will be installing new site lighting in the parking lot consisting of LED fixtures mounted on 25 foot tall square poles. The petitioners have provided cut sheets of the light poles and fixtures in their materials. The site lighting will be controlled by a photocell to go on and by a timer to go off at midnight, allowing customers and employees to exit the building up to one hour after closing. The petitioners have provided a photometrics plan showing the location of the light fixtures in the parking lot and the lighting output.

Trash/Refuse Area

Required: All refuse containers must be fully enclosed by a screening fence or landscaped screening of a height sufficient to screen containers from view from adjoining properties and public or private ways.

Proposed: A trash/refuse area will be created at the southeast corner of the site. The new trash area will be screened partially with a landscape berm to the south that wraps around parts of the east and west sides of the trash enclosure. The berm will partially hide the trash enclosure from view. The trash enclosure will be built up with a brick enclosure and have flower planters on top of the south, east and west wall of the enclosure to help softened the view from the drive-thru. Garbage trucks will access the trash enclosure from the north side of the structure, and there will be gates on the north side. Sheet A9.0 in the petitioner's materials details the trash enclosure.

Stormwater Detention and Utilities

The petitioner's materials indicate that the existing site drainage and stormwater management will generally remain the same as they are today. Stormwater on this property is collected in catch basins and that discharge to the existing retention pond along Lake Cook Road in front of the office building to the west. The petitioners have provided a grading plan (C3.00) and utility plan (C4.00) as part of their submittal package.

HVAC/Mechanical Screening

The petitioners are proposing to screen all the rooftop units and rooftop exhaust fans from view with the building's parapet walls. The petitioner's materials contain a Roof Plan, Sheet A3.0.

Bike Racks

Bicycle facilities need to be indicated on the petitioners' plans as required by the Zoning Ordinance. The Zoning Ordinances requires that where appropriate, all developments in the commercial districts have to provide for bicycle storage, and safe and smooth internal circulation. Development is defined as the construction, reconstruction, conversion, substantial structural alteration, or substantial enlargement of any building housing the primary use of the property. The petitioners are planning to install bicycle racks near the main entrance as shown on plan AS-2.

Fire District

The Deerfield Bannockburn Fire Protection District has approved the site plan for emergency vehicle accessibility.

SIGNAGE

The Portillo's restaurant image is unique and they have worked to combine their branding with Deerfield's character. All of the Portillo's restaurants are themed in a certain decade and proposed for this location is a 70's themed building.

GROUND SIGN

	ALLOWED	PROPOSED
AREA	32 square feet	42 square feet (9'3" x 4'6") Variation Required
LOCATION	may be in required yards, shall not extend over lot line	in required front yard
HEIGHT	20 ft. above curb level	Approximately 15'9" (7'9" height of proposed sign, plus 8' existing rise in grade from Lake Cook Road)
DEPTH	12"	25" (sign cabinet 18") Variation Required
ILLUMINATION	source fixed and concealed	internal LED, fixed and concealed

NORTH ELEVATION

North Elevation Wall Sign, "Portillo's"

	ALLOWED	PROPOSED
AREA	front/rear 80 sq.ft. or 8% of wall area (8% = 98 sq.ft. (73'6" x 16'8"))	84 sq.ft. (5'2.5" x 16'0")
LOCATION	facing public street, access easement or parking area	facing parking area
HEIGHT	top of roof deck or 30 feet above curb, whichever is lower	22 feet above grade and above roof deck (which is 16'8") Variation Required
DEPTH	12"	9"

ILLUMINATION source fixed and concealed fixed interior box illumination

North Elevation Mural

A non-commercial mural is proposed to be located over the restaurant's entrance. If a mural is non-commercial in nature, it is consider art and exempt from the signage provisions.

EAST ELEVATION

East Elevation Wall Sign, "Portillo's"

	ALLOWED	PROPOSED
AREA	side 40 sq.ft. or 4% of wall area (4% = 69 sq.ft. (104' x 16'8"))	84 sq.ft. (5'2.5" x 16'0") Variation Required
LOCATION	facing public street, access easement or parking area	facing parking area
HEIGHT	top of roof deck or 30 feet above curb, whichever is lower	27 feet above grade and above roof deck (which is 16'8") Variation Required
DEPTH	12"	9"
ILLUMINATION	source fixed and concealed	fixed interior box illumination

The diamond shaped cabinets are still proposed on the east elevation, but the "Beef Burgers Salads Shakes" text has been removed from the cabinets making the cabinets building elements.

SOUTH ELEVATION

South Elevation Wall Sign, "Portillo's Beef Burgers Salads"

	ALLOWED	PROPOSED
AREA	front/rear 80 sq.ft. or 8% of wall area, whichever Is greater (8% = 65 sq.ft. (32'4" x 25'h))	111.36 sq.ft. (16' x 6' 11.5"h) Variation Required **

**The petitioners asked the Village to consider the entire south facing wall when calculating the 8% of the wall area, including the area of the wall that is 15 feet behind the wall which the sign will be placed on. The Zoning Ordinance only allows the area of the wall on which the sign is placed to be counted in the area of a wall sign, therefore the entire area of the wall is not counted. Note: The entire south wall of the building including the wall that is 15 feet offset would allow a 165 square foot sign. The Plan Commission reviewed the proposed 111.36 square foot south wall sign and they did not have an issue with the proposed wall size as it provides greater visibility for the restaurant along a major, busy road. They believe this south wall sign is not excessive, and therefore believe the sign variation for this sign should be granted.

LOCATION	facing public street, access easement or parking area	facing public street
HEIGHT	top of roof deck or 30 feet above curb, whichever is lower	23 feet above grade and above roof deck (which is 16'8") Variation Required
DEPTH	12"	9"
ILLUMINATION	source fixed and concealed	fixed interior box illumination

Note: The words Beef Burgers Salads are part of the Portillo's logo – see portillos.com Although the Appearance Code states that items listed for sale are generally not acceptable for signage, Portillo's trademark includes these items.

WEST ELEVATION

West Elevation Wall Sign, "Portillo's"

	ALLOWED	PROPOSED
AREA	side 40 sq.ft. or 4% of wall area (4% = 69 sq.ft. (104' x 16'8"))	84 sq.ft. (5'2.5" x 16'0") Variation Required
LOCATION	facing public street, access easement or parking area	facing parking area
HEIGHT	top of roof deck or 30 feet above curb, whichever is lower	27 feet above grade and above roof deck (which is 16'8") Variation Required
DEPTH	12"	9"

ILLUMINATION source fixed and concealed fixed interior box illumination

The diamond shaped cabinets are still proposed on the west elevation, but the “Beef Burgers Salads Shakes” text has been removed from the cabinets making the cabinets building elements.

MENU BOARD GROUND SIGN FOR DRIVE-THRU

The Zoning Ordinance indicates that the number, area, location, height, and lighting of a menu board sign is handled on a case by case basis, as each is site specific. Proposed for Portillo’s is a 36 square foot menu-board ground sign. Dunkin’ Donuts has the largest menu-board in town at 49 square feet.

DIRECTIONAL SIGNS

Proposed are 3 site directional signs.

	ALLOWED	PROPOSED
AREA	2 square feet	2 square feet
ILLUMINATION	non-illuminated	internally illuminated Variation Required

Dunkin’ Donuts and McDonalds were both granted illuminated directional signs (2 sq.ft.) by the Board of Trustees – they both have a drive-thru and a 24 hour operation. McDonalds has since reduced their hours, closing at 11:00 PM. Portillo’s will be open until 10:00 PM and until 11:00 PM on Friday and Saturday.

Exposed LED Light Strip Banding at Top of the New Building

Proposed along the top on the building is an exposed yellow LED light strip used as an accent border. LED banding (yellow LED light strip used as an accent border) at the top of the building) will be reverse lighting (light strip facing the wall will have muted glow and serve as accent lighting) and not face the parking lot.

Appearance Review Commission

The Appearance Review Commission (ARC) will have a final review for the exterior wall signs and other exterior elements of the building and the site. The Board would decide which signage variations would be granted at their May 16 meeting before the ARC final review scheduled for May 23, 2016.

CONCLUSIONS

Compatible with Existing Development

The Plan Commission believes that the Special Use for the proposed restaurant will be compatible with existing development and should not impede the orderly development and improvement of surrounding properties. The Plan Commission believes the proposed use is a good use of a former restaurant parcel and will be compatible with the existing development in the area. The Plan Commission believes the petitioners have developed a well thought out plan for the proposed restaurant and it will be a benefit to the area and an asset to the Village. The Plan Commission believes the proposed restaurant facility will be a benefit to the Village and believes it will fit well in this location. They believe the property is suitable for the proposed use as this space was previously used as a restaurant. They believe the proposed restaurant will not have an adverse impact on surrounding properties. They believe the architecture of new building is refined, stylish, aesthetically pleasing, and tastefully done.

Many changes have been made to the petitioner's plans since their first meeting with the Appearance Review Commission on March 14, and the Plan Commission was pleased with these changes made to the appearance of the building. The Plan Commission reviewed these changes at their March 24 pre-filing conference which included: removing the words "Beef, Burgers, Salads, and Shakes" (located in a decorative element) from the west and east wall signs and replacing these words with stars which eliminated 2 very large signs; dropping the ghost signs (painted wall signs for the Deerfield logo and Welcome to Deerfield) on the east wall of the building; and other exterior changes including changing the LED banding at the top of the building (yellow light strip used as accent border) to reverse lighting so the light faces the wall, not the parking lot which will provide a muted glow/subtle accent lighting; adding some decorative elements to the façade such as faux windows and shutters to break the facade up for better visual appearance. Further changes to signage at the April 28 public hearing included the elimination of a north wall sign (A Chicagoland Tradition) and the downsizing of the east and west side wall signs from 122 square feet in area to 84 square feet in area.

The Plan Commission believes that all of the signage variations as listed out in the above signage section are appropriate and reasonable. They believe the proposed size, location, placement of the signage as shown on the revised signs plans is a good plan that provides the visibility and identity for Portillo's unique restaurant image but at the same time is tastefully done and is compatible with this commercial area and fits with Deerfield's character.

Lot of Sufficient Size

The Plan Commission believes the subject property is of sufficient size for the proposed use. The Plan Commission believes the property is suitable for the proposed use and it

will not create a negative impact on surrounding properties. The Plan Commission believes there is plenty of stacking for the drive-thru and the three access points provides for good distribution of vehicles coming in and going from the site.

Traffic

The Plan Commission believes the proposed use should not create traffic problems on the subject property and should not have an adverse impact on surrounding properties. The proposed use should not significantly increase traffic volumes in the area. The space was previously used as a restaurant for many years. They believe the traffic generated by the proposed restaurant will not have an adverse impact on the area. The Plan Commission believes the traffic will flow well on the site and through the parking lot. They believe the drive-thru operations will work efficiently and there is an ample amount of stacking available.

Parking and Access

The Plan Commission believes that parking will be adequate for the proposed restaurant. They believe the proposed restaurant should not create a parking problem in the area and will not adversely impact parking on the property. The proposed parking meets the requirements of the zoning ordinance and a variation is not needed. They believe the large parking field on the property will work well for the restaurant.

The location of the three existing access points to this site will not be changed, These three access points provide for an efficient distribution of traffic entering and leaving the site. The Plan Commission believes the request for a variation to waive the requirement for direct access to a signalized intersection is appropriate in this situation. Vehicles have to enter the public road system a short distance to get to the signalized intersection at Deer Lake Road and Lake Cook Road.

Effect on Neighborhood

The Plan Commission believes the proposed restaurant should not be significantly or materially detrimental to the health, safety, or welfare of the public or injurious to other property or improvements in the neighborhood, nor should it diminish or impair property values in the surrounding area. The Plan Commission believes the proposed use will not have an adverse impact on surrounding properties. The Plan Commission believes the request for sign variations are appropriate as described above. The Plan Commission believes that the proposed restaurant will be a good use and will be an asset and benefit to the area and the Village as a whole. The Plan Commission believes the restaurant fits well at this location. The Plan Commission is pleased that a long time vacant property will be developed with a great use that will be a major enhancement to the area.

Adequate Facilities

The Plan Commission believes that adequate facilities (access, utilities, etc.) will be provided for the proposed restaurant.

Adequate Buffering

The Plan Commission believes that proposed landscaping and buffering on the subject property is adequate. The parking lot will be screened with landscaping as required. Enhancements to the site are being made to the landscaping as shown on the landscape plan.

RECOMMENDATION

Accordingly, it is the recommendation of the Plan Commission that Portillo's plans to develop the property at 700 Lake Cook Road with a restaurant, including the necessary variations as outlined in this recommendation, be approved.

Ayes (7): Benton, Berg, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays (0): None

Respectfully submitted,
Mary Oppenheim, Chairperson
Plan Commission

PLAN COMMISSION
VILLAGE OF DEERFIELD

The Plan Commission of the Village of Deerfield held a Public Hearing Meeting at 7:30 P.M. on April 28, 2016 at the Village Hall, 850 Waukegan Road, Deerfield, Illinois.

Present were: Mary Oppenheim, Chairperson
Bob Benton
Larry Berg
Al Bromberg
Elaine Jacoby
Jim Moyer
Stuart Shayman

Also present: Jeff Ryckaert, Principal Planner
Dan Nakahara, Associate Planner

Public Comment on a Non-Agenda Item

No public comment.

- (1) Request for a Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant)

The petitioner provided proof of mailing and the legal notice was published on April 7, 2016 in the Deerfield Review.

Dan Uebelhor, Project Manager, InSite Real Estate, gave a general project overview: the lot size is approximately 2.3 acres; the zoning is the C-2 Outlying Commercial District with surrounding zoning being I-1 Office Research Restricted Industry to the north, south and west and C2 Outlying Commercial District to the east. The formal request is for a Special Use approval for a Portillo's Restaurant, and to allow for a drive thru operation. The building currently residing on the 700 Lake Cook Road property (the former On the Border Restaurant) will be demolished, and a new Portillo's Restaurant building will be built. The proposed site plan has the following boundaries: Estate Drive to the north; Lake Cook Road to the south; and direct access to Deer Lake Road to the east. The proposed restaurant is consistent with the commercial and restaurant context within which it's located in the C-2 Outlying Commercial District.

Mr. Uebelhor explained that traffic patterns within the existing site have not drastically changed. The site will maintain the existing ingress and egress access point. Internal pedestrian circulation is being supplemented with crosswalks and sidewalks which lead to adjacent parking lots and businesses. Careful consideration has been given to the

drive thru as this element is critical to the restaurant's operation and provides customers with a high level of service which is a hallmark of Portillo's. The proposed restaurant dual lane drive thru will be designed to provide for stacking for 40 cars.

Mr. Uebelhor noted that the initial traffic study was done by KLOA in 2014 and KLOA is currently near completion of updating the traffic study. The petitioner will provide the final traffic analysis as soon as it is completed. Mr. Uebelhor introduced Luay Aboona, Principal and Traffic Engineer with KLOA to answer any questions on the parking and traffic analysis. Mr. Uebelhor commented that the traffic and parking analysis will indicate that volume of traffic generated by this type of restaurant can be accommodated by this roadway system without significantly impacting delays.

The proposed building footprint is about 9,318 square feet on the ground level with a 1,514 square foot mezzanine level for an extended kitchen, storage and mechanical area. This is a 60 square foot increase from the floor plan presented at the pre-filing conference meeting. The change was due to an additional bump out on the south wall for the extra cooler and storage space. The total area of 10,832 square feet with a total of 124 parking spaces exceeding the 117 required parking spaces. Mr. Uebelhor noted that this was a recent design change that was not reflected in their submittal for the public hearing. He also noted that this does not change the site plan.

Mr. Uebelhor explained that the outdoor patio is located on an expanded sidewalk in colored concrete to compliment the building color and is located directly on the north side of the building near the main entrance. The outdoor area is planned for 11 tables (five with umbrellas) with 44 chairs total. The umbrellas will be red to match the signage on the building and the tables will have a decorative black aluminum base with a sand mix resin table top. The chairs will be aluminum wrapped in beige PBC type basket weave. The area includes a painted, decorative concrete block and rod iron fence frames anchored by painted 4' by 4' steel posts for safety purposes. Mr. Uebelhor commented that the outdoor area will be fully enclosed as required per the regulations and rules stipulated by the liquor license, as well as for safety. The area is only accessible from the inside of the building but there will be 2 gates for emergency exit only as required by Fire Code.

Mr. Uebelhor commented that the proposed landscape plan creates a variety of shade and ornamental trees which diversifies the site against future disease and anticipates future weather conditions by using more salt resistant hybrids. The landscape design included the consideration of multi-seasonal blooming, attractive focal points, deciduous and broad leaf mixtures, and hardscape softening and screening in the layout to compliment the building and overall site. The landscape plan incorporates several native plant species from the Conserve Lake County preferred species list. The landscape plan is fully compliant with Village ordinance and provides screening around the trash enclosure and the parking lot perimeter areas.

The proposed Portillo's building elevations, design and character of the building embodies a 70's theme and building has a variety of building elements that create a variety of interests. The structure will be wrapped in brown on brown horizontal brick bands broken up with cultured stone. The main entry is on the north side of the building and defined by a green soffit vestibule with a mural over the front door evoking a 70's theme going on inside the building. The outdoor seating area will be fully enclosed with a retro style decorative concrete block panel inset in a wrought iron fence frame. Gold LED accent bands at the top of the building walls are shielded by view and will cast a subtle glow along the edge of the roof.

The east and west elevations of the building have a Portillo's sign and the diamond-shaped building elements and introduce shutter windows elements to break up the wall massing. The south elevation moves up to 25 feet on a ledge stone building wall element with a Portillo's sign. The south elevation also includes 3 diamond building elements and faux shutter window elements to break up the façade along Lake Cook Road. The trash enclosure will be full brick and match the brick color of the building. The trash enclosure will have flower planters at the top of the enclosure and additional landscaping at the base.

There will be 3 different colors of face brick: cinnamon colored brick for the main field, darker colored brick for the horizontal banding, and a basic brown colored brick for the lower main fields. There will be sledge stone manufactured cultured stone on the south and north sides of the building and a variety of shades of artichoke green for the decorative window shutters.

The petitioner commented that they are seeking various sign variations. On the east elevation they are proposing an 84 square foot trademark Portillo's wall sign which exceeds the 69 square foot allowable sign area or 4% of the wall area. Mr. Uebelhor commented that this sign was reduced from the originally proposed 122 square foot sign. This wall sign is also proposed at a height greater than allowed based on the height of the roof deck. The diamond shaped cabinets are still proposed on the east elevation but the text has been removed from the diamond cabinets. The petitioner noted that these cabinets should be considered building elements as opposed to signs. The petitioners is proposing the same Portillo's sign and diamond elements on the west elevation as the east and the sizes and heights are the same as well. Mr. Uebelhor commented that in their discussions with the Appearance Review Commission (ARC) the ARC would be in support of the 84 square foot signs and the height variation as long as the sign is centered vertically between the top of the lights and the bottom of the roof structure.

The north elevation proposes an identical trademark Portillo's sign size as the east and west elevations. The sign will require a variation due to the height of the sign at the roof deck. The ARC was in favor of granting a height variation as long as the sign was centered vertically within the brick banding. The wall sign does not require a variation for size and the previously proposed text on the front entrance awning "A Chicagoland

Tradition” has been removed so a variation is no longer needed for a second sign on the north elevation. On the south building elevation bump out, an 84 square foot sign Portillo’s sign with an additional sign panel below has the text “ Beef Burger Salads” is being proposed. The “Beef Burgers Salads” text is prototypical of Portillo’s trademark. The addition of this panel increases the size of the sign to 112 square feet. The wall area of this south building elevation allows for a sign of 56 square feet. The petitioner would like the Plan Commission to consider the entire south facade in the calculation of the allowable wall sign for this elevation. If the entire south elevation is considered a wall sign of 172 square feet would be allowed and the proposed 112 square foot south wall sign would be in compliance.

Mr. Uebelhor noted that the ground sign is 42 square feet exceeding the allowable 32 square feet. The petitioner is requesting this variation due to the increased setback from Lake Cook Road and due to the grade change from where the sign is located to Lake Cook Road. The petitioner is also seeking a variation for the depth of the ground sign. The depth of the proposed ground is 25 inches (18 inch sign cabinet) exceeding the 12 inches allowed. Additionally, he noted that it is critical to Portillo’s that the business be visible and noticeable from nearby intersections at Pfingsten to the west and beyond Deer Lake Road to the east. The petitioner feels that this variation is necessary for the adequate advertising of the business and they feel strongly that the size that they are asking for is within reason and the sign is proportionately sized for this proposal. The last variation is to illuminate the directional signage due to the high volume of drive-thru traffic and night business. The petitioner also feels that illuminating the directional signs will increase the safety of their drive-thru operation.

Mr. Uebelhor went through the elevations drawings with the Plan Commissioners and clarified that the small outdoor fenced area to the west of the main entrance will remain for safety purposes but will not be used as an outdoor seating area.

Mr. Uebelhor thanked the Plan Commission for their time and hoped that they have given reasonable explanation and justification for the variations they are seeking. The petitioner noted that hope that they can find a home in Deerfield and that they are very excited to have the opportunity be here.

Chairperson Oppenheim asked the petitioner if there are any other changes besides the 60 square foot increase on the first floor that was not in the submitted material. Commissioner Bromberg noted that the text “A Chicagoland Tradition” was also removed from the front entrance awning. Mr. Uebelhor confirmed that the text was removed and these were the changes made to the public hearing plans.

Chairperson Oppenheim asked the petitioner when the updated traffic and parking study would be completed. Luay Aboona, Principal Traffic Engineer, KLOA, noted that the traffic study will be finalized by early next week. Mr. Aboona clarified that they have taken new traffic counts based on current conditions and have found that there is a slight increase in lunch hour traffic on Lake Cook Road at Deer Lake Road but nothing

to the extent that would change their recommendations from what their findings were in original 2014 traffic study. Mr. Aboona noted that their conclusions remain the same from the previous study in that their findings with access, circulation, drive-thru usage, roadway system, stacking, etc. and are all consistent with the previous study. Mr. Aboona commented that the study will show that their findings will be the same but they did want to take a fresh look at the area with current data as opposed to the 2014 data. Mr. Aboona noted that the slight increase in traffic during the lunch hour on Lake Cook Road is attributed to activity in the area and daily fluctuations. The evening peak traffic is not much different from 2014 data. Commissioner Moyer asked if there would be a need to bring in traffic control during peak hours. Mr. Aboona noted that the stop signal at Lake Cook Road and Deer Lake Road can handle the additional traffic and they don't see any issues at the Pflingsten Road and Estate Drive intersection. He added that they don't see any issues at the site access points and the close proximity of the office buildings will allow people to walk to the restaurant. Commissioner Moyer asked that if traffic were to become an issue would Portillo's participate in traffic control. Sherri Abruscato, Chief Operating Officer with the Portillo Restaurant Group commented that Portillo's does participate in traffic assistance as needed. She noted that at their Schaumburg location they do pay for the police to assist in directing traffic. Commissioner Berg asked if there were any differences in traffic counts on Deer Lake Road or Estate Drive.

Commissioner Bromberg asked for clarification that the ARC will issue their final report after this petition goes to the Board of Trustees. Mr. Ryckaert confirmed that this petitioner will go to the ARC after it has gone to the Board. The Board will get the Plan Commission recommendation and the ARC minutes/memo and the Board will decide which variations to grant and then this petition will go back to the ARC for a final review. Commissioner Bromberg asked if the ARC is in agreement with the petitioner's current proposal. Mr. Ryckaert noted that the petitioner has made a lot of favorable changes. Chairperson Oppenheim noted that since the pre-filing conference meeting there have been a lot of movement on the petitioner's part. Commissioner Berg felt that there have been significant changes made to this point. Commissioner Berg asked Mr. Ryckaert what would be left for the ARC to review if the Board votes on the variations. Mr. Ryckaert commented that there will be a final review by the ARC including final design elements. Chairperson Oppenheim noted that this process is the normal review process.

PUBLIC COMMENT

Rick Hiton, Manager, Leasing Agent and Part-Owner of 770 Lake Cook Road/Flodstrom Investments and Deerfield resident, would like to know what the restaurant will look like on the west elevation that faces the 770 Lake Cook Road property. He is concerned that the height of that sign on the west elevation will be glaring into their second floor of their building and would like to know what the illuminated directional sign will look like. Mr. Hiton commented that the 770 Lake Cook Road building is 100% leased and he has had to deal with a lot of traffic complaints. He would like to know how traffic will impact

his office building especially if the restaurant uses their property as a cut through to get to Estate Drive. Mr. Hiton commented that when the subject property was used as a staging area during the Lake Cook Road project and dirt was stored on the site, a lot of silt and dirt flowed into their retention pond (the retention pond on 770 Lake Cook Road captures all of the storm water for the 700, 770 and 800 Lake Cook Road properties). Mr. Hiton noted that the pond has lost 4 inches in depth due to the dirt, silt and erosion over time and the fish and frogs that used to live in the pond have all perished. He is wondering how the storm water will be handled. Mr. Uebelhor commented that restaurant is set back 50 feet from the west property line and the existing building is setback approximately 41.7 feet from the west property line. Mr. Uebelhor commented that the height of the building will be 35 feet from the curb on Lake Cook Road but the actual height of the building is 30 feet while the top of the west wall sign is approximately 25 feet high. Commissioner Bromberg asked the petitioner to confirm that the sign facing the property to the west would not cast light onto the adjacent property. Mr. Uebelhor noted that the signs are internally lit with LED lights and give off a subtle glow. Chairperson Oppenheim commented that the Engineering Department will have to review the engineering plans to make sure that the pond will be of sufficient depth to handle the retention. Mr. Uebelhor commented that the improvements will greatly improve the grading and any erosion that was occurring in its current state. Mr. Uebelhor noted that they will not be changing any ingress or egress or access points on the subject property and the only site improvements will be to the parking lot reconstructing the existing curbs. The primary access from the subject property will have direct access to Estate Drive and their customer will not have to use the 770 Lake Cook Road property.

There being no further discussion a motion was made and seconded to close the public hearing.

~~(2) Request for a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A in Deerfield Village Centre (former Orange Leaf space)~~

~~Mark and Linda Berlin, owners of Menchie's Frozen Yogurt, are requesting outdoor seating at their frozen yogurt store. The petitioner would like to put three tables and nine chairs at the east (storefront) elevation facing the parking lot. The distance between the store pillars is approximately 20 feet and the distance from the store window to the curb is approximately 11 feet. The petitioner is also requesting to put four tables and 12 chairs at their south building elevation. The distance between the brick pillars is approximately 25 feet, and the distance from the window to the curb is approximately 18-1/2 feet. The petitioner provided specifications of the tables, chairs and trash receptacles and noted these are the same tables and chairs that they use in the store. Mr. Berlin displayed a site plan with the placement of the tables, chairs and the trash cans. The petitioner plans to store the tables, chairs and trash cans in the store each night when the store closes and put them back out each morning when they open. Commissioner Benton asked how many tables and chairs would be covered by~~

PLAN COMMISSION
VILLAGE OF DEERFIELD

The Plan Commission of the Village of Deerfield held a Workshop Meeting at 7:30 P.M. on April 28, 2016 at the Village Hall, 850 Waukegan Road, Deerfield, Illinois.

Present were: Mary Oppenheim, Chairperson
Bob Benton
Larry Berg
Al Bromberg
Elaine Jacoby
Jim Moyer
Stuart Shayman

Also present: Jeff Ryckaert, Principal Planner
Dan Nakahara, Associate Planner

(1) Discussion of Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant)

Commissioner Berg feels that the petitioner has made a lot of significant changes since they first came before the Plan Commission for the pre-filing conference meeting and commends the petitioner for making the changes most of which were recommended. He does not really see any problems with the petitioner and thinks the petitioner is willing to address any potential concerns such as traffic flow. Commissioner Berg has seen other Portillo's operations and thinks they run a top-notch operation with traffic control, service and being kind to their neighbors. He applauds the changes they have made.

Commissioner Moyer thinks that they have made vast improvements and likes the relationship they have with the ARC and working through signage issues. He looks forward for them to become a part of the community.

Commissioner Benton noted that this is popular restaurant and they are looking forward to Portillo's being in the community. With the changes that have been made, he thinks they have done a marvelous job and he is looking forward this business opening in Deerfield.

Commissioner Bromberg, Jacoby and Shayman were fine with plan and thought this would be a nice addition to the community.

Chairperson Oppenheim noted that a couple of changes were made to the plans and that when they go to the Board of Trustees they should have these changes in the final plans. She feels that the 60 square foot increase (south elevation bump out) is

relatively minor and is comforted by the preliminary traffic information provided by Mr. Aboona. She feels it is extremely important that they received a traffic study update even though the previous traffic study was relatively recent. As for the sign variations, she feels that the rationale given for the variations for the size and placement on the building makes sense. She understands that Lake Cook Road is a very busy road and realizes the importance of placing signage so that it can be seen. Commissioner Oppenheim finds the variations reasonable and is encouraged with the discussions that are happening with the ARC. She would love to see that the mural on the front of the building remains. She commented that it is extremely exciting to have this property developed and this will be an enhancement for the neighbors and she sees this as a positive for them.

Commissioner Jacoby motioned to approve a Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant) which includes the south bumpout, the sign variations and a variation from Zoning Ordinance Article 5.02-C,1,k which requires that a drive-thru has "direct signalized access to an existing right-of-way." Commissioner Benton seconded the motion. The vote was as follows:

Ayes (7):Berg, Benton, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays (0):None

The item will be on the Board of Trustees agenda on May 16, 2016

~~(2) Discussion of a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A~~

~~The Commissioners were in favor of the outdoor seating area for Menchie's and thought that this use is appropriate and reasonable for a yogurt store, and a nice amenity.~~

~~Commissioner Bromberg motioned to approve the Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A. Commissioner Berg seconded the motion. The vote was as follows:~~

~~Ayes (7):Berg, Benton, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays (0):None~~

~~The item will be on the Board of Trustees agenda on May 16, 2016~~

~~There being no further business to discuss the meeting adjourned.~~

~~Respectfully Submitted,
Dan Nakahara~~

~~Chairperson Oppenheim commended the petitioners for their very detailed and very thorough submittal. Chairperson Oppenheim reiterated that the Preliminary Development Plan was previously approved many years ago, and they are seeking approval of their Final Development Plan.~~

~~Commissioner Benton motioned to approve the request for approval of a Final Development Plan for 8 Parkway North in the Parkway North Center on Site 5 & Site 8. Commissioner Berg seconded the motion. The vote was as follows:~~

~~Ayes: (6) Benton, Berg, Bromberg, Jacoby, Shayman, Oppenheim
Nays: (0) None~~

~~The motion passed and will be on the April 18th Village Board of Trustees Meeting agenda.~~

(2) Prefiling Conference: Request for a Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant)

Dan Uebelhor, Project Manager, InSite Real Estate, identified InSite Real Estate as the acting petitioners on behalf of the Portillo Restaurant Group. Mr. Uebelhor introduced the members of the development team for the Portillo's Restaurant at 700 Lake Cook Road: Eric Pedersen, Project Management Director with InSite Real Estate; Michael Weber, Site Planner with InSite Real Estate; Shawn Benson, Civil Engineer with Wight & Co.; Jarrett Jensen, President of Jensen & Jensen Architects & Engineers; Sherri Abruscato, Chief Operating Officer with the Portillo Restaurant Group; Eric Russell, Principal with KLOA, Inc.; and, Rob Whitehead, Co-owner of Olympic Signs.

Mr. Uebelhor gave a general project overview: the lot size is approximately 2.3 acres; the zoning is the C-2 Outlying Commercial District; the formal request is for a Special Use approval for a Portillo's Restaurant, and to allow for a drive thru. The proposed building footprint is about 9,258 square feet on the ground level with a 1,500 square foot mezzanine level for an extended kitchen, storage and mechanical area, for a total area of 10,772 square feet with a total of 124 parking spaces exceeding the 117 required parking spaces. The proposed site plan has the following boundaries: Estate Drive to the north; Lake Cook Road to the south; and direct access to Deer Lake Road to the east. The proposed restaurant is consistent with the commercial and restaurant context within which it's located in the C-2 Outlying Commercial District. The building currently residing on the 700 Lake Cook Road property (the former On the Border Restaurant) will be demolished, and the new Portillo's Restaurant building will be built over that area.

Mr. Uebelhor explained that traffic patterns within the existing site have not drastically changed. The site will maintain the existing ingress and egress. Internal pedestrian circulation is being supplemented with crosswalks and sidewalks which lead to adjacent parking lots and businesses. And careful consideration has been given to the drive thru

as this element is critical to the restaurant's operation and provides customers with a high level of service is a hallmark of Portillo's. The proposed restaurant drive thru will be designed to provide for stacking for 40 cars.

Mr. Uebelhor presented an enlargement of the outdoor seating area to the Plan Commission. The outdoor patio is located on an expanded sidewalk in colored concrete to compliment the building color and is located directly on the north side of the building near the main entrance. The outdoor area is planned for 12 tables (six with umbrellas) with 48 chairs total. The area includes a painted, decorative concrete block and rod iron fence frames anchored by 4' by 4' steel posts for safety purposes. The umbrellas will be red to match the signage on the building and the tables will have a decorative black aluminum base with a sand mix resin table top. The chairs will be aluminum wrapped in beige PBC type basket weave. Mr. Uebelhor commented that the outdoor area will be fully enclosed as required per the regulations and rules stipulated by the liquor license, as well as for safety. Commissioner Bromberg commented that in the drawings that they received it appeared that there was seating on both sides of the main entrance doors. Mr. Uebelhor explained that they recently updated the outdoor seating plan due to the Village liquor law license requirements and that the Plan Commission did not have the most up-to-date version in their packets. Chairperson Oppenheim asked for confirmation that the document being presented was an accurate version of their proposed plans for the outdoor seating area. Mr. Uebelhor confirmed that was correct, and stated that the outdoor seating area will be fully enclosed, as this was a concern of the Village.

Mr. Uebelhor explained that the goal of the proposed landscape plan was to create a variety of shade and ornamental trees; diversify the site against future disease; anticipate future weather conditions by using more salt resistant hybrids. The landscape design included the consideration of multi-seasonal blooming, attractive focal points, deciduous and broad leaf mixtures, and to soften the hardscape and for screening in the layout to compliment the building and overall site. The design also incorporated several native plant species from the Conserve Lake County species list.

Mr. Uebelhor commented on the building shape and size which includes the ground level (9,258 square feet), the patio facing to the north, and the mezzanine level (upper level to be used for storage and mechanical spaces). Chairperson Oppenheim asked for confirmation that there is no public space on the upper floor. Mr. Uebelhor confirmed that would not be any public space on the upper floor.

Jarrett Jensen commented on the proposed Portillo's building elevations, design and character. The structure will be a precast building with full brick face on all four sides which is different from their previous submissions that had precast with stamped, painted bricks. The character of the building embodies a 70's theme and building has a variety of building elements that create a variety of interests. The primary building elevation is approximately 23' 10".

On the Lake Cook Road frontage (south elevation) the elevation moves up to 25' on a ledge stone element with a Portillo's sign. The south elevation also includes 3 diamond building elements that were recently changed to remove the text from the diamonds based on the Appearance Review Commission's (ARC) recommendations. Mr. Jensen explained that the petitioner's recent meeting with the ARC included a lot of discussion of signage, placement of signage, and the character of the building elements. The petitioners have made substantial changes to the building's signage based on the ARC's comments, and are confident that the ARC will be satisfied.

The south façade has shuttered window elements above the Portillo's sign, which assists in breaking up masonry wall. Chairperson Oppenheim asked for confirmation on whether the window shutters were for actual windows or just decorative pieces. Mr. Jensen confirmed that the window shutters were purely decorative, and added that the window shutters were also incorporated around the other sides of the building as well to break up the wall mass and tie into the character of the other building elements. The south side of the building is the tallest side at 30' 10" tall.

The east elevation of the building also has a Portillo's sign and the diamond-shaped building elements on the east wall. The petitioners consider the diamond-shaped building elements to be a character item and not signage as the text was removed from within the elements based on the ARC's comments. Mr. Jensen explained that in order to keep the form and the character of the building, the development team decided to keep the diamond shapes as building elements, as well as introduced the window shutter elements along the east wall.

The petitioners also noted that they reduced the quantity of the gooseneck building wall lighting fixtures and shifted around some of the locations of the fixtures. The gooseneck lights are all in black and the spacing between them changed from six to eight feet based on the ARC's request. Chairperson Oppenheim asked if there was actually less lighting on the building now. Mr. Jensen confirmed that there is less building lighting per the ARC's request.

The north side of the building faces the parking lot and serves as the main entrance of the building. The north façade entry feature has a green soffit feature above it, and is slightly highlighted with sledge stone with a 70s themed mural highlighting the building entry. The outdoor seating area would be located on the north side of the building where there will be steel posts inset into concrete block and horizontal rails painted in an artichoke green. There is also a trellis over the outdoor seating area similar to the trellis (a steel sunshade) along the west side.

Commissioner Bromberg asked if the sign on the north elevation that said "A Chicagoland Tradition" was still being proposed. Mr. Jensen confirmed that they are still proposing this signage. He commented that "A Chicagoland Tradition" is on all of the current stores and it is a part of the Portillos criteria package.

Commissioner Benton commented that having two drive thru lanes was a great design decision, and asked how the customers on the outer drive thru lane would be served their food. Mr. Jensen explained that Portillo's associates work the lanes (especially during the peak lunch and dinner times). There will be 3 to 8 associates outside in the drive thru area assisting with directing traffic and taking orders. After an order is taken by an associate, a different associate would take the payment as well as deliver the food to the customer. Often times (during busy hours) a Portillo's associate takes customers' orders even before they pull up to the drive thru menu.

Mr. Jensen discussed the building materials. There will be 3 different colors of face brick: cinnamon colored brick for the main field, darker colored brick for the horizontal banding, and a basic brown colored brick for the lower main fields. There will be sledge stone manufactured cultured stone on the south and north sides of the building and a variety of shades of artichoke green for the decorative window shutters.

The trash enclosure will be full brick and match the brick color of the building. Flower planters line the top of the trash enclosure (per Mr. Portillo's request). In addition, the trash enclosure will be heavily landscaped. Chairperson Oppenheim asked if it was going to be slightly bermed behind the trash enclosure. Mr. Jensen noted that there will be a slight berm. Chairperson Oppenheim asked if the loading area is located directly to the north of the trash enclosure. Mr. Jensen confirmed that the loading area would be near the trash enclosure at the back of the building on the south and east façades. Deliveries to the restaurant would be made at off hours, typically prior to opening. Chairperson Oppenheim agreed that it made sense to have all deliveries done outside of operation hours as it is not an entirely practical place to have your loading area with the double drive thru. Mr. Jensen commented that the delivery service would not conflict with the operating hours. Chairperson Oppenheim asked for confirmation that deliveries would be restricted to occurring prior to the restaurant opening (assumably early in the morning), so that there is not a traffic issue. Mr. Jensen confirmed that deliveries and restaurant operation hours don't overlap.

There are LED parking lot lights in the parking lot, and the petitioners will work with staff to make sure that the lighting levels and photometric plan meets the Village's standards and criteria. Chairperson Oppenheim commented that the main objective in regards to the outdoor lighting was to ensure that the lighting remains within the property. The petitioners are satisfied with the lighting plan for the property from an operations standpoint, but want to ensure that it meets the Village's standards.

Rob Whitehead, explained that the petitioners had originally presented the signage "Portillo's Hotdogs: Beef, Burger, Salads" on every elevation; however, the Portillo's ownership has since dropped the word "hotdogs" from their official name, so now it will just say "Portillo's" on their signage. There is an internally illuminated LED Portillo's sign on the north elevation and the only part of the sign that lights up is the word "Portillo's" while everything else is opaque. The power supplies are housed in a green bar and the LED is concealed behind plastic. Mr. Whitehead presented a sample of a reverse

element that is being used as accent lighting on the building. The strip will be painted to match the color of the building in order to blend in (and is almost completely invisible to the naked eye). Chairperson Oppenheim commented that the accent lighting essentially gives a muted glow. On the south elevation the "Beef, Burgers, Salads" sign element will be internally illuminated with LED lights. Mr. Whitehead explained that on the east elevation they consider the triangle elements as decorative pieces since all of the verbiage was eliminated from within the triangles. The petitioner does not consider the triangle elements as a sign.

Mr. Whitehead commented that there are stars bordering the trim of the building with concealed LED lighting within the trim piece (not visible to the naked eye) that is going to give off a glow from the panel and highlight the detail of the stars in the border. He also noted that the accent lighting is not going to be overpowering and is simply meant to show the detailing in the panels. Commissioner Shayman asked if the accent lighting was internally illuminated. Mr. Whitehead explained that there is an LED lighting element within the trim area that gives off a soft glow to highlight some detailing on the panel. Commissioner Bromberg asked if the petitioners if they had presented any of their signage and building element plans to the ARC. Mr. Whitehead confirmed that they had shown this total detail to the ARC; however, at that time the text was still on the triangle building elements. Chairperson Oppenheim asked if the petitioners had gone back to the ARC with some of their revisions. Mr. Whitehead replied that they had not yet gone back to the ARC, but he is confident that the ARC is going to be excited about the changes they made to the signage based on their recommendations. Commissioner Bromberg asked Mr. Ryckaert, if he thought that the triangle building elements would still be considered signage even without the words on it. Mr. Ryckaert indicated that would need to be reviewed further at the staff level.

The site is going to have a standard drive thru menu, as well as illuminated directional signage. The petitioners explained that the directional signage has to be illuminated based on the high car count, the busy night traffic and the logistics with customers in and out of the restaurant. The petitioner is seeking a proposed monument sign which exceeds the allowed size by 10 square feet because of the distance that the restaurant building will be set back off the road and the vast quantity of the frontage. The petitioner decided that a slightly larger sign would be a better fit and make more sense aesthetically. The petitioner is under the impression that the ARC was in favor of these variations.

Chairperson Oppenheim inquired about the other sign elements that concerned the ARC. Mr. Whitehead commented that they would like to keep the signage that reads "A Chicagoland Tradition" as it is a final element at the entry to the restaurant. Chairperson Oppenheim asked if the petitioners will still be proposing to have the ghost signs. Mr. Jensen commented that the ghost signs were removed from their plan, and added that they are pleased with the signage that they came up with as an alternative based on the ARC's feedback. Chairperson Oppenheim asked if the entry mural was going to be removed from the building element plan as well. Mr. Whitehead clarified that the entry

mural was a painted element that was remaining a part of their building element design. Mr. Jensen added that all the new Portillo's Restaurants have a themed mural as a building element. Chairperson Oppenheim asked how the mural was received by the ARC, and if the ARC viewed the mural as a sign rather than an artistic or decorative element. Mr. Jensen commented that the ARC wasn't sure what to make of the mural, and several of the commission members asked why it was a part of the design. Mr. Jensen explained that it is a design package that all ties together and goes with the 70s theme of the restaurant. Chairperson Oppenheim asked if the petitioners would like to keep the mural as a part of the building design. Mr. Jensen confirmed this and stated that all of the new Portillo's Restaurants have a mural that represents the theme of the restaurant. Mr. Whitehead added that the last 30 new Portillo's Restaurants have incorporated the mural on the building.

Commissioner Bromberg asked about a height and centering issue with some of the signage that the ARC was concerned about. Mr. Jensen identified that as the north entry elevation "Portillo's" signage, and confirmed that the height of the sign was adjusted to center it vertically, and adjusted the gooseneck lighting fixtures down as well. Mr. Jensen commented that the petitioners made a lot of adjustments to their signage and building element designs based on the ARC's comments, and feel that they've come a long way, especially with removing the signage from the diamond features. Ms. Abruscato added that this is the least amount of signage that they have ever put on a Portillo's restaurant building.

Commissioner Bromberg asked if the ARC had an issue with the size of the Portillos sign on the east elevation. Mr. Whitehead confirmed that the sign was deemed larger than the allowed, and explained that their thought was to keep the size of the sign at 122 square feet as there is a large amount of open wall space. Chairperson Oppenheim advised that the size of the signage will need to be further discussed with the ARC. She commended the petitioners for the sharp look of the building signage and elements.

Chairperson Oppenheim pointed out that many of the Plan Commissioners were originally concerned with the safety, logistics and operation of the double drive thru; however, after observing other Portillo's restaurants with the double drive thru she is personally convinced that it is a very safe operation and that it works great. Commissioner Berg was concerned about the safety of the drive thru, and commented that he had lunch at the Skokie Portillo's Restaurant that afternoon. He noted that at that location there is only one drive thru lane. Commissioner Berg commented that when a customer's food isn't ready at the drive thru window a queue line is formed in front of the restaurant where customers wait for their food to be delivered to them by a Portillo's Associate. In his opinion that is a dangerous situation because cars are pulled up with the driver's side up against the curb, and there are oncoming cars in the middle of the road, as well as cars going in the opposite direction. Commissioner Berg pointed out that it is really two and a half lane driveway with 3 cars moving in 3 different directions (south, north, south) and all of the traffic movement is going on directly in front of the entrance where pedestrians are walking in and out of the restaurant.

Commissioner Berg asked if the double drive thru is going to alleviate that type of situation.

Mr. Jensen commented that he is aware of the issue with the single drive thru lane and pointed out that all the new and renovated Portillo's Restaurants are designed with double drive thru lanes for this very reason; for safety of guests going through the lanes. He added that it has worked well. He also pointed out that in the rare case that someone comes through the drive thru with a larger order than normal there is the opportunity to park in the side stalls. Mr. Jensen confirmed that Portillo's management would not have the customer park in front of the restaurant. Mr. Jensen commented that many of their Portillo's Restaurants use holding stalls during busy drive thru times. Commissioner Berg asked if the holding stalls are going to be kept vacant at busy times. Mr. Jensen commented that the stalls would not initially be blocked off during busy times, but it would be evaluated as time goes on, and the stalls would be blocked off if deemed necessary. Mr. Jensen pointed out that the proposed double drive thru for this restaurant has stacking for 40 vehicles and notes it should sufficiently accommodate the drive thru traffic.

Sherri Abruscato commented that the purpose of the double drive thru lane is to have the ability to move vehicles through the lanes efficiently so as one car is sitting at the drive thru window waiting for their order, other vehicles may exit once their orders have been delivered. Ms. Abruscato confirmed that Portillos would reevaluate the drive thru over time, and designate drive thru holding stalls if necessary. She added that they would evaluate if there should be permanent or temporary (posted at the stalls during peak hours). Ms. Abruscato commented that the whole idea of having the two lanes around the building is that it is the most efficient way for the drive thru service to operate and pointed out that the double drive thru lane also allows cars to be easily directed out of the lanes if an unforeseen situation (a car breaking down) occurs. She also mentioned that the double drive thru lane would allow customers that pre-order their food online to get through the drive thru operation quicker. Ms. Abruscato commented on the safety of Portillo's associates walking in and out of the drive thru lanes, and noted that employees are always dressed with the appropriate gear (reflectors on for night time and bright jackets or shirts on for during the day). The drives thru lanes are also made much wider than necessary so that there is plenty of space between the lanes for their employees. Chairperson Oppenheim commented that through her personal experience and observation the double drive thru seemed to work very well.

Eric Russell, Principal with KLOA, stated that the initial traffic study was done in October 2014 and they are currently in the process of updating the traffic study to ensure that the latest plan will work with the current traffic operations on the street system. The access points to the 700 Lake Cook Road Property have remained the same with 3 access points into the property, which provides a nice distribution for ingress and egress. Mr. Russell commented that there were not any unforeseen issues (from the previous traffic analysis) with backups occurring from the Lake Cook Road intersection that would block access to or from the driveway to Deer Lake Road. There is good

movement to and from the office building to the west of the subject property and there have been improvements made to the pedestrian system to and from the west. He also noted that the sidewalk system along Deer Lake Road commenting that it is a safe operation for pedestrian who may walk to the restaurant from within the office park. The previous traffic study concluded that it was a safe operation overall; there was enough capacity on the access driveways; the drive thru provided adequate capacity; and, the parking lot met the Village's parking requirements. Parking surveys were taken from other Portillo's Restaurant locations of similar size during peak lunch and dinner times, and concluded that the peak parking demand was lower than the total number of parking spaces being supplied on this site.

Chairperson Oppenheim asked if the traffic study predicted any additional backups since the last traffic study in October of 2014. Mr. Russell commented that the proposed size of the building is the same, and the restaurant is still predicted to generate the same vehicle and pedestrian traffic, so there are really no changes from last time. Commissioner Shayman asked if there was much vehicle traffic cut through from the office building to the west. Mr. Russell commented that the site is designed is to keep traffic moving slowly through that area, as it is predicted that a lot of pedestrians will be walking from the parking lot into the front of the building and crossing the main access point into the property. There are stop sign controls as you go between the two properties and cross walks across the main drive. There is certainly going to be some cross traffic between the properties, but it should be slow moving traffic.

Chairperson Oppenheim asked if the petitioner is still confident that there isn't going to be a backup on Pflingsten Road as vehicles access out through Deer Lake Road onto Pflingsten Road since that is the main entry point for the residential neighborhood across the street. Mr. Russell commented that during the traffic study they evaluated that intersection as vehicles were traveling west bound accessing Pflingsten Road. They found that there is a short delay for vehicles turning left out, but there wasn't a lot of stacking back from Pflingsten Road. Overall, the traffic study found that the amount of stacking was certainly not enough to block any of the driveways to the existing office buildings, and none of that is predicted to change with the proposed restaurant traffic.

Chairperson Oppenheim asked Mr. Ryckaert if 124 parking spaces are within code, or if the restaurant would be required to provide more parking spaces due to the outdoor seating. Mr. Ryckaert commented that under the code outdoor parking could be counted if the Plan Commission believes it is needed but typically restaurants with outdoor seating have not been required to provide more parking spaces, as the outdoor seating area is not used on a regular basis given whether conditions and customers preferences to sit inside, etc. (it's more of an optional seating area). Chairperson Oppenheim asked if a variation would be required. Mr. Ryckaert commented that the Plan Commission can consider the requirement of additional parking, and if they want the outdoor seating area to count in the parking requirement then a parking variation would be required. This is not usually the case.

Commissioner Shayman asked how many seats are in the restaurant. Mr. Jensen commented that there were a total of 243 seats inside the restaurant; however, there proposal for the outdoor patio is to add a door from the interior dining to the exterior patio dining, which would eliminate 4 seats inside (one 4 seat table top), with a total of 239 interior seats, and 48 proposed seats for outdoor seating area. Commissioner Shayman asked how many parking spots were being provided in total. Chairperson Oppenheim reiterated 124 parking spaces. Chairperson Oppenheim asked if the only change to the entry into the parking lot was that Deer Lake Road would be widened. Mr. Russell confirmed this and added that it would be a single lane in, and two lanes out at the access point to Deer Lake Road. Vehicles exiting through Deer Lake Road will have a dedicated right turn only lane, so that they can easily and efficiently exit back onto Lake Cook Road. There will also be two lanes for left turns onto Lake Cook Road.

Commissioner Benton commented that exiting out of the subject property and onto Deer Lake Road in that manner would be efficient as not many people are going to proceed straight to other office buildings and restaurants. He and added that the office buildings are likely to generate mostly pedestrian traffic walking to the restaurant from the offices. Chairperson Oppenheim pointed out that the sidewalks don't extend all the way from the office buildings to the east to the restaurant, and felt that people were more likely to drive from the office buildings to the restaurant.

Commissioner Bromberg asked about the development schedule for the project. Mr. Jensen commented that the development team was looking forward to submitting their building plans to the Village, so that they can start on the building permit process. Chairperson Oppenheim asked about their ideal timeline for completing the project. Ms. Abruscato commented that realistically they would like to open by the end of the year or early in 2017. Chairperson Oppenheim asked if the development teams concerns about the property last time had been rectified. Ms. Abruscato commented that after working with the InSite engineering team and thoroughly evaluating the land, the Portillo's Restaurant Group wanted to move forward with developing a Portillos restaurant on the 700 Lake Cook Road property.

Chairperson Oppenheim commented that the building looks very sharp architecturally, and that she liked some of the changes that were made in terms of the design elements. She feels that the plant materials are very well laid out and a good variety. Chairperson Oppenheim commented that she was as excited as everyone else in this community at the thought of Portillo's finally opening; and advised the petitioner to have some of their signage issues resolved. Chairperson Oppenheim advised the petitioners to present the Plan Commission with an up to date proposal packet that reflects all of the changes to their plans as there are specific guidelines in regards to variations. Ms. Abruscato commented that the development team feels that the design of the building has developed immensely from their initial design proposal. The restaurant building design still has the 70's look and character, but it is very refined. Chairperson Oppenheim asked Mr. Ryckaert if the signage was the only item that the petitioners

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would need a variation on. Mr. Ryckaert commented that there is one other variation for the property as it does not have direct access to a traffic signal from the drive thru.

There being no further business to discuss the meeting adjourned.

Respectfully Submitted,
Mary Glowacz

Summary of Appearance Review Commission (ARC) meetings held on March 14, 2016 and April 25, 2016

Petitioner: Portillo's Hot Dogs, LLC
InSite Real Estate, LLC (property owner)
700 Lake Cook Road

Proposed Sign Modifications (Variations) and
ARC recommendations regarding each variation:

1. Ground Sign

- a. Allowed Area: 32 sq.ft. **Proposed Area: 42 sq.ft.**
The ARC was not in favor of granting more than the allowed 32 square feet. Demetri's and Eggshell Café, neighboring restaurants, each have a ground sign that is 28 square feet and their sign setback from the south property line is 37 feet. Portillo's setback is 30 feet from the property line. The ARC believes all businesses should be granted the same just consideration.
- b. Allowed Depth: 12 inches **Proposed Depth: 25 inches** (sign cabinet 18")
The ARC was in favor of granting the extra sign depth.

2. North Elevation Wall Sign, Portillo's

- a. Allowed Height: top of roof deck or 30 feet above curb, whichever is lower
Proposed Height: 21 feet above grade and above the roof deck (which is 16'8")
The ARC was in favor of granting a height variation provided the sign is centered vertically in the brick banding – the sign was lowered approximately 1 foot.

3. East Elevation Wall Sign, Portillo's

- a. Allowed Area: side wall 40 sq.ft. or 4% of the wall area (4% = 69 sq.ft.)
Proposed Area: 84 square feet
The ARC was in favor of the sign's area matching north elevation sign, which is 84 square feet.
- b. Allowed Height: top of roof deck or 30 feet above the curb, whichever is lower
Proposed Height: 27 feet above grade and above the roof deck (which is 16'8")
The ARC was in favor of a height variation provided the sign is lowered about 1 foot so that the sign may be centered vertically between the top of the lights and the bottom of the roof structure – the sign was lowered.

4. South Elevation Wall Sign, Portillo's
 - a. Allowed Area: front/rear wall 80 sq. ft. or 8% of the wall area (8% = 65 sq.ft.)
Proposed Area: 112 square feet
The ARC was not in favor of granting this sign area variation. The outermost wall on which the wall sign is located is 15 feet away from the rest of the south façade and wrapped in a different material, therefore the ARC believes a variation of no greater than 84 square feet should be the maximum granted.
 - b. Allowed Height: top of roof deck or 30 feet above curb, whichever is lower
Proposed Height: 23 feet above grade and **above the roof deck** (which is 16'8")
The ARC was in favor of allowing a height variation provided the sign is centered vertically between the top of the lights and the bottom of the wall cap – the sign was lowered.

5. West Elevation Wall Sign, Portillo's
 - a. Allowed Area: side wall 40 sq.ft. or 4% of wall area (4% = 69 sq.ft.)
Proposed Area: 84 square feet
The ARC was in favor of granting a 84 square foot sign to match the other elevations.
 - b. Allowed Height: top of roof deck or 30 feet above curb, whichever is lower
Proposed Height: 26 feet above grade and **above the roof deck** (which is 16'8")
The ARC is in favor of a height variation, provided the sign is centered vertically between the wall cap and the bottom of the roof structure – drawn correctly on architectural drawing, but not the sign drawing.

6. Directional Signs
 - a. Allowed Illumination: none
Proposed Illumination: internally illuminated
The ARC was in favor of illuminating the 3 proposed 2 sq.ft. directional signs.

The ARC's final review of the Portillo's proposal is scheduled for May 23, 2016 at which time all of the building elements will be reassessed along with all of the proposed improvements.

Submitted:
Jean Spagnoli, Planner
Village of Deerfield

Appearance Review Commission

Meeting Minutes

April 25, 2016

A meeting of the Appearance Review Commission was held on Monday, April 25, 2016 at 7:30 p.m. at the Village Hall Conference Room, 850 Waukegan Road, Deerfield, Illinois. Chairman Dick Coen called the meeting to order at 7:30 p.m.

Present were

Dick Coen, Chairman
Beth Chaitman
Sherry Flores
Jason Golub
Elizabeth Low
Daniel Moon

Absent was:

Lisa Dunn

Also Present:

Jean Spagnoli, Village Planner
Jeri Cotton, Secretary

Public Comment:

There was no Public Comment.

Document Approval

Ms. Low moved to approve the minutes from the March 14, 2016 and March 21, 2016 Appearance Review Commission meetings. Ms. Flores seconded the motion. The motion passed unanimously with Mr. Moon abstaining.

Business:

1. Portillo's, 700 Lake Cook Road – South Elevation Wall Sign - variation, preliminary review continued

Michael Weber, site planner with InSite, was present. Ch. Coen noted the request is for signage on one portion of the building, but it relates to the signage on the entire building.

Mr. Weber explained there were no changes planned for the north elevation. On the east elevation, the diamonds will no longer have text inside and the ghost signs will be removed. On the west elevation, the signage will be moved further south and the diamonds will be considered a building element.

Mr. Weber indicated they are proposing changes to the south elevation, which faces Lake Cook Road. They are asking for a variance to the allowed square footage; they propose 111.36 square feet where 80 square feet is allowed. Where the Portillo's sign is located on the bumped out wall, a maximum of 80 square feet would be allowed. Without the 15 foot bump out, 164.6 square feet would be allowed. Ch. Coen noted if the sign was located on a flat facade, they would be allowed more than 111 square feet. Ms. Low indicated the bump out is standing 15 feet away from the wall. Ms. Flores questioned why the petitioner needs a larger sign. She would prefer to have the sign reduced, to meet the Zoning Ordinance. Ms. Chaitman noted they added a bar with the words "Beef", "Burgers" and "Salads", which made the sign larger. Ms. Low believes the Commission has already made an accommodation to make the sign larger, recommending 84 square feet be granted. She would not be in favor of giving a greater variance. Mr. Weber explained the wall area has changed. Mr. Golub also believes the bar should be scaled down. He does not see a hardship to grant the extra square footage. Ms. Chaitman and Ch. Coen agreed.

Ch. Coen summarized that the Commission is not in favor of the sign being larger than the previously recommended 84 square feet. He noted Portillo's is entitled to an 80 square foot sign. Ch. Coen noted the bumpout has a lower roofline than the rest of the building and the bumpout has a different material than the rest of the south facade. The Commission has agreed to center the sign vertically and horizontally on the wall between the roof cap and the lights.

Appearance Review Commission

Meeting Minutes

March 14, 2016

A meeting of the Appearance Review Commission was held on Monday, March 14, 2016 at 7:30 p.m. at the Village Hall Conference Room, 850 Waukegan Road, Deerfield, Illinois. Chairman Dick Coen called the meeting to order at 7:31 p.m.

Present were

Dick Coen, Chairman
Beth Chaitman
Lisa Dunn
Sherry Flores
Jason Golub
Elizabeth Low

Also Present:

Jean Spagnoli, Village Planner
Jeri Cotton, Secretary

Public Comment:

There was no Public Comment.

Document Approval

Ms. Dunn moved to approve the minutes from the February 22, 2016 Appearance Review Commission meeting. Ms. Flores seconded the motion. Ms. Dunn had a few changes to the minutes. The motion passed by the following vote:

AYES: Chaitman, Dunn, Flores, Golub (4)

NAYS: None (0)

ABSTAIN: Coen, Low (2)

Business:

1. Portillo's, 700 Lake Cook Road – new construction, building, site and signage, preliminary review

Sherri Abruscato, chief operating officer and Walter Sydor, architect with Portillo Restaurant Group, Jarrett Jensen, president of Jensen & Jensen Architects, Jim Sakanich, senior vice president with CBRE, Scott Nicholson, managing director and Dan Uebelhor, project manager with InSite, Jeffery Atkins with Mercury Studios, Rob

Whitehead, president, Olympic Signs and Shawn Benson, project manager with Wight & Company were present.

Mr. Uebelhor noted his company, InSite Real Estate, would become the property owner and landlord for the property. Ch. Coen noted this is the second proposal in this location for Portillo's. Mr. Uebelhor explained the site is a former landfill site and they accommodated for a deep foundation system composed of steel piles down to depths that will provide a solid foundation that will perform as if the soil was good. They are also proposing a structural slab for the site. Mr. Nicholson indicated the other difference is the partnership between InSite and The Portillo Restaurant Group.

Ch. Coen noted the Commission is charged with ensuring the proposed building meets the Appearance Code. Mr. Jensen explained the previous plan from 2014 is the same plan as previously submitted, but the building exterior design and footprint have changed. He explained everything is in the same location as the prior submittal. Ms. Dunn asked about the directional sign locations. Mr. Atkins explained the directional signs would be located at all three entrances to the lot. Mr. Jensen explained the monument sign would be located in the center of the property along Lake Cook Road. Ch. Coen noted the submittal shows a utility easement running along the road and questioned the sign location. He cautioned the petitioner about adding the monument sign in the easement area. Mr. Benson explained that the proposed sign location is at the edge of the easement area. Ms. Flores asked about the building footprint. Mr. Atkins explained they added a layer of brick that added about 150 feet to the building.

Mr. Golub asked about the retaining wall near the trash enclosure. Mr. Jensen explained Mr. Portillo previously suggested adding a berm up to the trash enclosure and adding landscape up to the berm. Mr. Uebelhor explained they were looking for ways to screen the trash enclosure and would like feedback from the Commission. The trash enclosure will have a masonry wall. Ms. Abruscato suggested adding evergreen trees to help screen the enclosure. Mr. Golub does not believe this is a logical location for the trash enclosure. Ch. Coen expressed concern about the berm blocking the visibility of the signage from westbound traffic. He understands the operational concerns, but believes the trash enclosure appears as the most dominant feature of the building. Ch. Coen noted the front of the building is toward the interior of the site while the rear of the building is facing the main thoroughfare. He suggested looking into other locations for the trash enclosure. Mr. Uebelhor understands the concerns, but noted the location needs to work with the operations of the business.

Ch. Coen indicated the outdoor seating area needs to be enclosed due to the proposed liquor license. Ch. Coen noted the Commission would need to review the outdoor seating area and enclosure.

The commissioners discussed the proposed light fixture. Ch. Coen noted the proposed light fixture and pole would be black and the building storefront is proposed to be green. Ch. Coen indicated the parking lot fixtures will be LED. He requested the building

illumination to be LED rather than metal halide. Mr. Atkins explained there are black details on the building, including the soffits and diamond trim around the soffit sign elements. There were some discrepancies in the fixture and pole color, but Mr. Atkins explained they should be black. Ms. Dunn noted the arm length shows 9" on the photometric plan and 18" on the submittal. Ch. Coen requested the petitioner coordinate the fixture and pole color and arm length for the site fixtures before final consideration. Ch. Coen noted some of the perimeter parking show photometrics of 0.4. He requested the petitioner look at the placement of the fixtures for better coverage of the perimeter. Ms. Dunn questioned the height of the light poles. Mr. Jensen explained the light poles would be 22' high and 25' high. The poles that are 22' high will be graded 3' higher, so they will appear the same height as the 25' high poles. Ch. Coen noted there does not appear to be a transformer on the site. He noted the Commission will need to review it.

The commissioners discussed the proposed landscaping plan. Mr. Benson explained the proposed plantings are low maintenance. They propose incorporating additional non-invasive species into the landscape plan, which will be shown in the next submittal. Ch. Coen asked if there are any existing larger trees that are in good condition. Mr. Benson explained there are three 12" trees that they are trying to save. Ch. Coen encouraged the petitioner to try to preserve as many trees as possible. Ms. Low appreciates the larger groupings of various trees. She expressed concern about the 8' height of the trash enclosure wall. Mr. Benson explained they propose adding planters. Ms. Abruscato suggested there are ways to add landscaping around the retaining wall rather than a berm, because the building and trash enclosure are now real brick.

The commissioners discussed the placement and quantities of the landscaping. Mr. Golub believes the east side of the drive-thru is very heavily planted, while the west side of the building just has six trees. He requested the landscaping be better balanced by adding more plantings to the west. Ms. Abruscato will look at the neighboring properties to determine what is there. Ms. Low questioned whether there would be planters near the building. Mr. Jensen explained they will have a decorative steel lattice that may have planters. Mr. Atkins explained they would not have planters near the front door, as they tend to collect trash. Ch. Coen suggested there are 25 uninterrupted parking spaces along the northwest property line. He believes it seems excessive. Ms. Low believes the petitioner should add a landscape island in a stall or the perimeter plantings should be better spaced. She suggested making the landscape islands larger as well. The commissioners requested the petitioner come back with additional landscaping.

The commissioners discussed the exterior elevations. Mr. Atkins explained the mezzanine would be in the back third of the building. The exterior will be precast with a full masonry face. The front entryway bump out will be cultured stone over the precast wall. The cultured stone will also be in the back bump out as well. There will be a steel canopy over the windows near the outdoor seating area.

The commissioners discussed the ornamental blocks. Ms. Dunn believes ornamental blocks on each elevation should be clear rather than painted green, to better tie in with the natural color. Ms. Flores agreed, noting the clear piers will better tie into the building colorations. Ms. Chaitman is more concerned with the exterior design. She asked whether the trellises have something growing on them. Mr. Atkins explained there are some areas with concrete planters, but the current site is fairly tight. Ms. Chaitman does not believe the trellises add to the building. Mr. Low is okay with the trellises and the green concrete block. Ms. Flores is okay with the trellises. Ms. Dunn and Ch. Coen would prefer not to have the trellises. Mr. Golub noted the second floor appears to be a flat box. He would like to see some spandrel windows and relief added to the second floor. Ms. Chaitman, Ms. Dunn, Ms. Flores and Ch. Coen are not in favor of the red film on the windows. Mr. Golub and Ms. Low could live with the window film. Mr. Atkins noted the film would be placed on the window interior.

Mr. Adkins explained the proposed theme is a 70s theme, but it was toned down on the building exterior. Mr. Golub noted there are modern elements on the exterior. Ch. Coen believes the number of gooseneck fixtures is excessive. Mr. Adkins explained the south, east and west elements have gooseneck fixtures every eight feet. Ch. Coen noted the gooseneck fixtures are illuminating the building, rather than providing lighting for customers. Mr. Adkins indicated this is how they light Portillo's restaurants. Ms. Dunn believes the fixtures could be lowered. Ch. Coen believes the gooseneck fixtures create a horizontal banding of light that just illuminates the building. Ms. Low indicated the lights illuminate the building with 3200k LEDs. Ms. Chaitman does not believe the gooseneck fixtures should illuminate the building. She also believes there are too many fixtures. Mr. Adkins does not believe reducing the number of lights would provide enough safety for their drive-thru workers. Ms. Low believes the fixtures are decorative elements on the sides of the building. Mr. Golub indicated the fixtures are at 15'. Ch. Coen noted the safety lighting can be accomplished through parking lot lights. Ms. Low and Ms. Flores would be okay with fewer gooseneck lights, but the other commissioners believe there are substantially too many gooseneck fixtures.

The commissioners discussed the LED lights outlining the building. The commissioners have consistently not approved exposed LED illuminations. Mr. Whitehead explained the lights have been painted to appear as the color of the building so the lights do not show during the day but the building appears to be glowing at night. The commissioners are not in favor of illuminating the building with a yellow band running along the top of the entire structure. Ch. Coen noted the Commission made similar comments during the previous two reviews. Ms. Spagnoli noted the Commission suggested that McDonalds could select a few locations to illuminate the building with indirect lighting.

The commissioners discussed the proposed mural. Ms. Dunn was not in favor of the mural. Mr. Adkins explained the mural reflects what is happening inside the building with a 70s, suburban feel. Ms. Flores questioned the need for a mural. Mr. Adkins explained a mural above the entrance is standard for Portillo's. Ms. Dunn would prefer

to see a Portillo's sign in this location, rather than the mural. Ms. Low believes the mural elements are small and does not believe people will understand it. Ch. Coen believes the mural is a very distinctive element. Ms. Dunn believes the mural looks like a visual nuisance. Ms. Chaitman would not want to see this in any architecture in Deerfield; however, she would rather keep the mural and remove some of the other signs. Ch. Coen does not believe this is a necessary architectural feature and removal of the mural would not have a negative effect on their business. Ms. Low believes having interest on that portion of the building would be nice, but does not believe the content of this mural is the best. She also does not believe a mural is necessary. Mr. Golub does not see how the mural goes with the building architecture. He would rather see a building sign above the entrance. Ms. Flores does not believe the mural is needed.

The commissioners discussed the east elevation. Ms. Dunn is not in favor of the trellis, ghost signs or the decorative concrete blocks. Mr. Golub asked if there are canopies or awnings above the drive-thru windows. Mr. Adkins explained they had issues at other locations with the structure being struck by vehicles. Ms. Flores is not in favor of using municipal graphics on a private building. Mr. Adkins explained the Plan Commission recommended they use the Village logo. Mr. Jensen explained they try to use something nostalgic to the community. Ms. Flores believes it appears that the Village is endorsing the business. Ch. Coen suggested the commissioners first discuss ghost signs. Ms. Low is not against ghost signs in general, as long as they relate to the building, site and surrounding area. She would prefer having something historical to Deerfield, but not a municipal sign. Ms. Low does not believe this is the best place for ghost signs. Ms. Chaitman noted the Deerfield Zoning Ordinance does not allow signs painted onto a building. The commissioners are not in favor of ghost signs. Ms. Low would prefer the trellis to be larger, to fill up more space. Ms. Chaitman and Ch. Coen are against the trellis as it takes away from the cultured stone.

The commissioners discussed the rear of the parapet wall, which is visible. Mr. Adkins suggested extending the roofing material to cover the rear of the parapet wall. Ch. Coen would appreciate if the rear of the parapet wall looked similar to the front. Mr. Adkins explained they could paint the material added to the rear of the parapet wall so it is similar to the cultured stone.

The commissioners discussed the proposed ground sign. The proposed sign is 42 square feet, while the code allows 32 square feet. Mr. Whitehead explained the sign needed to be setback due to the easement, so they requested a larger sign. The sign has toned down colors so it will not be stark. The sign will be internally illuminated with LED bulbs. Mr. Benson noted the sign would be approximately 40' from the southernmost edge of the curb. Ch. Coen noted the Appearance Code is very specific, stating the listing of products and services are generally not acceptable. Ch. Coen believes the products listed are menu items and would not be in favor of listing menu items on the monument sign. Mr. Whitehead noted they dropped Hot Dots from their name, but the business logo has beef, burgers and salads. Ms. Abruscato will provide the trademark paperwork showing their logo. Ms. Low questioned the size of the other

restaurant signs and setbacks of the signs in the area. Ms. Spagnoli will look into it, but believes the sign is 32 square feet. Ms. Dunn questioned the need for the 25" deep sign cabinet. Ms. Spagnoli noted the Commission has recommended sign cabinets be increased to 20" deep to avoid LED hot spots. Mr. Whitehead explained the 25" depth is the top of the sign. The commissioners are okay with a wider top and an 18" deep sign but would prefer the sign to be 32 square feet. Mr. Golub questioned the sign materials and recommended the bottom of the sign be changed to brick or stone to match the building. Mr. Whitehead believes the cap should remain aluminum, as proposed. Mr. Adkins agreed to change the base to face brick.

The commissioners discussed the north elevation wall sign. Mr. Whitehead explained this is a single element sign that has been brought down to 9" in depth. The sign will be illuminated with LED. Ch. Coen noted the sign size is within the Sign Code. Ch. Coen noted the proposed sign is 22' above the roof deck, which is at 16'8". The Commission is allowed to grant up to 3' above the roof deck. Mr. Sydor noted if the sign is lowered, the gooseneck fixtures would be relocated above the sign. Mr. Adkins would lower the sign by 1'8" to comply. Ch. Coen would not want the gooseneck fixtures to drive the placement of the sign. Ms. Dunn suggested lowering the sign and having one gooseneck fixture on both sides of the sign. The other gooseneck fixtures would be removed. Ch. Coen, Ms. Low and Ms. Dunn would prefer locating the Portillo's sign in the mural area rather than where it is proposed. The commissioners would support having a higher sign in the location shown for the mural. Otherwise, the sign should be centered vertically.

The commissioners discussed the proposed, non-illuminated sign vinyl sign on the north elevation, "A Chicago Tradition." Mr. Adkins noted that sign is typically painted on the soffit. The commissioners do not believe that sign is necessary and would not be in favor of adding it.

The commissioners discussed the east elevation Portillo's wall sign. Ch. Coen noted the sign is on a side elevation, so it can be up to 4% of the wall area which is 69 square feet. The petitioner is requesting a 122 square foot sign. Mr. Whitehead explained this was designed in proportion to the building. If they conformed to the allowed space, the sign would be very small. Mr. Whitehead explained they want the sign to be very visible. Ms. Low would like to know the building sign sizes of adjacent businesses. Mr. Golub would recommend the sign be located on the other bumped out wall rather than where it is proposed. He is not in favor of the variance as requested. Ms. Flores would prefer the sign be closer to what is allowed by the Zoning Ordinance. She suggested having the sign the same size as what is proposed for the north elevation sign, which is 84 square feet. Mr. Benson explained this is the primary sign for people traveling west on Lake Cook Road. Mr. Uebelhor explained there is a unique experience and branding with Portillo's. They want the big, bold draw; that is why the scale is being requested. Mr. Golub would be in favor of a larger sign, but not as large as what is proposed. Ms. Chaitman would be willing to work with the petitioner on a sign that is less than what is proposed. Ms. Dunn and Ch. Coen agreed. Mr. Adkins noted the proposed sign is

located on the second floor of the building, which has a 30'4" roof height. Ch. Coen would prefer to see the sign centered vertically between the top of the gooseneck lights and the top edge masonry banding.

The commissioners discussed the east elevation diamond-shape wall signs. Ch. Coen noted the Zoning Ordinance allows only one sign per elevation. He interprets the proposal as five signs on the elevation. The commissioners are not in favor of allowing more than one sign on the elevation. Ms. Flores believes if the product listing is part of the name, they should be part of the Portillo's sign.

The commissioners discussed the proposed Portillo's wall sign on the south elevation. The proposed sign is 84 square feet while 80 square feet is allowed by the Zoning Ordinance. The commissioners are okay with the 84 square foot sign. Mr. Adkins noted the sign would be below the parapet. Ch. Coen recommended the sign be centered vertically between the top of the gooseneck lights and the roof cap.

The commissioners discussed the proposed Beef, Burgers, Salads, Shakes wall signs on the west elevation. Ch. Coen believes this is four signs rather than just one. Ms. Spagnoli noted the way signs are calculated make this one sign, because the gap is less than one foot between the diamond elements. Mr. Woodhead noted the letters would illuminate, but the entire sign face would not illuminate. Ch. Coen noted the petitioner is requesting 432 square feet while 69 square feet is allowed. Ms. Flores believes Beef Burgers Salads should be under the Portillo's name, as this is their logo. She noted "Shakes" is not part of the petitioner's name and would not be in favor of this sign. The commissioners agreed. If the sign is allowed, Ms. Low would be in favor of allowing the Portillo's sign to be 84 square feet with the additional Beef Burgers Salad portion added to the bottom of their logo. The other commissioners agreed.

The commissioners discussed the menu board ground sign. The proposed sign would be 36 square feet, which the Appearance Review Commission found acceptable. The commissioners discussed the three proposed directional signs. The signs are two square feet and would be illuminated. The commissioners would be in favor of allowing these signs to be illuminated.

Ms. Abruscato explained they would not be in favor of a dark, slimmed down building. Portillo's is trying to bring a nice building into Deerfield. They want to come into Deerfield but do not want to compromise the building to be something different than what Portillo's represents. Ch. Coen encouraged the petitioners to appear before the Mayor and Board of Trustees.

Items from the Commission:

Ms. Flores asked about the area behind the Sach's Center. She noted the trash dumpsters are in the drive aisles.

Items from Staff:

Appearance Review Commission

March 14, 2016

Page 8 of 8

Ms. Spagnoli explained the next Appearance Review Commission meeting will be next Monday. She would like to meet at 7:00 because Chris Siavelis needs to be at both the ARC meeting and the Village Board meeting.

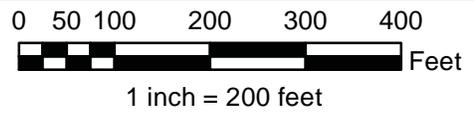
Adjournment:

There being no further business or discussion, Ms. Dunn moved to adjourn the meeting. Mr. Golub seconded the motion. The motion passed unanimously on a voice vote. The meeting was adjourned at 10:41 pm.

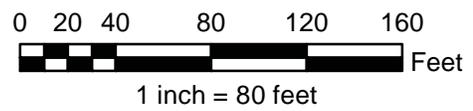
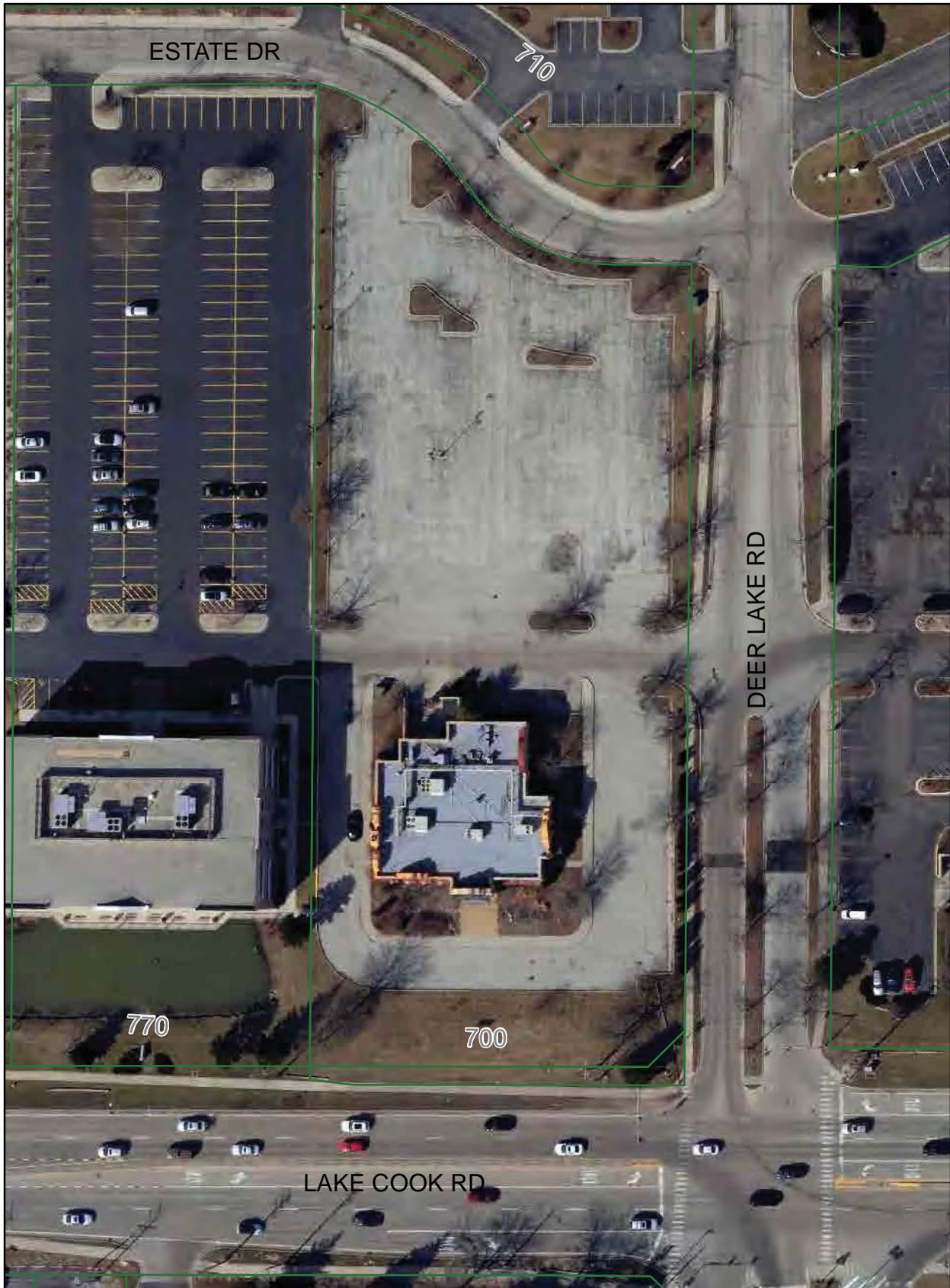
Respectfully submitted,

Jeri Cotton
Secretary

700 Lake Cook Road



700 Lake Cook Road



Village of Deerfield 2016 Zoning Ordinance Map



Subject Property

	R-1	SINGLE FAMILY DISTRICT ONE FAMILY DWELLINGS AND ACCESSORY USES
	R-2	SINGLE FAMILY DISTRICT SAME AS R1
	R-3	SINGLE FAMILY DISTRICT SAME AS R1
	R-4	SINGLE & TWO FAMILY ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	R-5	GENERAL RESIDENCE ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	C-1	VILLAGE CENTER
	C-2	OUTLYING COMMERCIAL
	C-3	LIMITED COMMERCIAL OFFICE
	I-1	OFFICE, RESEARCH, RESTRICTED INDUSTRY
	I-2	LIMITED INDUSTRIAL
	P-1	PUBLIC LANDS SCHOOLS, PARKS, PUBLIC BUILDINGS & CEMETERIES

PETITIONER'S MATERIALS

PROJECT NARRATIVE: 5.5.16

Address: 700 Lake Cook Road, Deerfield, IL

Parcel 1: 100,475 S.F. (2.30 Acres)

Zoning: C-2 Outlying Commercial District

Request for: Special Use Approval/PUD Amendment – Portillo’s Hot Dogs, LLC

Footprint: 9,318 S.F. Mezzanine: 1,514 S.F. Total: 10,832 S.F.

Portillo’s Business Description:

Portillo’s Hot Dogs, LLC is a restaurant company based primarily in the Midwest. Beginning in Illinois in 1963, Portillo’s has expanded to Southern California in 2005 and to Indiana in 2006 and Arizona in 2012. Combined, the concepts have nearly 4000 employees and a total of 38 restaurants, plus catering and shipping divisions. Portillo’s Hot Dogs is a quick casual restaurant offering dine-in and take out service with a drive thru facility. The menu features Hot Dogs, Italian Beef, Burgers, Salads, Ribs, French Fries and an assortment of other sandwiches and sides as well as a catering menu.

Portillo’s Hours of Operation:

Monday through Thursday 10:30am to 10:00pm

Friday & Saturday 10:30am to 11:00pm

Sunday 10:30am to 10:00pm

Location:

The proposed Portillo’s Restaurant for Deerfield will be located at the NWC of Lake Cook Road and Deer Lake Road at an existing traffic signalized intersection. The property is currently occupied by an approximately 7,100 square foot, vacated “On The Border” restaurant. The redevelopment of the property will include the demolition of the existing vacated former restaurant building and site, reconfiguration of existing parking areas, and minor modifications to the existing utility infrastructure.

Building Size:

The proposed structure is a two-story precast building with mezzanine level storage. Area of the first floor will be a footprint of (+/-) 9,318 S.F gross square feet with a mezzanine level of (+/-) 1,514 gross square feet for a total of (+/-) 10,832 gross square feet. Additionally, we felt that this would provide an opportunity for seasonal outdoor seating, in an enlarged sidewalk area at the front (north side) of the building.

Building Height:

Maximum Height Allowable: 35’-0” – Maximum Building Height Proposed: 35’-0” above finished floor height. Note: Existing On the Border building finished floor height is approximately 662.94 and our proposed finished floor height is 663.00. Allowing flexibility for Engineering, we believe the design for the new building floor slab will be within 6” to 12” of the existing to be demolished building floor slab. Note that the “Roof Deck Height” at the tallest point on the building (SEC Tower Feature) is also the “Roof Height” at its maximum of 35’-0” above finished floor.

Building Description:

Our new restaurant is consistent with the Commercial and Restaurant context within which it is located. We are replacing a long since vacated restaurant use and providing a completely new development which will offer an additional dining choice for the local residents and businesses. By doing so, it will soon become a valued asset to the community and the local economy. By placing our building over the area that the current restaurant occupies, we are not radically changing the layout of the site and traffic patterns of the existing center. By making this a new destination for diners to gather, it will improve security to an otherwise unoccupied area of this development. Furthermore, the proposed drive-thru will add to the convenience of persons residing or working in the vicinity who do not have the time to sit down to their meals on site and would prefer to take their meals home or back to work.

The concept is Portillo's 70's themed building. The building is wrapped in brown on brown horizontal brick bands broken up with limestone bump-outs. At the front of the building, on the North, the entry is defined by a green, soffited entry vestibule on a wedge shaped limestone mass. An entry mural over the front door evokes the 1970's theme going on inside of the building. The outdoor seating patio to either side of the front door is enclosed by retro styled decorative concrete block panels inset in a wrought iron fence frame. Gold LED accent bands at the top of the walls continue the horizontal lines around the building. The LED accent bands are shielded from view, so that the lights cast a subtle yet attractive glow. The western elevation starts with the dining room windows detailed with translucent, red film and a green steel sunshade soffit. Diamond shaped graphic soffit panels create a rhythm mimicking the windows below. The back 1/3 of the building rises up enclosing the kitchen's mezzanine storage area and mechanical spaces. The horizontal running brick is broken up by limestone bump-outs with ornamental painted steel trellises. A decorative concrete block wall acts as a background for the menu board and hides the exterior electrical panel and gas meter. The 2nd story building section has a metal standing seam roof that angles slightly away from the walls adding to the building's angled geometry accents. False shuttered window openings were added to the South elevation to break up the façade facing Lake Cook Road. A trim detail that mimics the shape of the translucent film was added to the false window openings for consistency. On the East facing drive thru elevation the same diamond shaped graphic soffits over the horizontal brick banding are repeated above several false shuttered window openings similar to those on the South elevation. The building's dumpster area will be built with matching brick and heavily landscaped to screen and soften views from the street frontage.

Outdoor Seasonal Seating Area: (North Sidewalk Adjacent to Entrance)

We have included an Exhibit on the Seating Plan Sheet "A-1.0A" and Outdoor Seating Exhibit Sheet "AS-2" for reference. We have provided 11 tables with seating for up to 44 chairs. The seating is located in an expanded sidewalk, in colored concrete to compliment the building color, on the north side of the building near the entrance. The area is planned for 11 tables with 5 umbrellas, and has 44 chairs. This area includes painted decorative concrete block in wrought iron fence frames, anchored by painted 4x4 steel posts for safety purposes. The umbrellas are colored red, the tables have decorative black aluminum bases with a sand mix resin table top. The chairs are aluminum wrapped in beige PVC type basket weave.

Building Lighting:

As part of Portillo's commitment to energy savings and sustainability we are using LED Lighting for the exterior building lighting. Decorative fixtures will be mounted to the sides of the building. Exterior lighting will be controlled via photocell on and time clock off, set to midnight. Exterior light fixtures on the precast portion of the building will all be black in color as indicated with the Village ARC.

Rooftop Units Screening:

Roof-top units and exhaust fans on the roof of the building shall be screened from view with the use of the building parapet walls and an additional roof parapet wall to screen the RTU's from view from the north. We have raised the parapet walls in discussion with the ARC to confirm the screening requested. A mix of landscaping and screening materials will be used on the ground based utilities as applicable as those locations are finalized.

Site Concept Description:

The layout of our site maintains the existing familiarity with ingress and egress to those who frequent and work at the center. Internal pedestrian circulation is being supplemented with crosswalks and pedestrian sidewalks which lead to adjacent parking and businesses. Walkways wrap around three sides of the building and walkways tie the site to the adjacent properties. Pathways will be clear and well lit, and accessibility will be provided in conformance with the Americans with Disabilities Act (ADA). Drive aisles and customer parking have been provided to the north of the proposed building. Careful consideration is given to the drive thru component of every Portillo's site design. This element is critical to the restaurant operations and provides customers with a high level of service that is a trademark of Portillo's site designs.

Traffic Study:

A Traffic Study was completed by KLOA in May of 2016. This report is attached for reference. The findings of the study indicate that the development will not cause any significant delays, and that no additional geometric improvements will be necessary to accommodate future traffic volumes.

Parking:

Parking Required:

Building Footprint: 9,318 S.F.

9318 SF / 2 (50% Sit down)= 4659 SF / 60 SF = 78 CARS

9318 SF / 2 (50% Carry-Out)= 4659 SF / 120 SF = 39 CARS

Outdoor Seating: 48 CARS

Total Required Cars = 117 CARS

Total Cars Provided = 124 CARS - OKAY

Stacking:

40 Cars Stacking Provided at Drive-Thru

Site Engineering Concept:

Vehicular access to the property will generally remain as it currently exists today, although entirely new. Three existing access points to the site will be kept in about the same position, but updated and enlarged. The primary entrance from Deer Lake will be widened and made into a one-in and two-out access point. This access point has been updated to include one in, one right turn lane and one straight and left turn lanes respectively per Village input. The access from Estate Drive will be in the same general position but widened and updated. The connection access point to the office to the west shall be kept and updated. Site drainage and stormwater conveyance will also generally remain as it exists today. Stormwater runoff from the property is collected at catch basins within the pavement areas. The catch basins collect runoff from the roof, landscape, and parking areas. The site discharge is generally provided into the existing detention pond along Lake Cook Road to the west, as it currently is provided. The proposed building, parking area, and landscape area square footage are similar to what currently exists. The proposed building shall be fully sprinklered.

Trash Enclosure:

The trash enclosure is positioned on the site for easy access by both the employees and the waste disposal trucks accessing the site. We have provided heavy landscaping to visually screen the trash enclosure and have provided a flower planter on the top inside facing wall to soften the look in the drive thru area. The trash enclosure is finished with full-height brick veneer which will match the building.

Site Lighting:

Lighting has been designed to be compatible with the proposed building to provide for site safety, operations and code conformance, and does not create negative effects. As part of Portillo's commitment to energy savings and sustainability we are using LED Lighting for the site. Fixtures will be mounted on 25ft square poles. Lighting will be controlled via photocell on and time clock off, set to midnight. This will allow customers and employees time to safely exit the building at least one hour after closing. We have changed the light poles to be all one height as requested by the Village.

Landscape:

The selection of trees was chosen to create a variety of shade and ornamental. A mixture that diversifies the site against future disease and anticipates Chicagoland conditions by installing streetscape and more salt resistant hybrids. Design considerations such as multi-seasonal blooming, attractive focal points, deciduous and broadleaf mixtures, and hardscape softening/screening all went into the layout to compliment the building and overall site. Based upon Village comment we have added an interior landscape island into the site and also added two landscape islands in to the area adjacent to the trash enclosure. See Landscape Plan Included with this submittal.

Signage:

Signage is a typical Portillo's Hot Dogs sign package. Building signage includes single face wall displays LED illuminated panels with graphic accents as well as an architectural mural element over the front door. There is a monument sign typical in detail to our building design located at the center of the property. Four sets of individual L.E.D. illuminated letters reading "Portillo's" are mounted on the each of the South, East, West, & North elevations of the building. Also a four panel menu and speaker pedestal will be required as well as a standalone speaker pedestal. Accent L.E.D. border lighting along the top of the building will be installed as part of the building enhancement which is a typical application for Portillo's. The border lighting bands will be shielded from view. Site directional signs are asked to be illuminated due to the high volume of drive thru traffic and night business which helps eliminate safety driving issues to direct traffic.

Mechanical: Included in the mechanical systems are hoods with grease filters above the cooking appliances that exhaust with the discharge of the exhaust directed upward.

Liquor License:

Portillo's will be seeking a liquor license for this restaurant, and will coordinate with the Village for the necessary permits and approvals. Accordingly, the outdoor seating area will be fully enclosed with ornamental fencing and accessible from the interior of the building only.

Fire Marshall Approval:

We have submitted our Site Plan to the Deerfield-Bannockburn Fire Department Fire Marshall concurrently with this application for review and approval.

End of Report

SPECIAL USE CRITERIA: 5.5.16

Address: 700 Lake Cook Road, Deerfield, IL

Parcel 1: 100,475 S.F. (2.30 Acres)

Zoning: C-2 Outlying Commercial District

Request for: Special Use Approval – Portillo’s Hot Dogs, LLC

Footprint: 9,318 S.F. Mezzanine: 1,514 S.F. Total: 10,832 S.F.

Location:

The proposed Portillo’s Restaurant for Deerfield will be located at the NWC of Lake Cook Road and Deer Lake Road at an existing traffic signalized intersection. The property is currently occupied by a vacated “On The Border” restaurant. The redevelopment of the property will include the demolition of the existing vacated former restaurant building and site, reconfiguration of existing parking areas, and minor modifications to the existing utility infrastructure.

Special Use Criteria:**1) Compatible with Existing Development: Yes**

The proposed Portillo’s Restaurant is in the same position as the previously approved, and vacated former restaurant “On the Border”. The nature and intensity of the activities involved with the new Portillo’s building are in conformance with the existing and adjacent sites. Portillo’s proposed site is surrounded by; an existing restaurant to the east, existing offices to the north, existing office and hotel to the west and retail/restaurants to the south. The proposed development maintains and enhances the current vehicular and pedestrian connections and will not impede the normal and orderly development and improvement of surrounding property. We have included an outdoor seasonal seating area at the entrance walk on the north side of the building. This will provide an opportunity for the adjacent office complexes to have pedestrian connections to and on the site and will be an asset for the local community. The signage proposed is compatible with the surrounding restaurants and businesses as well the monument sign is conforming along with exterior menu and site signage, which is very similar. Building signage is all individual internally illuminated letters with L.E.D. illumination the tower signs have a push thru element, which is also in line with our neighbors sign packages. The lighting for the site and building is LED for energy efficiency and light levels are provided in keeping with neighboring office developments and the adjacent restaurant and retail developments located on and across Lake Cook Road.

2) Lot of Sufficient Size: Yes

The size of the Parcel is 2.30 Acres and is adequate for the proposed Restaurant use. The building and parking meet Village codes and the site was previously used for a similar use.

3) Traffic:

The location of this Special Use in the Village is consistent with its prior use, and the proposed use, which are both restaurants. We have kept the three vehicular access driveways in the same position as the prior use which will also minimize any potential for an adverse effect on the surrounding properties. Please refer to the Traffic Study prepared by KLOA, dated 05.02.16.

4) Parking and Access:

The parking proposed of 124 cars meets Village Ordinance and Portillo’s operational criteria. We have located the bulk of the parking stalls to the north side of building which is in front of the main entrance for convenience and ease of access. The entry and exit driveways are laid out in a simple and logical pattern which is very similar to the previously approved restaurant on this site. With this lay-out traffic hazards and nuisances should be prevented.

5) Effect on Neighborhood:

The Special use requested will not be significantly or materially detrimental to the health, safety or welfare of the public or injurious to the other property or improvements in the neighborhood. We are proposing a new up to date restaurant facility with all new building and site. This proposed development will replace a long since vacated and aging empty building and dilapidated site and will provide for a much safer environment than the existing conditions on the property today. The new development would not diminish or impair surrounding property values, but would very likely enhance the values in the area based upon the substantial investment.

6) Adequate Facilities: Yes

With the Building and Site development proposed for a brand new Portillo's Hot Dogs Restaurant, we are proposing adequate utilities, access roads and drainage engineering to provide for the successful operations of this facility. The utilities access and drainage will all be in conformance with Village Codes and Ordinances and are generally similar to the previously approved and vacated restaurant facility.

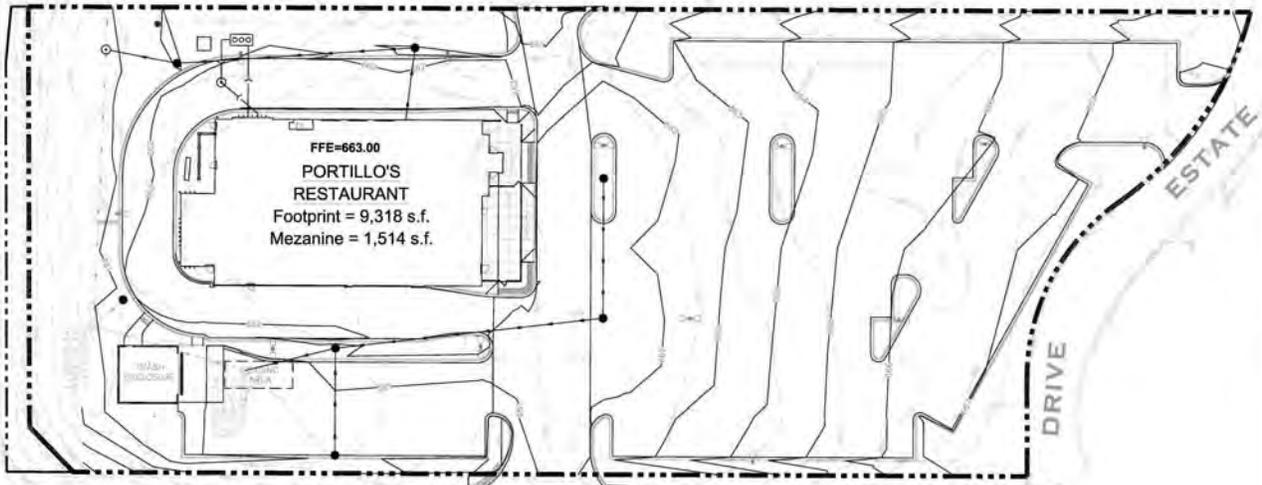
7) Adequate Buffering: Yes

We are zoned C-2 Outlying Commercial and are improving the site & buffering/screening to adjacent properties from the existing conditions. The proposal includes landscape buffers to screen the parking lot and the trash enclosure and Rooftop Screening for the rooftop units. The proposal enhances visual screening and safety from what is currently unoccupied or maintained on the property. Additionally, we have increased the green buffer between our site and the building to the west beyond the current pavement and code.

End of Submitted Report

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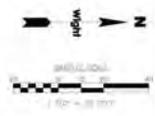
LAKE COOK ROAD



DEER LAKE ROAD

DRIVE

ESTATE



InSite

Wight

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wightco.com
2500 North Frontage Road
Deerfield, IL 60015
P 630.989.7000
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REVISIONS	DATE
REV. 1	04/14/2014
REV. 2	04/14/2014
REV. 3	04/14/2014
REV. 4	04/14/2014

PORTILLOS - DEERFIELD LOCATION

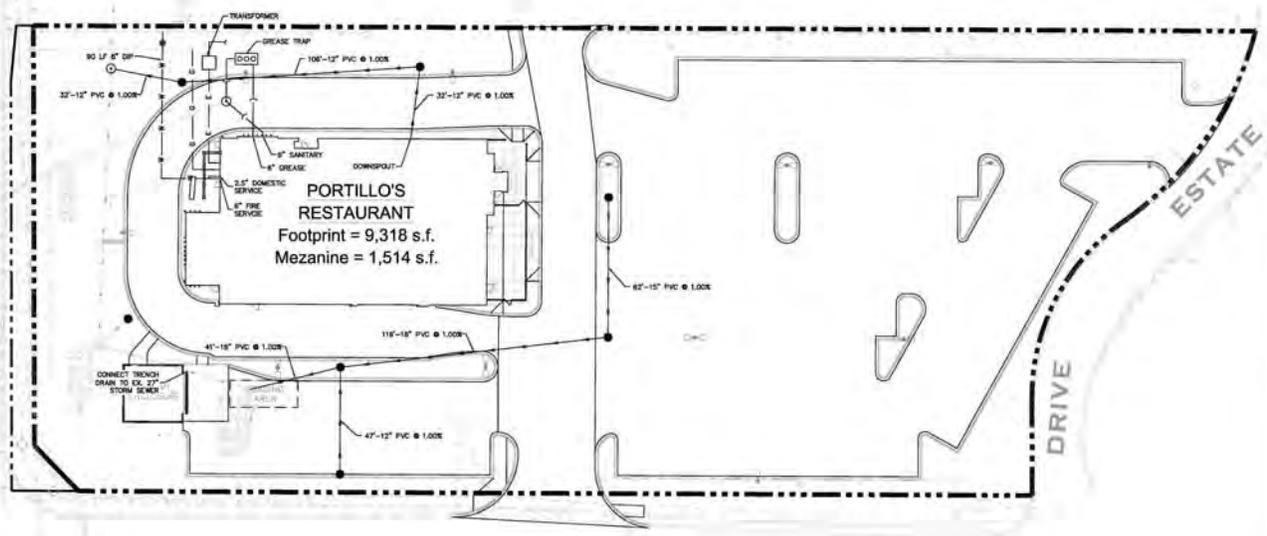
700 LAKE COOK ROAD
DEERFIELD, IL 60015

GRADING AND EROSION CONTROL PLAN

C3.00

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LAKE COOK ROAD



DEER LAKE ROAD

LEGEND

●	SEWER MANHOLE
○	WATER MANHOLE
—	SEWER SERVICE
—	WATER SERVICE
—	TELEPHONE
—	CABLE TELEVISION
—	JOHN DEERE



InSite

Wight

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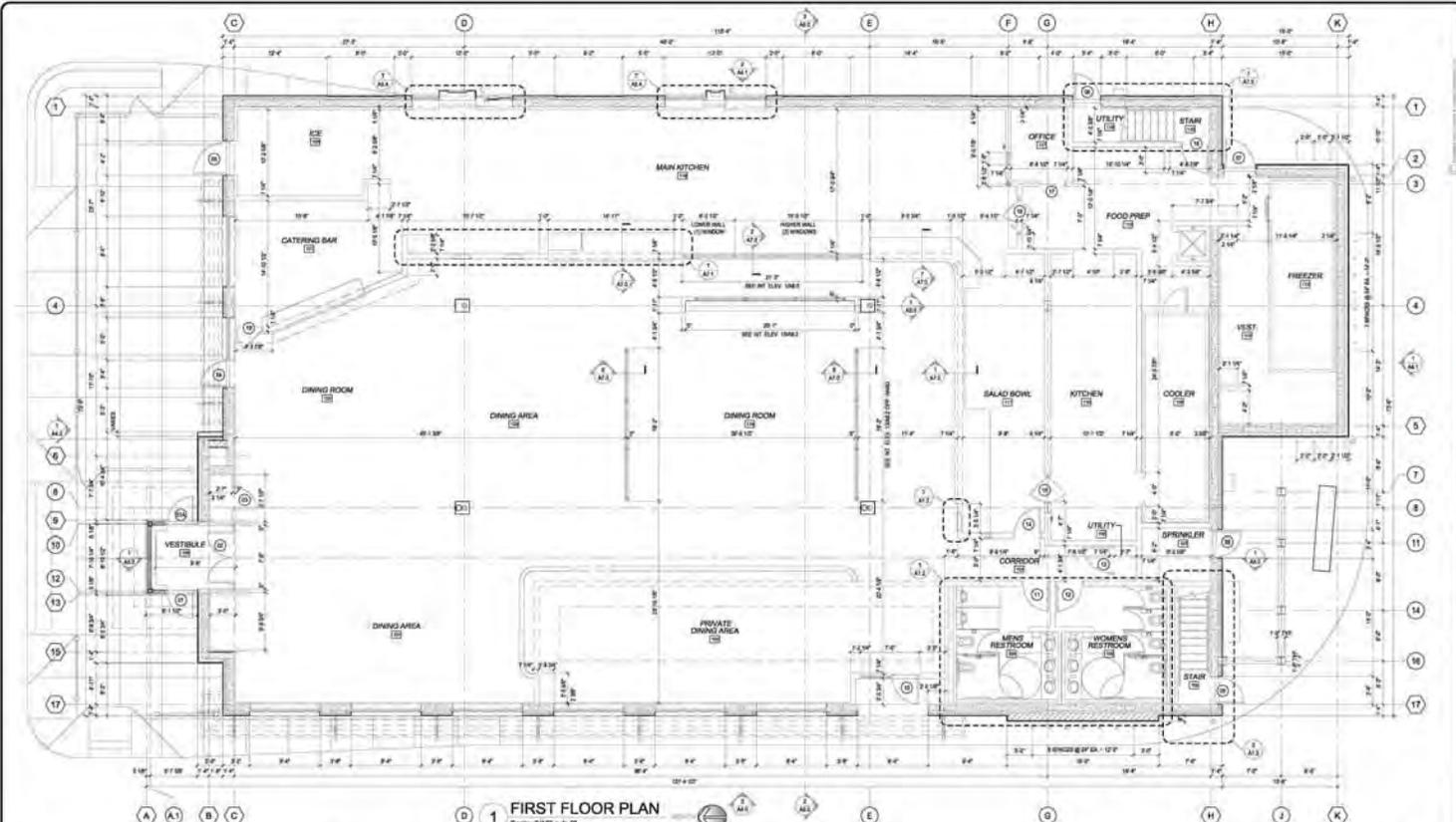
PLAN/SECTION SHEET #	1.00/0
REV. FOR THIS SHEET	0-0-00
TAKEN FROM	3-24-00
BY	W&C

PORTILLOS - DEERFIELD LOCATION

700 LAKE COOK ROAD
 DEERFIELD, IL 60015

UTILITY PLAN

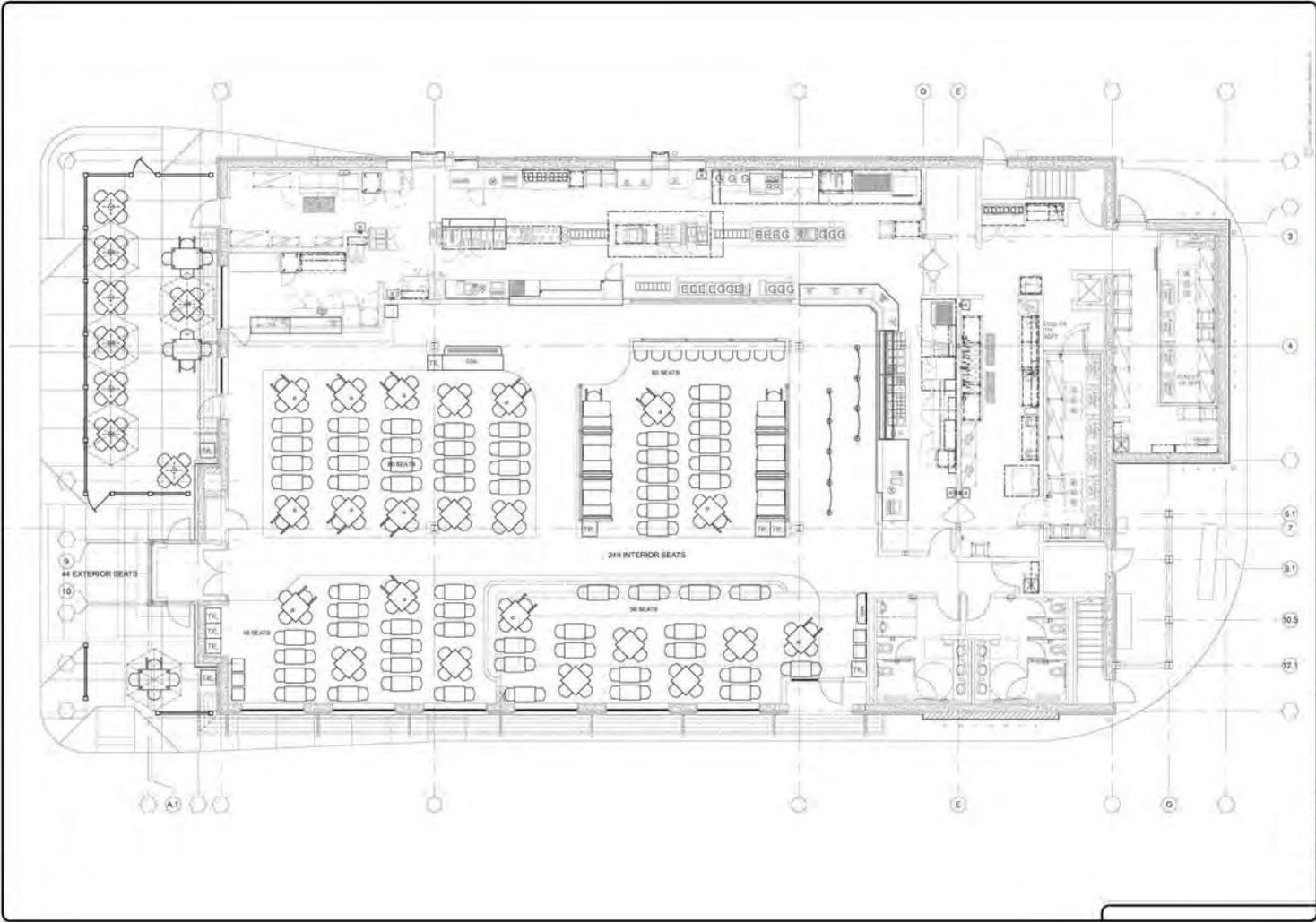
C4.00



1 FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

WALL TYPE LEGEND		GENERAL NOTES		KEYNOTES	
<p>1. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p> <p>2. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p> <p>3. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p>	<p>4. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p> <p>5. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p> <p>6. 1/2" MINIMUM EXTERIOR WALL. FACE BRICK OR 1/2" MINIMUM CONCRETE. INTERIOR FINISH TO BE DETERMINED BY THE ARCHITECT. SEE SECTION 05100 FOR FINISHES.</p>	<p>1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>2. THE FLOOR FINISH ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR FINISH OVER THE DOOR THRESHOLD SHALL BE AT THE SAME ELEVATION AS THE FLOOR FINISH AT THE THRESHOLD AND SHALL EXTEND FROM THE DOOR TO THE THRESHOLD, A MINIMUM EQUAL TO THE DOOR WIDTH. THRESHOLD SHALL BE 1/2" HIGH OVER THE DOOR.</p> <p>3. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p>	<p>1. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>2. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>3. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>4. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>5. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p>	<p>1. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>2. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>3. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>4. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>5. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p>	<p>1. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>2. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>3. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>4. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p> <p>5. SEE SECTION 05100 FOR FINISHES AND SECTION 05100 FOR FINISHES.</p>

Jensen & Jensen Architects, P.C.
 NEW PORTLAND RESTAURANT FOR Portillo's Hot Dogs, LLC
 700 Lake Cook Rd. (off Deer Lake Rd.) Deerfield, IL
MAIN FLOOR PLAN & NOTES
A-1.0

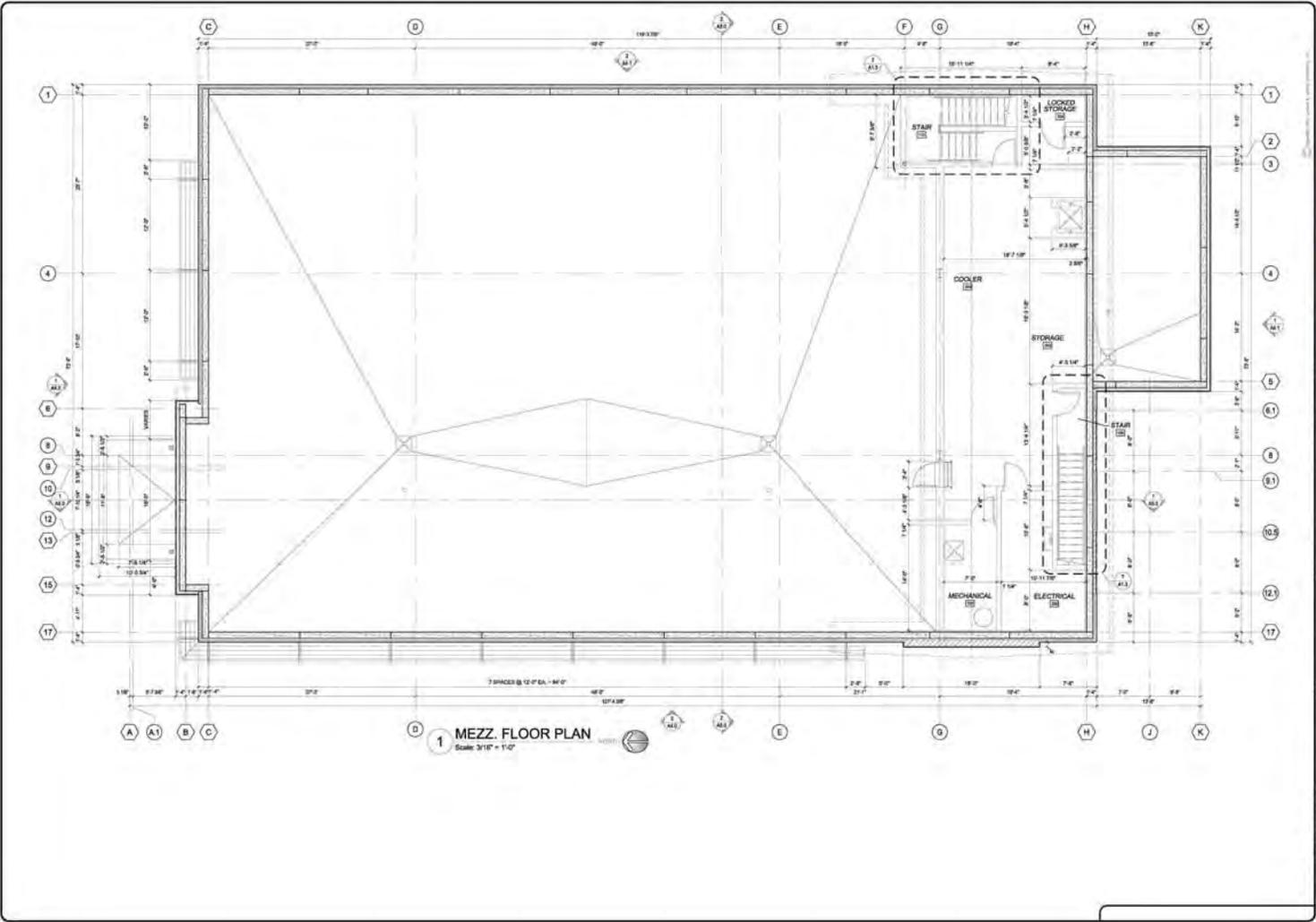


NEW RESTAURANT SEATING FOR
Portillo's Hot Dogs, LLC
 700 West Lake Street
 Deerfield, IL

Jensen & Jensen
 Architects, P.C.

SEATING PLAN

A-1.0

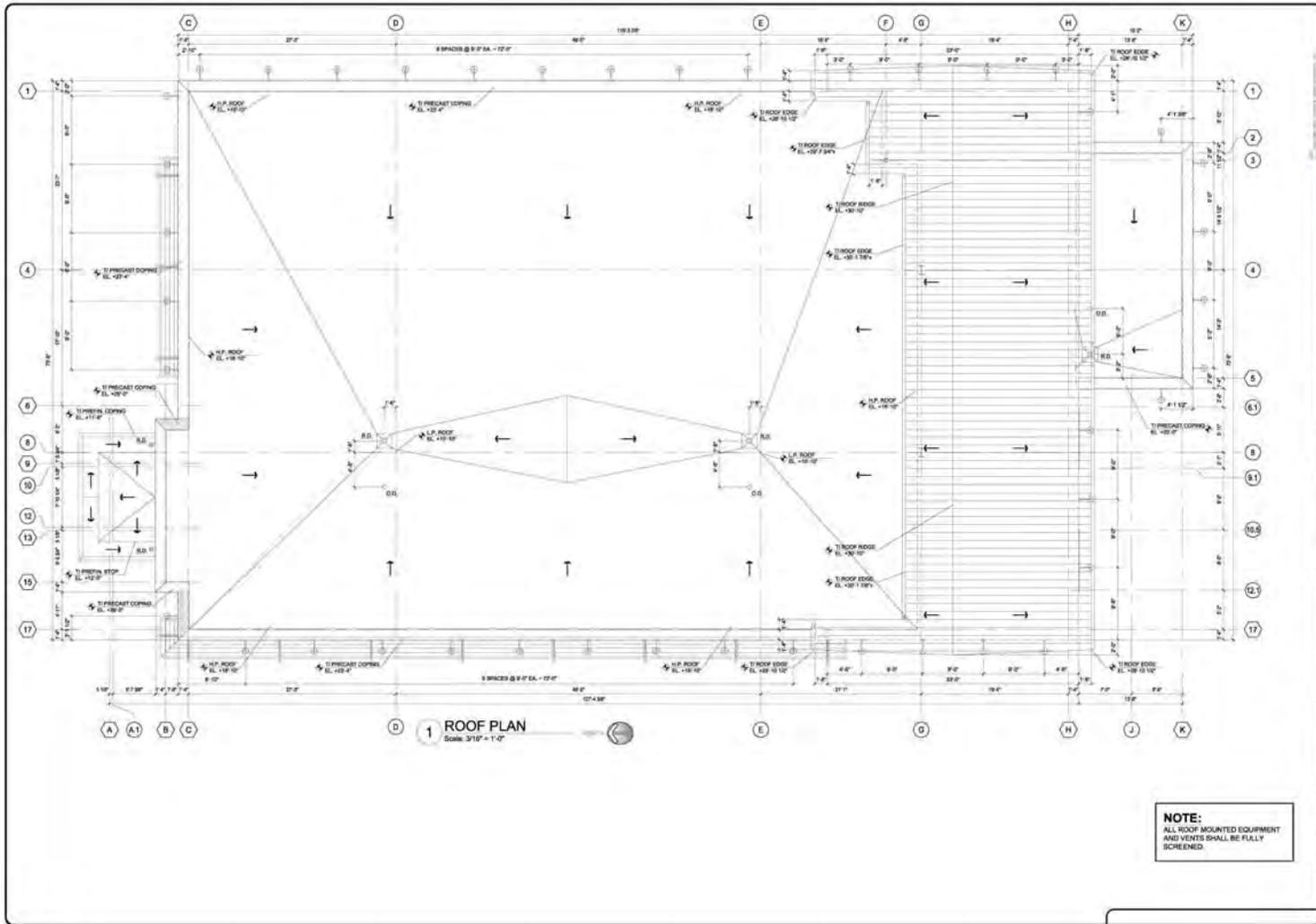


NEW PORTLAND'S RESTAURANT FOR
Portillo's Hot Dogs, LLC
 700 Lake Cook Rd. @ Deer Lake Rd.
 Deerfield, IL

Jensen & Jensen
 Architects, P.C.

MEZZANINE FLOOR
 PLAN & NOTES

A-1.1

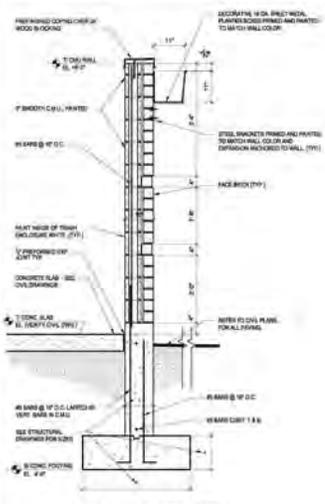


NOTE:
ALL ROOF MOUNTED EQUIPMENT
AND VENTS SHALL BE FULLY
SCREENED.

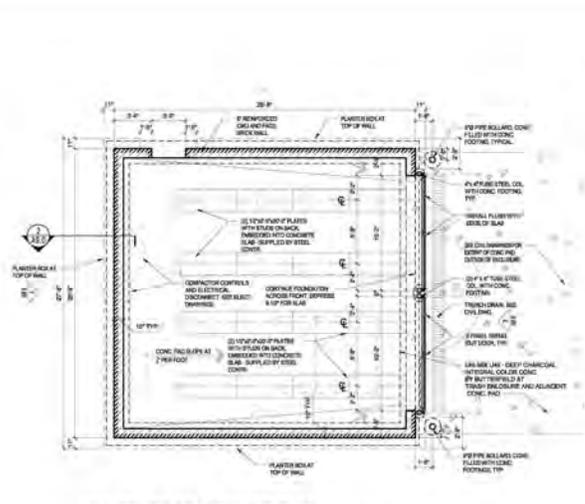
Jensen & Jensen
 Architects, P.C.
 NEW PORTLAND'S RESTAURANT FOR
 Portillo's Hot Dogs, LLC
 700 Lake Cook Rd. (at Deer Lake Rd.)
 Deerfield, IL

ROOF PLAN

A3.0

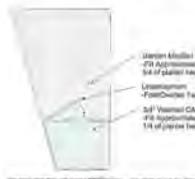


2 WALL SECTION
Scale: 3/4" = 1'-0"



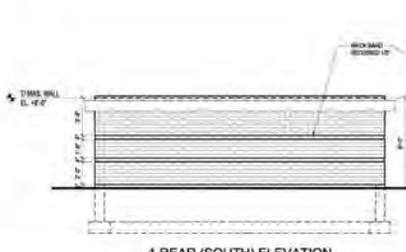
1 TRASH ENCLOSURE PLAN
Scale: 1/4" = 1'-0"

Planter Drainage/Media Set Up Cross Section

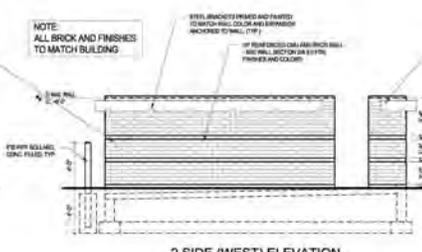


2A DETAIL
Scale: N.T.S.

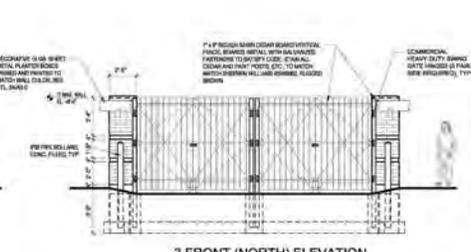
- KEYNOTES**
- 1" THICK BRICK FINISH CONCRETE FINISHMENT WITH BRICK MORTAR IN WALL. PLACE COMPASSION CURT AS P U.S. EXHIBIT 1 IN A WALL. FINISH TO MATCH BUILDING COLOR BY BUTTERFIELD AT FINISH AND ENTRY WALLS. DET. 2A-1.2
 - 2" X 4" X 1/4" CONCRETE FILLER (SEE STEEL FINISH POST) SQUARE IN WALL FINISH AND FINISH COLOR. DET. 2A-1.2
 - 1 1/2" X 1/2" X 1/4" STEEL CHANNEL HORIZONTAL WALL FINISHMENT FOR 1/4" X 1/2" X 1/4" COL. AT END OF BRICK TO 1/4" X 1/2" X 1/4" WITH SLOTTED HOLE WHICH ARE WELDED TO POSTS. USE 1/4" X 1/2" X 1/4" STEEL FINISH POSTS. SQUARE IN WALL FINISH AND FINISH COLOR. DET. 2A-1.2
 - 1 1/2" X 1/2" X 1/4" STEEL CHANNEL HORIZONTAL WALL FINISHMENT AT END OF 1/4" X 1/2" X 1/4" UP TIE WITH SLOTTED HOLE WHICH ARE WELDED TO POSTS. USE 1/4" X 1/2" X 1/4" STEEL FINISH POSTS. SQUARE IN WALL FINISH AND FINISH COLOR. DET. 2A-1.2
 - 1" IF BRICK CONCRETE FINISH POST.



1 REAR (SOUTH) ELEVATION



2 SIDE (WEST) ELEVATION

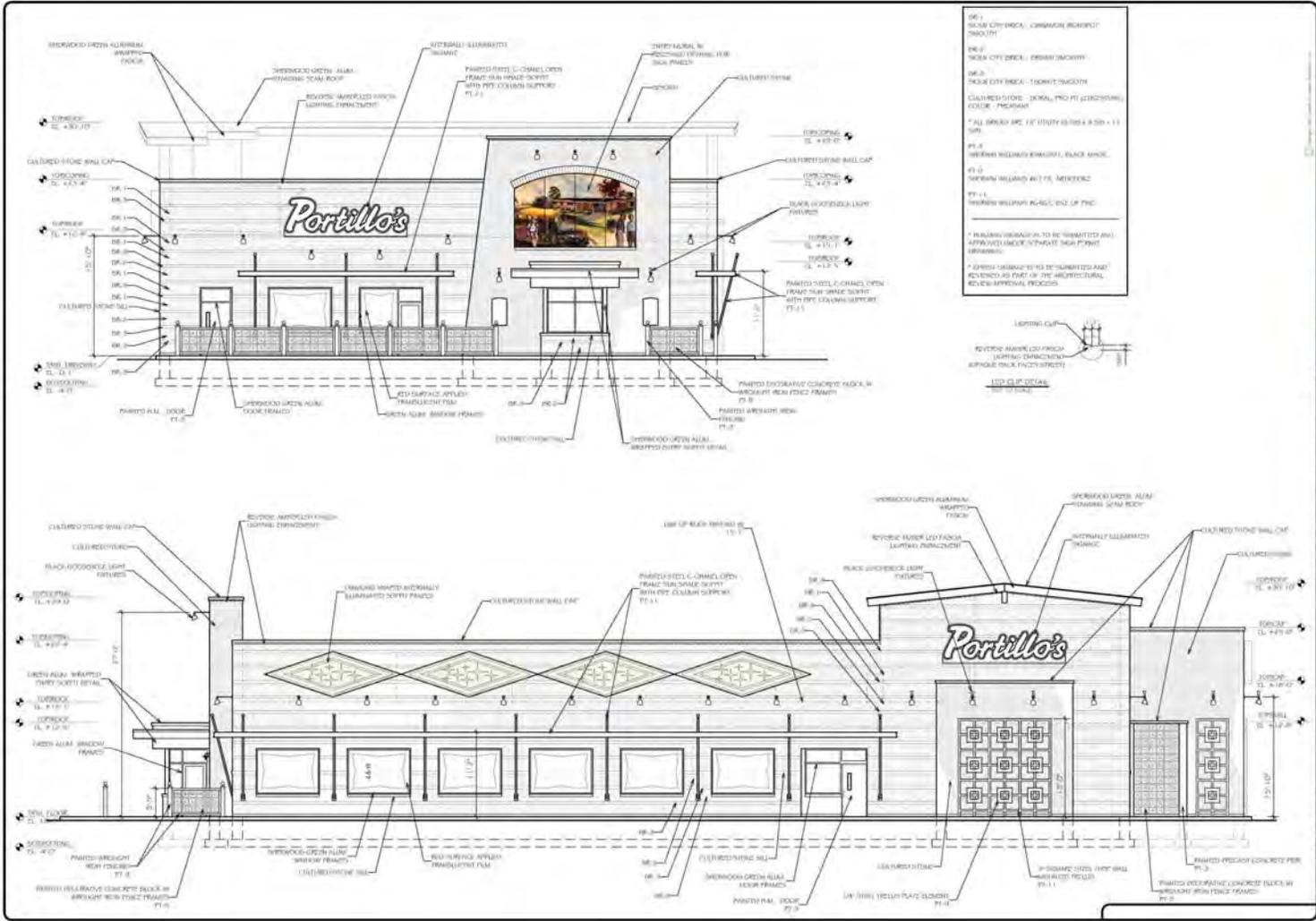


3 FRONT (NORTH) ELEVATION

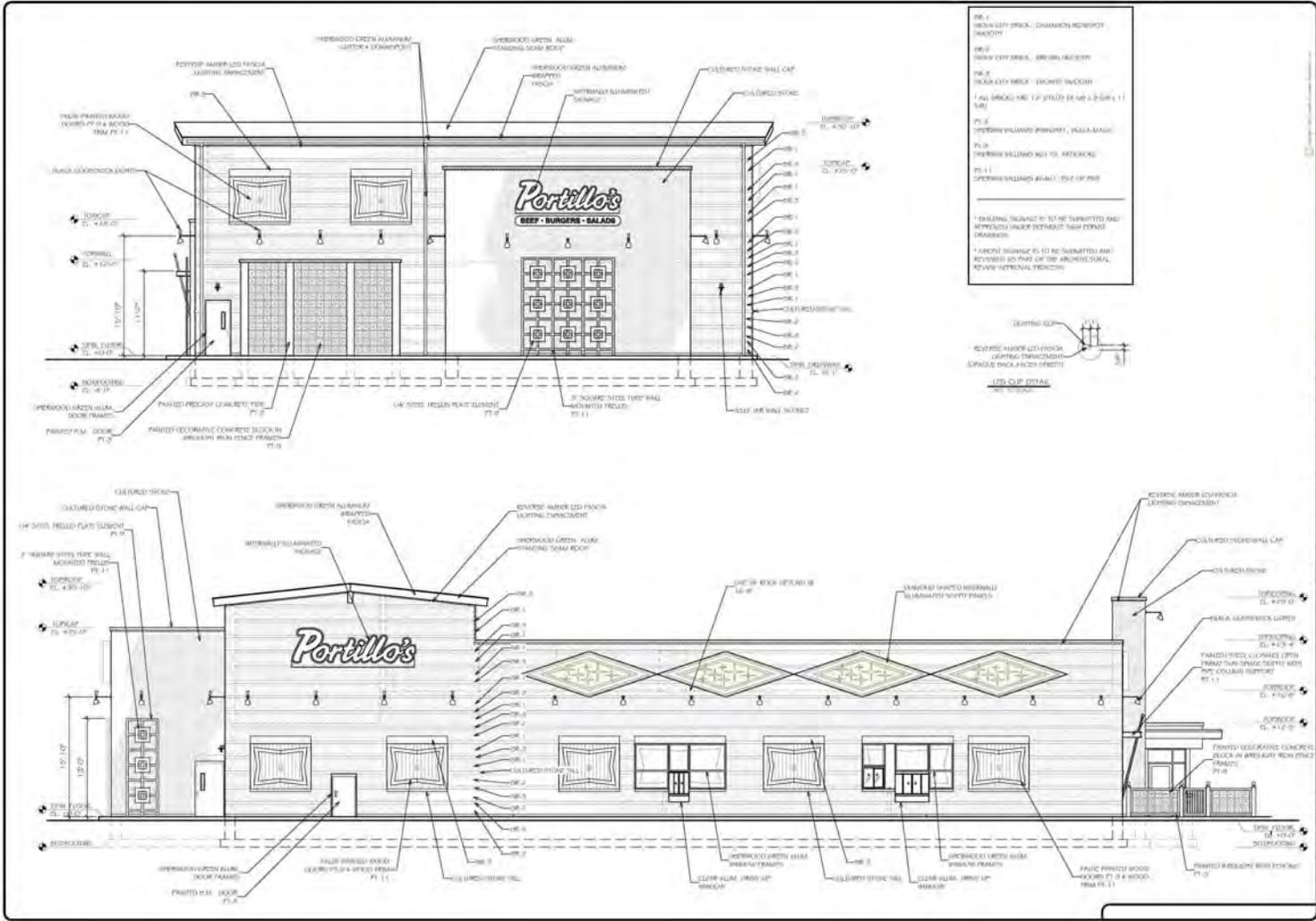
3 ELEVATIONS
Scale: 1/4" = 1'-0"

DATED: 03.23.16

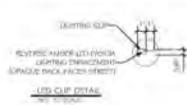
Jensen & Jensen Architects, P.C.
 NEW PORTFOLIO RESTAURANT FOR Fortillo's Hot Dogs, LLC (owner: Dave Kell) 700 West Deerfield, IL
TRASH ENCLOSURE
 A9.0
 DATED: 03.23.16



Jensen & Jensen Architects, P.C.
 NEW PORTILLO'S RESTAURANT FOR Portillo's Hot Dogs, LLC
 700 West... Deerfield, IL
 A-4.0



PT 1
 1/2" x 4" x 10" BRICK - CHAMBRAN BENCHTOP
 BRICKWORK
 PT 2
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 3
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 4
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 5
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 6
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 7
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 8
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 9
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 10
 1/2" x 4" x 10" BRICK - BRICKWORK
 PT 11
 1/2" x 4" x 10" BRICK - BRICKWORK



Jensen & Jensen
 Architects, P.C.

NEW PORTILLO'S RESTAURANT FOR
 Portillo's Hot Dogs, LLC
 700 West Deerfield, IL

EXTERIOR
 ELEVATIONS

A-4.1



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NEW PORTILLO'S RESTAURANT FOR
Portillo's Hot Dogs, LLC
790 Lake Street, Suite 401
Deerfield, IL

Jensen & Jensen
Architects, P.C.

COLOR
PERSPECTIVE

DATE	NOV 14 2014
BY	JJ
SCALE	AS SHOWN
PROJECT	NEW PORTILLO'S RESTAURANT FOR PORTILLO'S HOT DOGS, LLC
SHEET NO.	01
TOTAL SHEETS	01



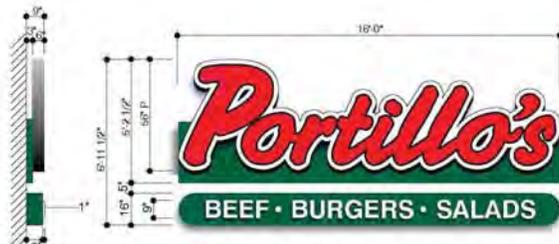
SIDE VIEW

E1 E2 E3 3 - S/F INT. LED ILLUMINATED DISPLAYS 1/4" = 1'-0"
NORTH, EAST & WEST ELEVATIONS

PORTILLOS HOT DOGS; ALUMINUM CABINET, BLACK PAINTED FINISH. WHITE PLEX FACE W/ RED, WHITE & BLACK VINYL APPLIED GRAPHICS. BLACK TRIM CAP RETURNS. INTERIORS ILLUM. W/ LED LIGHTING. ALUMINUM WIREWAY, PMS #3435 GREEN PAINTED FINISH.



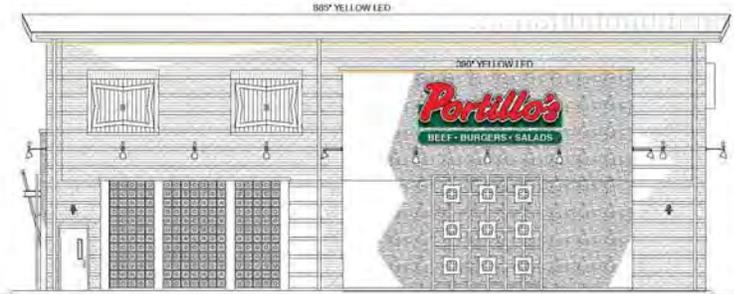
NORTH ELEVATION / SIGN LOCATION 3/32" = 1'-0"



SIDE VIEW

E4 S/F INT. LED ILLUMINATED DISPLAY 1/4" = 1'-0"
SOUTH ELEVATION

PORTILLOS HOT DOGS; ALUMINUM CABINET, BLACK PAINTED FINISH. WHITE PLEX FACE W/ RED, WHITE & BLACK VINYL APPLIED GRAPHICS. BLACK TRIM CAP RETURNS. INTERIORS ILLUM. W/ LED LIGHTING. ALUMINUM WIREWAY, PMS #3435 GREEN PAINTED FINISH. ALUMINUM PARABOLOID CABINET & FACE, PMS #3435 GREEN PAINTED FINISH. ROUTED COPY W/ 1" THICK CLEAR PLEX PUSH THRU & WHITE PLEX BACK UP.



SOUTH ELEVATION / SIGN LOCATION 3/32" = 1'-0"

OLYMPIC SIGNS

account representative client
R WHITEHEAD

Portillo's
LAKE COOK & DEER LAKE RD. DEERFIELD, IL

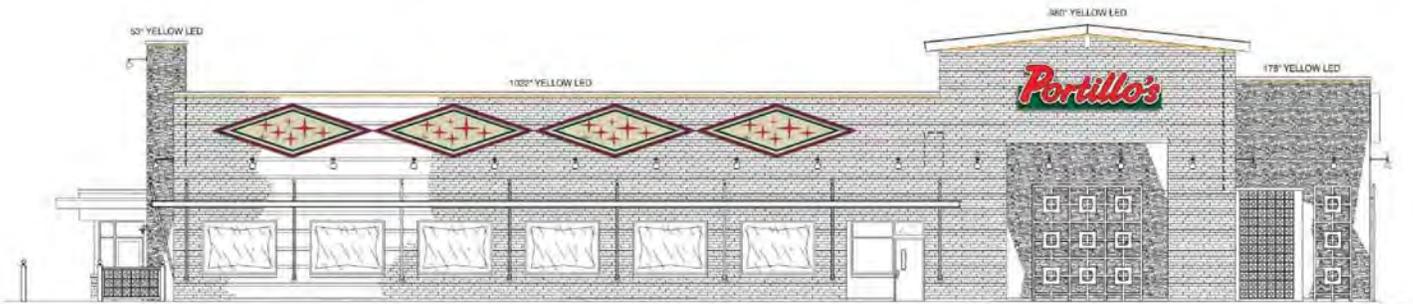
drawn by
JOHN W

job #: 16-6357
2-24-16
rev. # 4-20-16

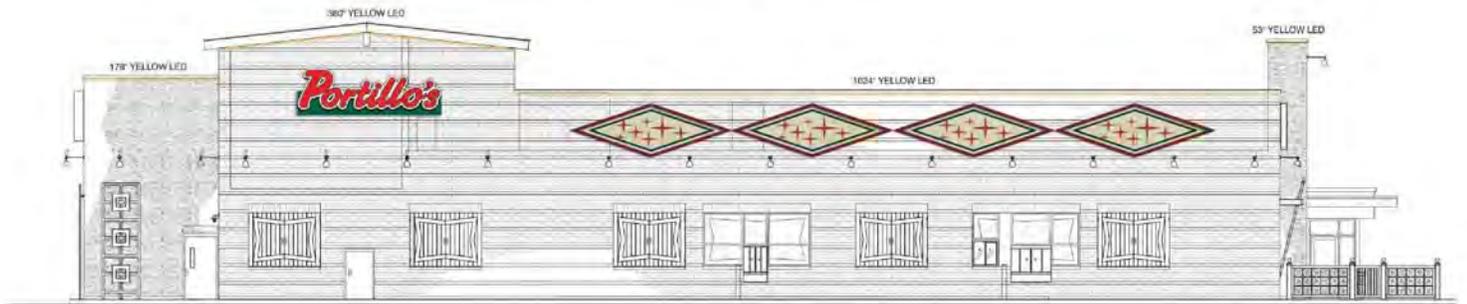
Comments:

1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fx.# 630.424.6120 WWW.OLYSIGNS.COM

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WEST ELEVATION / SIGN LOCATIONS 3/32" = 1'-0"



EAST ELEVATION / SIGN LOCATIONS 3/32" = 1'-0"

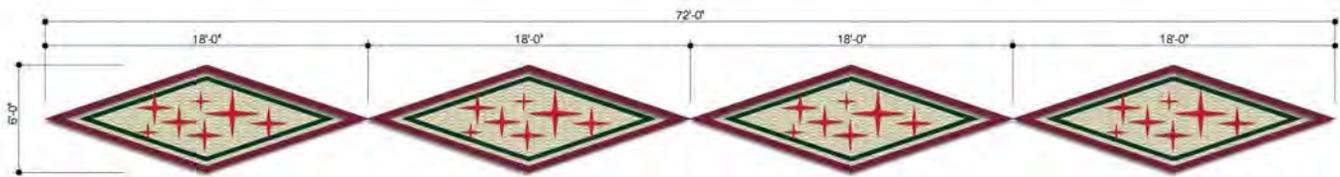
**OLYMPIC
SIGNS**

account representative / client
R WHITEHEAD / **Portillo's**
1130 N. Garfield / LAKE COOK & DEER LAKE RD. / DEERFIELD, IL 60148
Ph.# 630.424.6100 / Fax.# 630.424.6120

drawn by / * job #:
JOHN W / 16-6357
* 2-24-16
* rev.# 3-30-16

Comments:

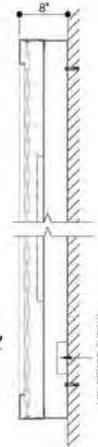
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E5 E6

S/F COVE LED ILLUMINATED DISPLAYS 3/16" = 1'-0"
 2 SETS REQUIRED / EAST & WEST ELEVATIONS

ALUMINUM CABINET & COVE TYPE RETAINERS, PMS #195
 BURGUNDY PAINTED FINISH. COVE LIT W/ WHITE LED.
 RECESSED ALUMINUM FACE W/ PMS 454, 452 & PMS 3435
 DK GREEN DIGITALLY PRINTED VINYL APPLIED BKGD.
 1" THICK F.C.O. CLEAR PLEX STARS, PAINTED PMS #187 RED.



SECTION THRU DETAIL 3/4" = 1'-0"

**OLYMPIC
 SIGNS**

account representative
 R WHITEHEAD

client

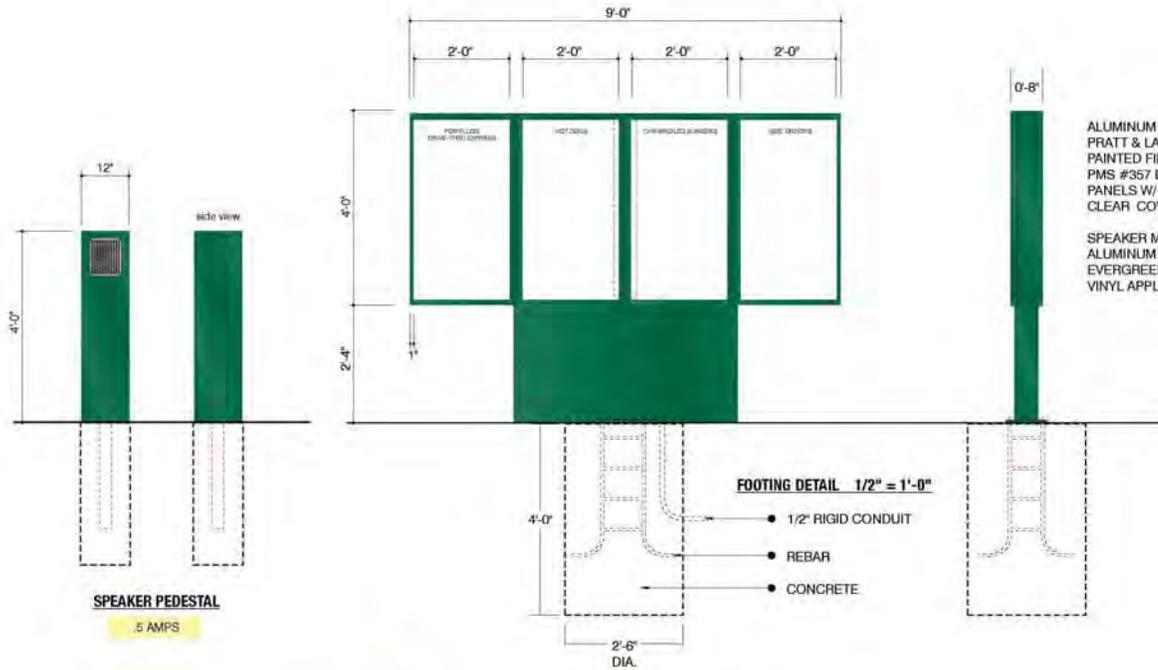
Portillo's
 LAKE COOK & DEER LAKE RD. OAKFIELD, IL

drawn by
 JOHN W

job #: 16-6357
 2-24-16
 rev.# 3-30-16

Comments:

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ALUMINUM CABINET, RETAINERS & BASE
 PRATT & LAMBERT #1487 SHADY EVERGREEN
 PAINTED FINISH.
 PMS #357 DK GREEN CHANGEABLE ACRYLIC
 PANELS W/ WHITE TRANSLUCENT COPY
 CLEAR COVERS W/ HINGED DOORS FOR SERVICE.

SPEAKER MOUNTED IN COLUMN COVER THROUGH
 ALUMINUM PANEL, PRATT & LAMBERT #1487 SHADY
 EVERGREEN PAINTED FINISH W/ BLACK & WHITE
 VINYL APPLIED GRAPHICS.

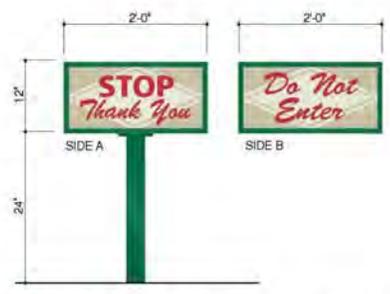
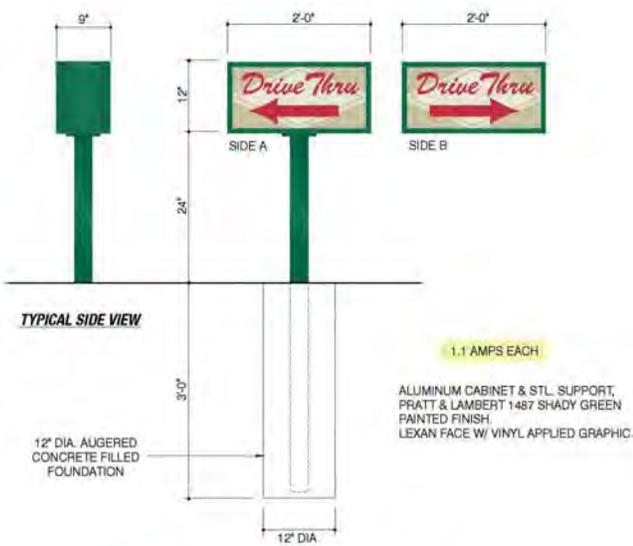
SPEAKER PEDESTAL
 .5 AMPS

FOOTING DETAIL 1/2" = 1'-0"

E7 S/F INT. H.O. FLD. ILLUMINATED DRIVE-THRU MENU SIGNAGE
 5 AMPS

OLYMPIC SIGNS account representative: R WHITEHEAD client: **Fertillo's** LARE COOK & DEER LANE RD. DEERFIELD, IL drawn by: JOHN W job #: 16-6357
 1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fax.# 630.424.6120 WWW.OLYSIGNS.COM 2-24-16 rev.# 3-30-16

Comments:



1 DF INT. H.O. FLO. ILLUMINATED DIRECTIONAL 3/4" = 1'-0"

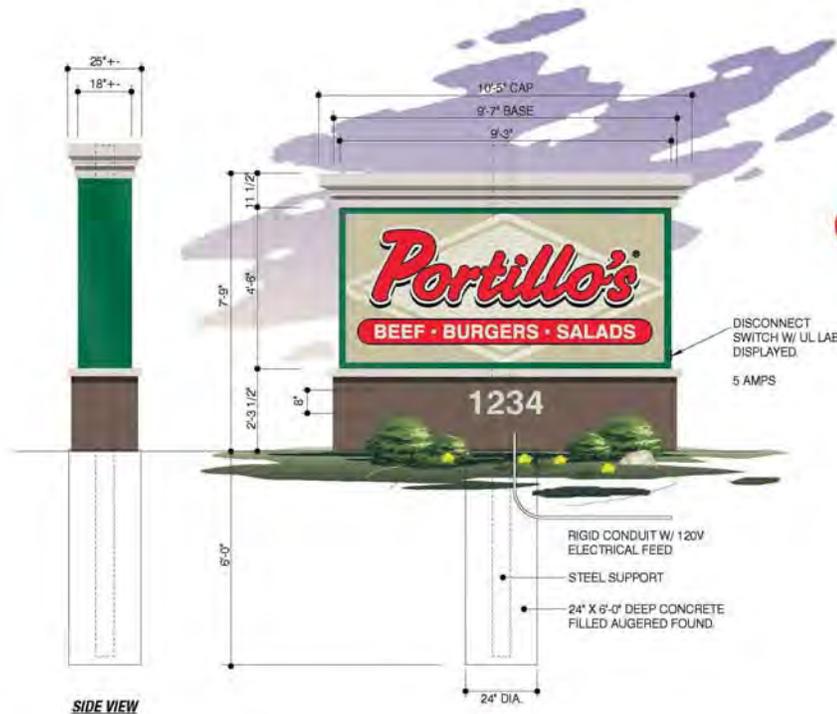
E11

3 DF INT. ILLUMINATED DIRECTIONALS 3/4" = 1'-0"

E8 E9 E10

OLYMPIC SIGNS account representative: R WHITEHEAD client: **Portillo's** drawn by: JOHN W job #: 16-6357
 1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fax.# 630.424.6120 WWW.OLYSIGNS.COM 2-24-16 rev.# 3-30-16

Comments:



E12

D/F INT. LED ILLUMINATED MONUMENT DISPLAY 3/8" = 1'-0"

- ALUMINUM CABINET & RETAINERS, PRATT & LAMBERT 1487 SHADY GREEN PAINTED FINISH.
- NEW WHITE LEXAN FACES W/ #230-33 RED, BLACK & #230-76 HOLLY GREEN VINYL APPLIED GRAPHICS.
- ALUMINUM BASE, SW6149 RELAXED KHAKI PAINTED FINISH.
- 1/4" THICK F.C.O. ADDRESS, BLACK PAINTED FINISH. FLUSH MOUNT.

DISCONNECT SWITCH W/ UL LABEL DISPLAYED.
5 AMPS

- RIGID CONDUIT W/ 120V ELECTRICAL FEED
- STEEL SUPPORT
- 24" X 6'-0" DEEP CONCRETE FILLED AUGERED FOUND.

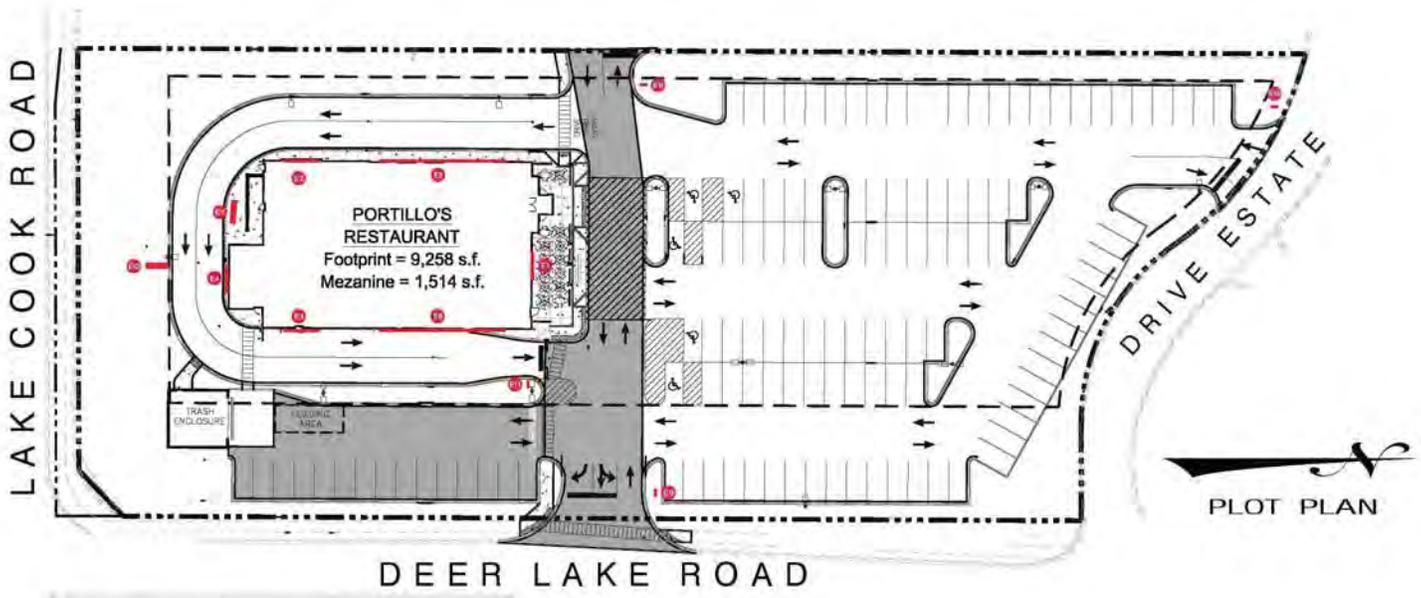
SIDE VIEW



account representative: R WHITEHEAD client: **Portillo's** LAKE COOK & DEER LAKE REST. DEERFIELD, IL drawn by: JOHN W job #: 16-6357
 1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fax.# 630.424.6120 WWW.OLYSIGNS.COM 2-24-16 rev.# 3-30-16

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Lombard, IL 60148

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account representative
R WHITEHEAD

client

Portillo's
LAKE COOK & DEER LAKE RD. OAKFIELD, IL

drawn by
JOHN W

job #: 16-6357
2-24-16
rev.# 4-4-16

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Cargo
series



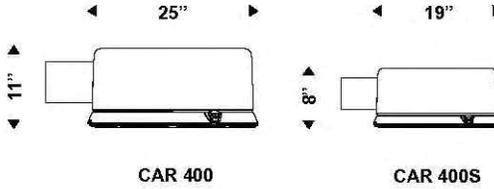
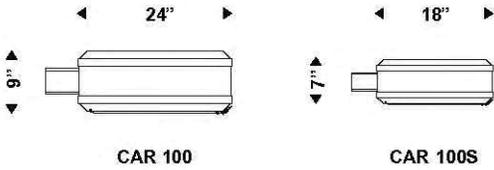
➤ **CAR 100**



➤ **CAR 400**



Cargo Series

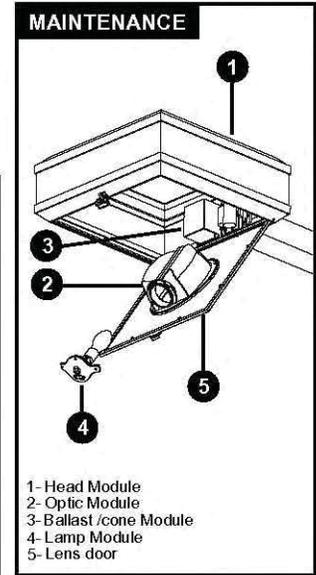


The CARGO series fixtures are made of cast aluminum door and housing. The door assembly stays fastened by hinge to the top, providing a hands-free approach to servicing and accessing the various internal components. This luminaire is laterally fixed with a variable length arm (see codification). The flat lens is offered in clear tempered glass.

OPTIC

OCB * / QS Cut-off Reflector Horizontal lamp		*Type 1 to 4	ORV * Cut-off Reflector Vertical lamp (medium socket)		*Type 3 & 5
ORH * Cut-off Reflector Horizontal lamp		*Type 3 & 5	L * LED Module		*Type 3 & 5

Options: /QS IP66 Rating
/HS House Shield (Consult Factory)



WEIGHT: 50 lbs
E.P.A.: 2.2 sq ft

WEIGHT: 37 lbs
E.P.A.: 1.6 sq ft

ORDERING INFO

PRODUCT (LUMINAIRE)	OPTIC	GLOBE	WATT / SOURCE / SOCKET	VOLTAGE	COLOR	OPTION
CAR100	OCB3/QS	GGC	100 MH / MED	120	BKTX	AGY
PRODUCT (ARM)	CONFIGURATION	COULEUR	OPTION			
QM618	1A	BKTX	PBT			

LENS

GGC: Clear Tempered Flat Glass

GGSC: Clear Glass Sagged Lens (available only CAR400 and CAR400S)

VOLTAGE

SINGLE TAP: 120 / 208 / 240 / 277 / 347 / 480

DUAL TAP: DT1/_* (120-240)
DT2/_* (120-277)

TRI TAP: TT1/_* (120-208-240)
TT2/_* (120-277-347)

QUAD TAP: QT/_* (120-208-240-277)

* = connected at _____ volts

WATT / SOURCE / SOCKET

METAL HALIDE	50 / 70 / 100 / 150 175 *250 / *400 (*Consult Factory)	MH MH MH	MED MED & MOG MOG	(Medium) (Medium & Mogul) (Mogul)
HIGH PRESSURE SODIUM	50 / 70 / 100 / 150 *250 / *400 (*Consult Factory)	HPS HPS	MED & MOG MOG	(Medium & Mogul) (Mogul)
CERAMIC METAL HALIDE	45 / 60 / 90 / 140 210 / 315	CMH CMH	PGZ12 PGZ18	
LED	55 / 70 73 / 91 / 106 / 136	LEDD LEDF	(TYPE 3 & 5) (TYPE 3 & 5)	

Options: /EL Electronic Ballast
/D_* Step Dimming *6, 8 or 10 hours

COLOR

WHTX WHITE	RDTX RED
BKTX BLACK	GYTX GREY
GNTX GREEN	GNDTX DARK GREEN
TANTX BEIGE	BUTX BLUE
BZTX BRONZE	SYSM NU SPARKLE SILVER

OPTIONS

PBT: Button Type Photocell

PTL: Twist-Lock Photocell Receptacle

A_ _: Color Accent (only CAR100 & 100S)
Ex.: ARD (Red Accent)

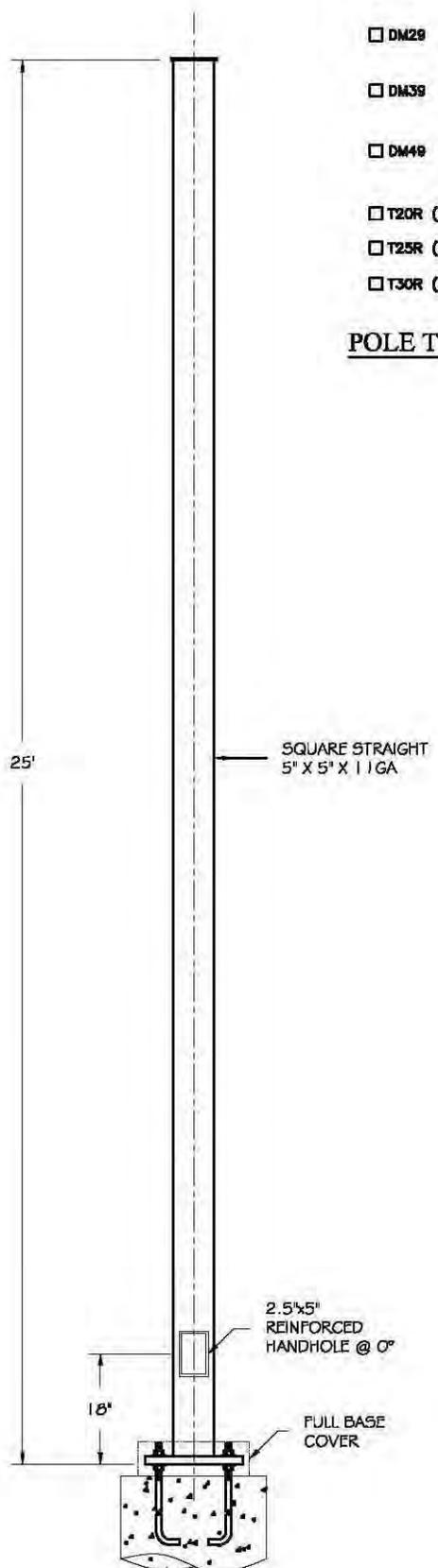
ARMS

QM609: 9 in length arm

QM618: 18 in length arm

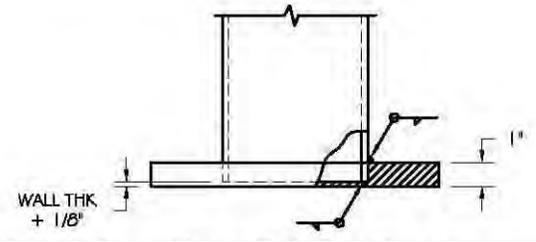
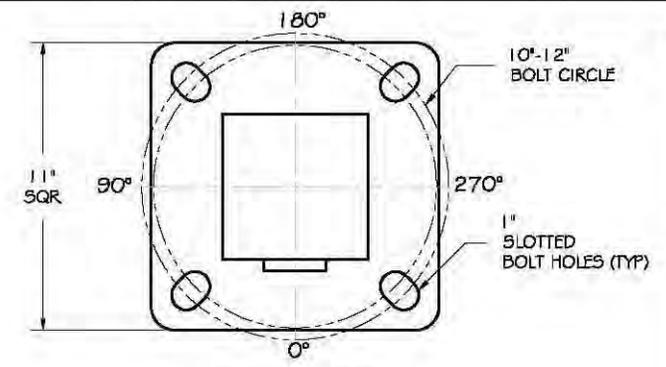
QM624: 24 in length arm

***Many length available, consult Quattro

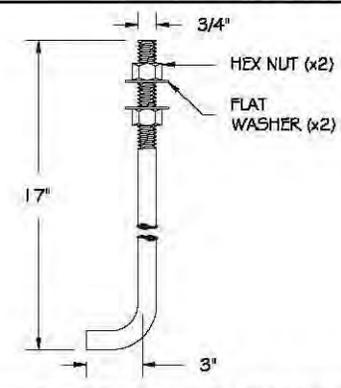


- DM19
- DM28
- DM29
- DM39
- DM49
- T20R (2 3/8" OD)
- T25R (2 7/8" OD)
- T30R (3 1/2" OD)

POLE TOP OPTIONS



BASE PLATE DETAIL



- * PROJECTION:
4 1/4" MIN
5 1/4" MAX
- * ANCHOR BOLT TEMPLATE:
ABT-110-4
- * FULLY GALVANIZED PER:
ASTM A-153

ANCHOR BOLT DETAIL

WIND (MPH)	80	90	100		
EPA	9.8	6.3	3.7		
WEIGHT	245	157	150		

LOADING CHART

COMPONENT	SPECIFICATION				
POLE SHAFT	ASTM A-500 GRADE C				
BASE PLATE	ASTM A-36				
ANCHOR BOLTS	ASTM F-1554 GRADE 55				
MISC. STEEL	ASTM A-36				

SPECIFICATIONS

1. ALL HARWARE TO BE GALVANIZED TO ASTM A153.
2. POLE ASSEMBLY TO BE PAINTED OR GALVANIZED .
3. ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION.
4. POLE DESIGN IS BASED AGAINST COMMERCIAL GRADE STANDARDS.
5. DESIGN WIND SPEEDS IN LOADING CHART INCLUDE 1.3 GUST FACTOR.
6. POLES SHOULD BE MONITORED FREQUENTLY FOR SIGNS OF HARMONIC VIBRATION, WHICH WILL CAUSE STRUCTURAL FATIGUE. CONSULT FACTORY FOR A DAMPING DEVICE THAT CAN HELP MINIMIZE THE EFFECTS OF VIBRATION.

GENERAL NOTES

POLE MARK (FOR APPROVAL)

TYPE: _____ BY: _____ DATE: _____



AMERICAN LITE POLE
2800 S. HULEN, SUITE 200
FORT WORTH, TX 76109
817-924-3682 PH.
817-924-7049 FAX

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REV. DATE BY REVISION DESCRIPTION
PROJECT NAME:

DESCRIPTION:

**SQUARE STRAIGHT STEEL
25' X 5" X 11 GA**

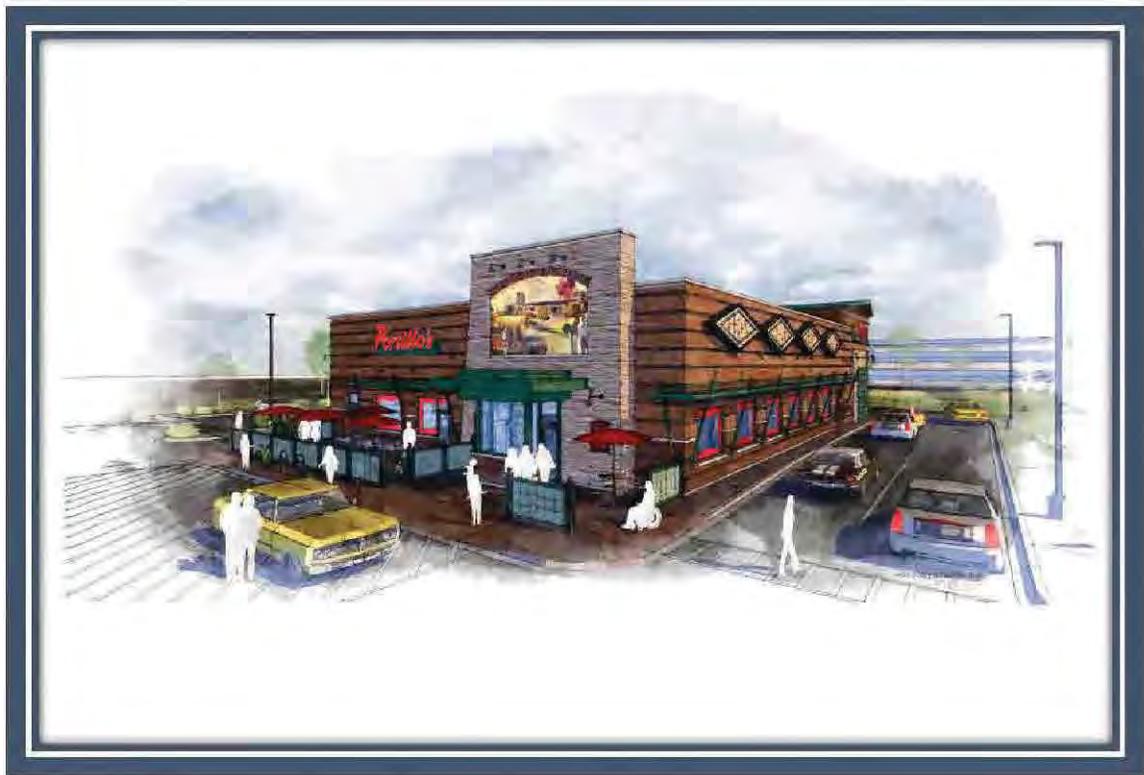
SCALE: NONE DATE: 05/10/07 DWG BY: BM

PO NUMBER: _____ QTY: _____ CHKD BY: CKR

DRAWING NUMBER: SNS-25-50-11-AB REV: -

Traffic Impact Study

Proposed Portillo's Restaurant Deerfield, Illinois



Prepared by:



Kenig, Lindgren, O'Hara, Aboona, Inc.

May 2, 2016

Introduction

This report summarizes the methodologies, results and findings of a traffic impact and parking analysis conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed Portillo's restaurant to be located at 700 Lake-Cook Road in Deerfield, Illinois. The site is occupied by a vacant restaurant and is located in the northwest quadrant of the intersection of Lake-Cook Road and Deer Lake Road. **Figure 1** shows the location of the site in relation to the area roadway system.

The plans call for razing the existing building and for developing the site with a 10,772 square-foot (including a mezzanine of approximately 1,514 square feet) Portillo's restaurant with a dual lane drive-through service. The Portillo's restaurant will be open Sunday through Thursday from 10:30 A.M. to 10:00 P.M., and on Friday and Saturday from 10:30 A.M. to 11:00 P.M. The restaurant will not be open for breakfast. Access to the site will continue to be provided via the three existing full ingress/egress access drives. **Figure 2** shows an aerial view of the site and the adjacent land uses.

The sections of this report present the following:

- Existing roadway conditions including traffic volumes for the weekday midday and evening peak hours
- A detailed description of the proposed development
- Vehicle trip generation for the proposed development
- Directional distribution of development-generated traffic
- Future transportation conditions including access to and from the development



Site Location

Figure 1



Aerial View of Site Location

Figure 2

Portillo's Restaurant
Deerfield, Illinois



Conditions Analyzed

For the purposes of this traffic evaluation, the following two conditions were analyzed for the weekday midday and evening peak hour periods:

1. Existing Condition - Analyzes the capacity of the existing roadway system using existing traffic volumes in the surrounding area.
2. Future Condition – Analyzes the capacity of the future roadway system that includes adjusted Year 2022 traffic volumes, the estimated traffic from the proposed restaurant, and the background growth in the area.

Purpose of Study

The primary purpose of the study is threefold:

- Determine the existing traffic and roadway conditions in the immediate area to establish an existing base condition.
- Determine if the existing access currently serving the site and the existing internal circulation will be adequate to accommodate the traffic anticipated from the proposed restaurant, and identify any traffic control or circulation improvements, as needed.
- Determine if the proposed parking supply serving the restaurant will be adequate to accommodate the peak parking demand.

Existing Conditions

Existing traffic and roadway conditions were documented based on field visits conducted by KLOA, Inc. The following provides a detailed description of the physical characteristics of the roadways including geometry and traffic control and peak hour traffic flows along area roadways.

Site Location

The site is bounded by Lake-Cook Road to the south, Estate Drive to the north, Deer Lake Road to the east, and the 770 Lake-Cook Road office building to the west. Adjacent land uses are mostly office buildings. The Demetri's Greek restaurant and the Egg Shell Café are located on the east side of Deer Lake Road.

Existing Roadway System Characteristics

The following is a description of each of the bordering roadways that serve the development:

Lake-Cook Road is an east-west major arterial with a posted speed limit of 40 mph that is under the jurisdiction of the Cook County Department of Transportation and Highways (CCDTH). At its signalized intersection with Deer Lake Road, Lake-Cook Road provides an exclusive left-turn lane, two through lanes, and a combined through/right-turn lane on both the east and west approaches. Lake-Cook Road carries an average daily traffic (ADT) volume of approximately 22,550 vehicles.

Deer Lake Road is a local north-south road that provides access to various office buildings and restaurants north of Lake-Cook Road and the Deerfield Metra Station as well as Home Depot and other stores to the south. At its signalized intersection with Lake-Cook Road, Deer Lake Road provides an exclusive left-turn lane, a through lane, and an exclusive right-turn lane on the south approach. The north approach provides an exclusive left-turn lane and a combined through/right-turn lane. Deer Lake Road north of Lake-Cook Road is separated by a raised landscaped median that extends north to the access drive serving the site on the west and the office building/restaurant on the east. At its unsignalized intersection with the site access drive, Deer Lake Road is wide enough to provide a combined left-turn/through lane and a combined through/right-turn lane on both approaches. At its unsignalized intersection with Estate Drive and the office building access drives further north, Deer Lake Road provides a combined left-turn/through/right-turn lane on both approaches. Deer Lake Road is under the jurisdiction of the Village of Deerfield and has a posted speed limit of 30 miles per hour.

Estate Drive is an east-west local road that provides access to the office buildings and businesses surrounding the site. At its unsignalized intersection with Deer Lake Road, Estate Drive is under stop sign control and provides a combined left-turn/through/right-turn lane on both approaches. At its unsignalized intersection with Pfingsten Road, Estate Drive is under stop sign control and is widened on the east approach to provide a combined left-turn/through lane and an exclusive right-turn lane. The west approach serves the Bristol Estates subdivision and provides a combined left-turn/through/right-turn lane.

Pfingsten Road is a north-south road that extends from Lake Avenue north to its terminus at Waukegan Road. In the vicinity of the site, Pfingsten Road provides one travel lane in each direction. At its unsignalized intersection with Estate Drive, Pfingsten Road provides an exclusive left-turn lane, a through lane, and an exclusive right-turn lane on both approaches. Pfingsten Road has a posted speed limit of 30 miles per hour, is under the jurisdiction of the Village of Deerfield, and carries an ADT volume of approximately 9,450 vehicles.

Existing Traffic Volumes

Manual turning movement vehicle traffic counts were conducted on Wednesday, April 20, 2016 during the weekday midday (11:30 A.M. to 1:30 P.M.) and evening (4:00 to 6:00 P.M.) peak periods at the following intersections:

1. Lake-Cook Road and Deer Lake Road
2. Estate Drive and Pfingsten Road

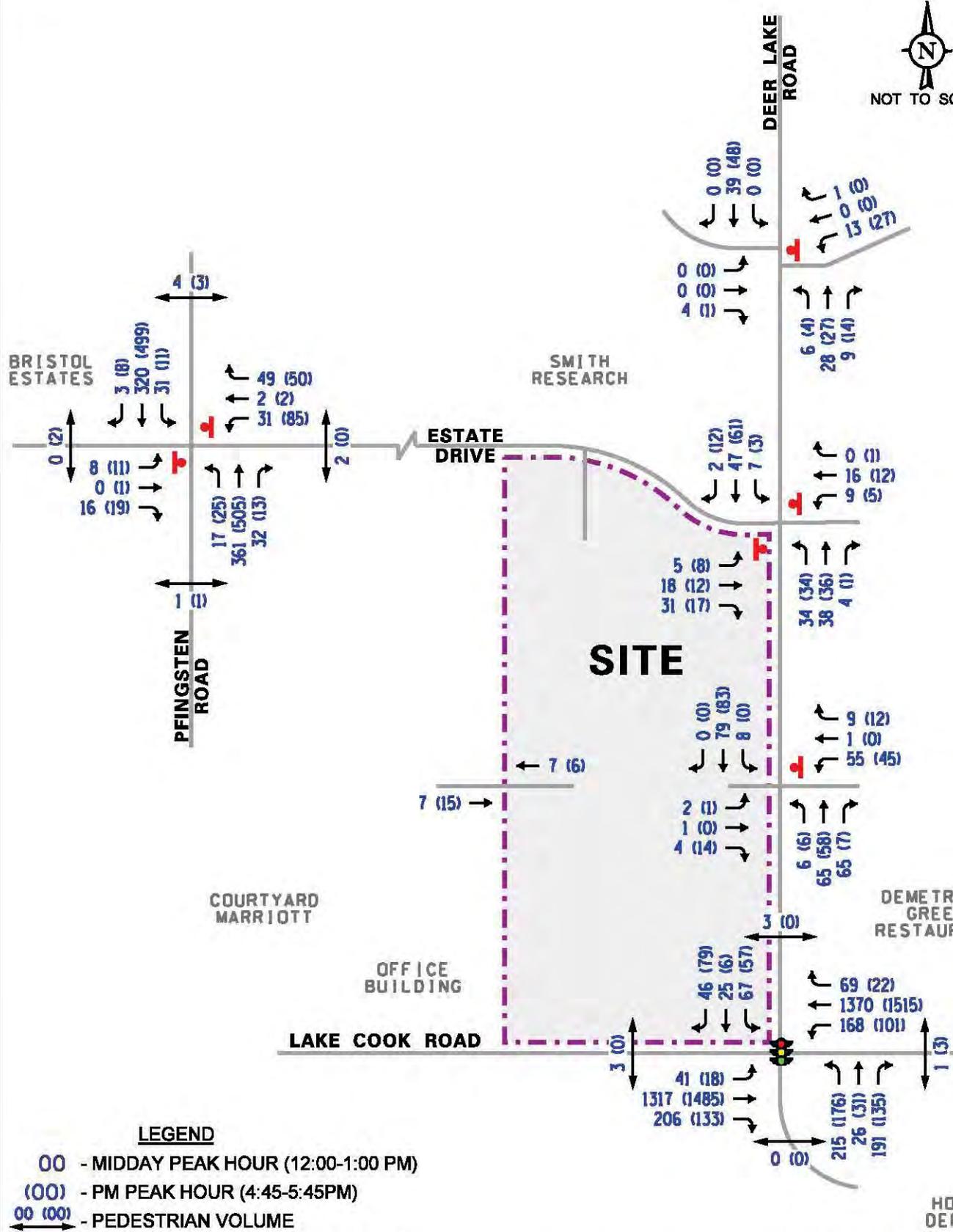
In addition, previous vehicle traffic counts conducted on Tuesday, September 30, 2014 during the weekday midday (11:30 A.M. to 1:30 P.M.) and evening (4:00 to 6:00 P.M.) peak periods at the intersections of Deer Lake Road with the site access drive/office-restaurant drive, Estate Drive, and the office drives north of Estate Drive were utilized.

Since the Portillo's restaurant is not open for breakfast, weekday morning peak period traffic counts were not conducted. From the manual turning movement count data, it was determined that the weekday midday peak hour occurs between 12:00 and 1:00 P.M. and the weekday evening peak hour occurs between 4:45 and 5:45 P.M. These two respective peak hours will be used for the traffic capacity analyses which are presented later in this report. Pedestrian and bicycle activity was observed and was reported to be very low at the study intersections.

The existing peak hour traffic volumes are shown in **Figure 3**.



NOT TO SCALE



LEGEND

- 00 - MIDDAY PEAK HOUR (12:00-1:00 PM)
- (00) - PM PEAK HOUR (4:45-5:45PM)
- 00 (00) - PEDESTRIAN VOLUME

PROJECT: Portillo's Restaurant Deerfield, Illinois	TITLE: Existing Pedestrian & Traffic Volumes	 Job No: 16-095 Figure: 3
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Traffic Characteristics of the Proposed Portillo's Restaurant

To evaluate the impact of the proposed restaurant on the area roadway system, it was necessary to quantify the number of vehicle trips the restaurant will generate during the two respective peak hours and then determine the directions from which this traffic will approach and depart.

Proposed Site and Development Plan

The restaurant building will be located on the south side of the parcel and will provide a dual drive-through lane wrapping around the building in a counterclockwise direction. The dual lanes will provide stacking for approximately 20 vehicles (10 vehicles per lane) from the ordering board and approximately 20 vehicles (10 vehicles per lane) from the pick-up window for a total stacking of 40 vehicles. It should be noted that under the proposed plans and typical of many Portillo's restaurants, the pay window and the pick-up window will be separated to allow for a vehicle to stack in between thus enhancing the efficiency of the drive-through facility.

Access

The development will be served by three existing full ingress/egress access drives. A description of each access follows.

Full Access and Deer Lake Road - This access drive is located approximately 280 feet north of Lake-Cook Road. The access drive will be widened to provide one inbound lane and two outbound lanes striped for a shared left-turn/through lane and an exclusive right-turn lane. Outbound movements will be under stop sign control.

Full Access and Estate Drive - This access drive is located approximately 220 feet west of Deer Lake Road and will provide one inbound lane and one outbound lane with outbound movements under stop sign control.

Full Access and 770 Lake Cook Road Drive Aisle - This access drive provides cross-access between the two land uses and will provide one inbound lane and one outbound lane with outbound movements under stop sign control.

Parking

The site is planned to provide a total of 124 parking spaces including five handicapped spaces. As proposed, 15 parking spaces will be located east of the restaurant building, some of which could be utilized for drive-through customers that are waiting for their orders to be completed.

Directional Distribution of Site Development Traffic

The directional distribution of site-generated trips on the external roadway system is a function of several variables including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system with the least amount of peak hour congestion. The directional distribution was estimated based on existing travel patterns as determined from the traffic counts.

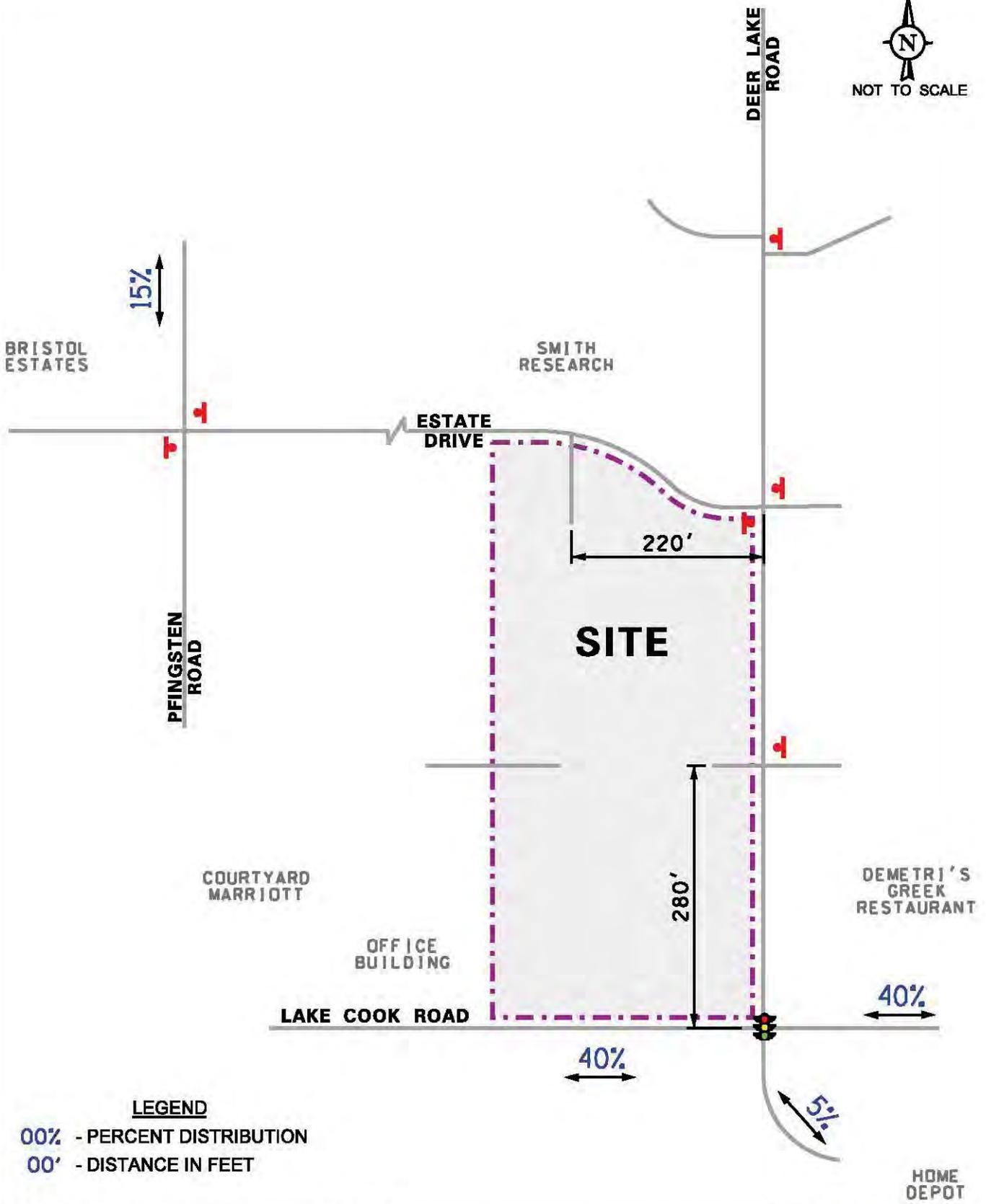
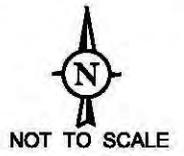
Figure 4 shows the estimated directional distribution for the proposed restaurant.

Site Traffic Generation

The estimate of the traffic volumes that will be generated by the proposed Portillo's restaurant was based on transaction information provided by Portillo's at the following locations:

1. 806 West Dundee Road - Arlington Heights
2. 1020 South Randall Road - Elgin (Dual Drive-Through)
3. 2306 East Lincoln Highway - New Lenox (Dual Drive-Through)
4. 7195 Kingery Highway (IL 83) - Willowbrook

Transaction data for seven consecutive days separated between drive-through and dine-in was reviewed. Based on a review of the data, the maximum number of transactions at the drive-through as well as inside the store occurred at the Arlington Heights location and, as such, that data was used to estimate the number of trips to be generated. Furthermore, KLOA, Inc. conducted traffic observations at the Arlington Heights location during the lunch time period that recorded the number of vehicles utilizing the drive-through lane as well as the number of customers that parked and went inside the restaurant. Based on the above, trip generation estimates were developed that took into account drive-through usage and walk-in traffic.



LEGEND

- 00% - PERCENT DISTRIBUTION
- 00' - DISTANCE IN FEET

PROJECT:
Portillo's Restaurant
 Deerfield, Illinois

TITLE:
Estimated Directional Distribution

KLOA
 Job No: 16-095

Figure: 4

Table 1 shows the projected new trips to be generated by the proposed Portillo’s restaurant.

Table 1
ESTIMATED PEAK HOUR TRAFFIC VOLUMES

Land Use	Size	Midday		P.M.	
		In	Out	In	Out
Portillo’s Restaurant	10,772 s.f.	258	258	124	124

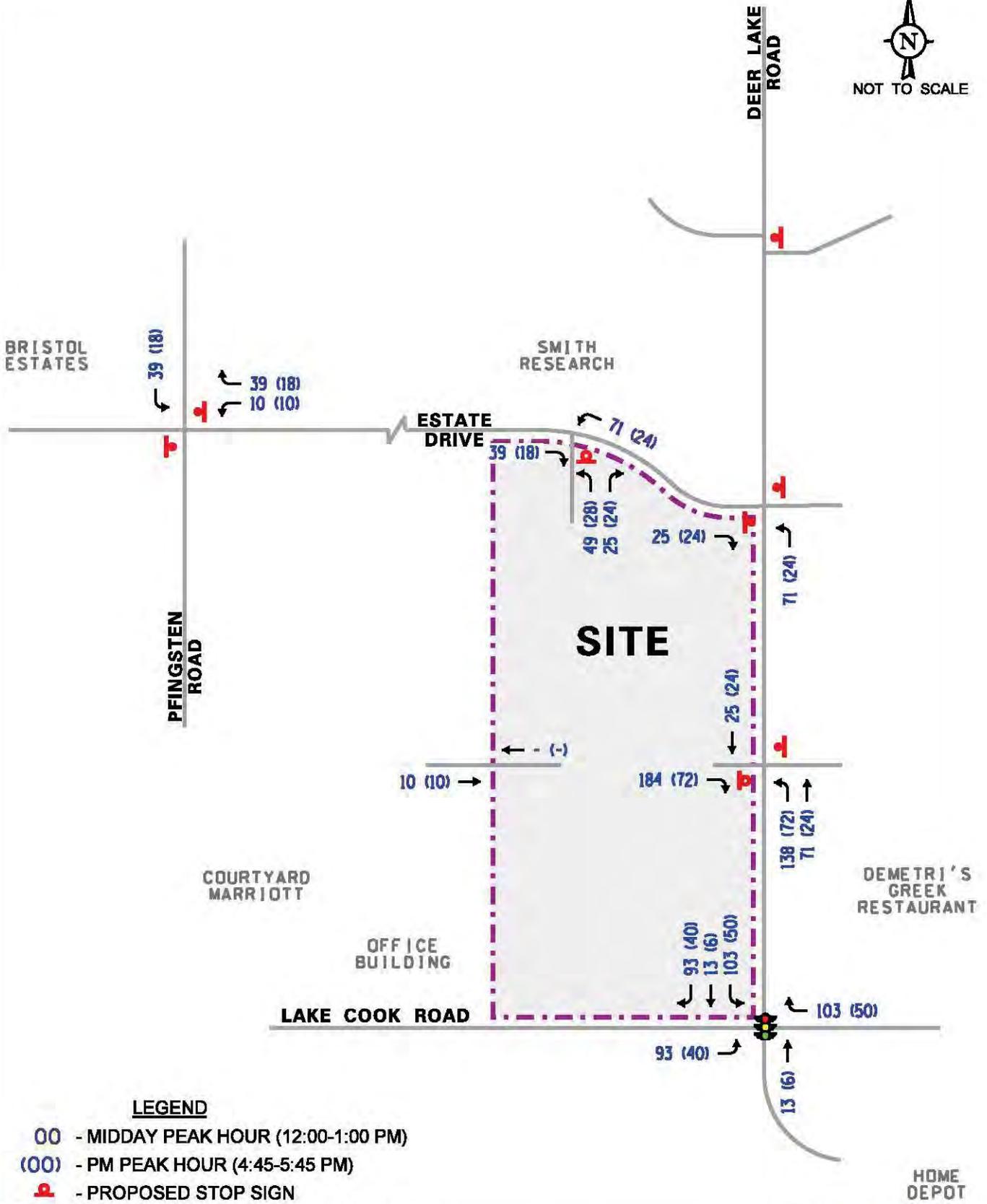
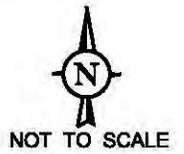
It is important to note that for the following reasons, the traffic to be generated by the restaurant will not be all new traffic to the existing roadway system:

- Surveys conducted by the Institute of Transportation Engineers (ITE) have shown that a considerable number of trips made to drive-through restaurants are diverted from existing passing traffic. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Such diverted trips are referred to as pass-by traffic. These surveys indicate that, on average, 60 percent of the peak hour trips generated by a drive-through restaurant are diverted from existing traffic on adjacent roadways.
- It is expected that the number of trips generated by the restaurant will be reduced due to the interaction (multipurpose trips) between the other uses in the immediate area (e.g., office buildings).

However, in order to provide a conservative analysis, the new traffic that will be generated by the Portillo’s restaurant was not adjusted to reflect pass-by trips or interaction with other uses.

Site Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed restaurant (Table 1) were assigned to the access drives based on the directional distribution analysis (Figure 4) and are shown in **Figure 5**.



LEGEND

- 00 - MIDDAY PEAK HOUR (12:00-1:00 PM)
- (00) - PM PEAK HOUR (4:45-5:45 PM)
- PROPOSED STOP SIGN

PROJECT:
Portillo's Restaurant
Deerfield, Illinois

TITLE:
Estimated Site-Generated
Traffic Volumes

KLOA
Job No: 16-095

Figure: 5

Regional Traffic Growth

Regional growth is the overall growth in the area not attributed to any particular planned development. A three percent growth factor (0.5 percent per year for six years) was applied to the through traffic volumes on Lake-Cook Road and Pfingsten Road.

Projected Traffic Volumes - Total Buildout

Figure 6 illustrates the total peak hour traffic volumes, which include the Year 2022 background traffic volumes and the development-generated traffic volumes.

Traffic Capacity Analysis

For the purposes of this traffic evaluation, existing and future traffic conditions were analyzed for the weekday morning, weekday evening, and Saturday midday peak hour periods. The traffic analyses were performed using the Synchro 8/SimTraffic software which follows the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 2010.

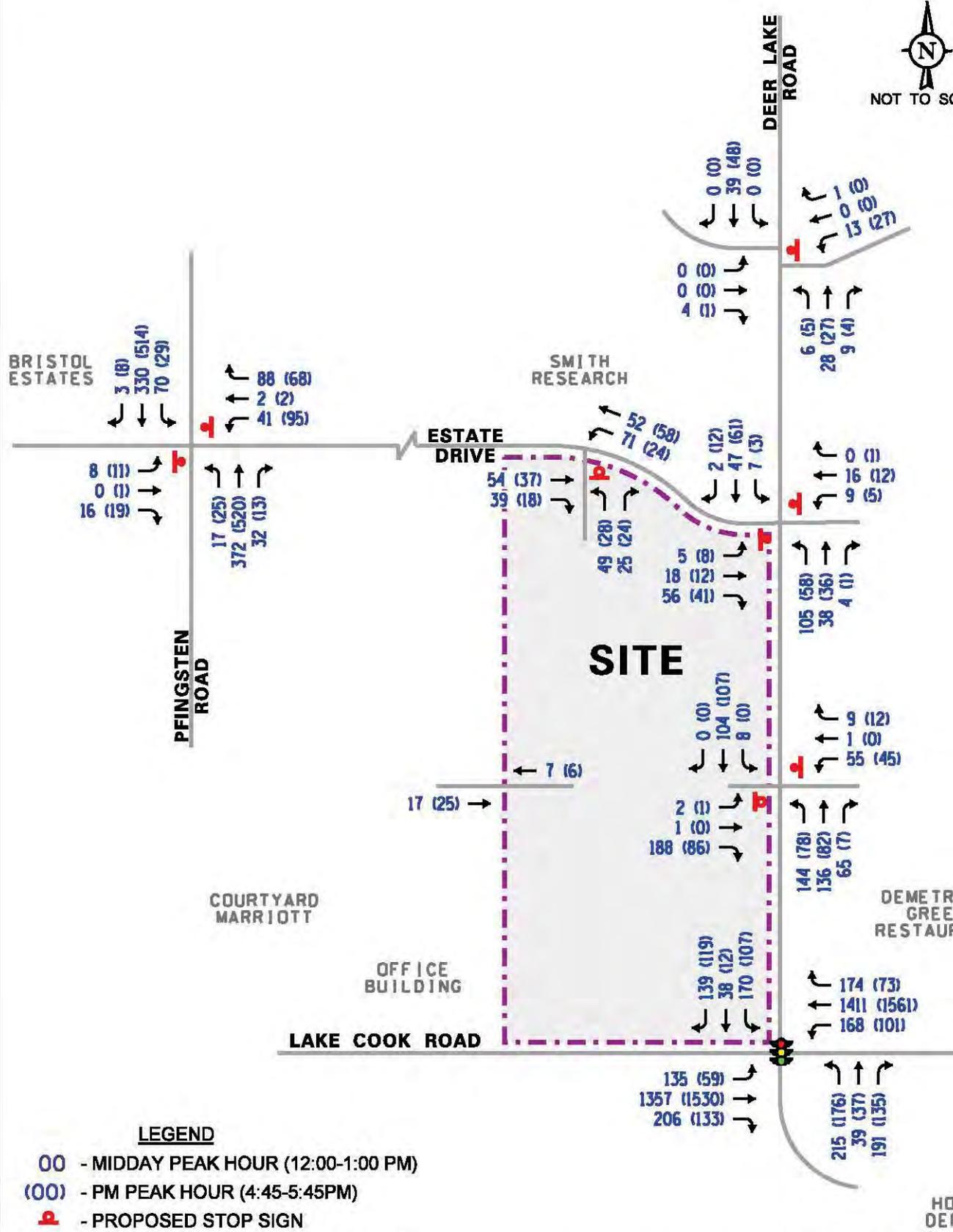
The analyses for the signalized intersection of Lake-Cook Road and Deer Lake Road was accomplished using programmed cycle lengths and phasings and roadway characteristics to determine the average overall vehicle delay, volume-to-capacity ratios, and levels of service.

The analyses for the unsignalized intersection determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes the intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. Control delay is that portion of the total delay attributed to the traffic signal or stop sign control operation, and includes initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay. Level of Service A is the highest grade (best traffic flow and least delay), Level of Service E represents saturated or at-capacity conditions, and Level of Service F is the lowest grade (oversaturated conditions, extensive delays).



NOT TO SCALE



<p>PROJECT: Portillo's Restaurant Deerfield, Illinois</p>	<p>TITLE: Total Projected Traffic Volumes</p>	<p>KLOA Job No: 16-095</p>
		<p>Figure: 6</p>

The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for both signalized and unsignalized intersections are shown in **Table 2**.

The traffic analysis results showing the level of service (LOS) and delay (measured in seconds) for both the overall intersection and by approach for the existing and future conditions are summarized in the following tables:

- **Table 3** shows the existing LOS and delay for the weekday midday and evening peak hours
- **Table 4** shows the future LOS and delay for the weekday midday and evening peak hours

Table 2
LEVEL OF SERVICE CRITERIA

Signalized Intersections		
Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor and the cycle length is long. Most cycles fail to clear the queue.	>80.0
Unsignalized Intersections		
Level of Service	Average Total Delay (SEC/VEH)	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	

Source: *Highway Capacity Manual*, 2010.

Table 3
CAPACITY ANALYSIS RESULTS – EXISTING CONDITIONS

Intersection	Weekday Midday Peak Hour		Weekday P.M. Peak Hour	
	LOS	Delay	LOS	Delay
Lake-Cook Road/Deer Lake Road¹				
Overall	C	26.0	C	21.1
Pfingsten Road/Estate Drive²				
Eastbound Approach	B	14.0	C	20.9
Westbound Approach	C	15.0	E	42.8
Deer Lake Road/Estate Drive²				
Eastbound Approach	A	9.5	A	9.3
Westbound approach	B	10.5	B	10.3
Deer Lake Road/Access Drive²				
Eastbound Approach	A	9.2	A	8.7
Westbound Approach	B	10.1	A	9.6
Deer Lake Road/Office Drives north of Estate Drive²				
Eastbound Approach	A	8.5	A	8.5
Westbound Approach	A	9.1	A	9.2
LOS - Level of Service Delay is measured in seconds. ¹ – Signalized Intersection ² – Unsignalized Intersection				

Table 4
CAPACITY ANALYSIS RESULTS – FUTURE CONDITIONS

Intersection	Weekday Midday Peak Hour		Weekday P.M. Peak Hour	
	LOS	Delay	LOS	Delay
Lake-Cook Road/Deer Lake Road¹				
Overall	C	33.3	C	23.5
Pfingsten Road/Estate Drive²				
Eastbound Approach	C	15.6	C	22.3
Westbound Approach	C	15.8	E	49.5
Deer Lake Road/Estate Drive²				
Eastbound Approach	A	9.9	A	9.6
Westbound approach	B	12.3	B	10.8
Deer Lake Road/Access Drive²				
Eastbound Approach	A	9.6	A	9.0
Westbound Approach	C	25.0	B	12.7
Deer Lake Road/Office Drives north of Estate Drive²				
Eastbound Approach	A	8.5	A	8.5
Westbound Approach	A	9.1	A	9.2
Estate Drive/Access Drive²				
Northbound Approach	B	10.3	A	9.3
LOS - Level of Service				
Delay is measured in seconds.				
¹ – Signalized Intersection				
² – Unsignalized Intersection				

Lake-Cook Road and Deer Lake Road

The results of the capacity analysis show that the existing signalized intersection of Lake-Cook Road and Deer Lake Road is operating and will continue to operate at an overall acceptable level of service under future conditions. The analyses also indicate that the 95th percentile queues for the southbound approach will not exceed 230 feet. As such, and in order to ensure that the southbound queues do not block the site access drive, a “Do Not Block Intersection” sign should be posted on Deer Lake Road facing north at its intersection with the access drive. No additional geometric or signal timing improvements will be necessary to accommodate future traffic volumes.

Pfingsten Road and Estate Drive

The eastbound and westbound approaches of this intersection are operating at acceptable levels of service during the weekday midday peak hour and will continue to do so in the future. During the evening peak hour, the eastbound approach operates and will continue operating at acceptable levels of service. However, the westbound approach currently operates at a level of service E and will continue to do so in the future. This is not an uncommon situation where a minor road intersects a major road. However, motorists are able to exit Estate Drive due to the gaps in the through traffic stream that are created by the traffic signal at the intersection of Pfingsten Road with Lake-Cook Road. Furthermore, based on a review of the capacity analyses, the westbound queues will not exceed 120 feet and, as such, will not block the access drive serving the 790 Estate Drive access drive or the access drive serving the Courtyard Marriott. As such, no geometric or traffic control improvements are recommended at this intersection in conjunction with the proposed restaurant.

Deer Lake Road and Estate Drive

The results of the capacity analyses indicate that the intersection is and will continue operating at acceptable levels of service with minimal increases in the delay experienced on the approaches under stop sign control. As such, no geometric or traffic control improvements are recommended at this intersection in conjunction with the proposed restaurant.

Deer Lake Road and Access Drive/Office-Restaurant Drive

The access drive serving the proposed Portillo's restaurant is currently operating at acceptable levels of service. Under future conditions and in order to accommodate future traffic volumes, the access drive will be widened to provide one inbound lane and two outbound lanes striped for a combined left-turn/through lane and an exclusive right-turn lane. Based on the results of the capacity analyses, the intersection will operate at acceptable levels of service. Inspection of the capacity analyses indicate that the northbound queues will not exceed 25 feet and, as such, will not have an impact on the intersection of Lake-Cook Road and Deer Lake Road. Furthermore, the eastbound queues will be 25 feet or less and, as such, will not have a negative impact on internal site circulation or the operation of the drive-through lanes. As previously indicated, and in order to ensure that the southbound queues on Deer Lake Road at its intersection with Lake-Cook Road do not block the site access drive, a "Do Not Block Intersection" sign should be posted on Deer Lake Road facing north at its intersection with the access drive. No additional geometric improvements will be necessary to accommodate future traffic volumes.

Deer Lake Road and Office Drives north of Estate Drive

The results of the capacity analyses indicate that the intersection is and will continue operating at acceptable levels of service with minimal increases in the delay experienced on the approaches under stop sign control. As such, no geometric or traffic control improvements are recommended at this intersection in conjunction with the proposed restaurant.

Estate Drive and Access Drive

This access drive is located approximately 220 feet west of Deer Lake Road and will provide full ingress/egress movements. Based on the results of the capacity analyses, the intersection will operate at acceptable levels of service with minimal queues (25 feet or less). As such, no geometric or traffic control improvements are recommended at this intersection in conjunction with the proposed restaurant.

Site Design

The site will provide 24-foot wide two-way drive aisles and 90-degree parking stalls. The drive aisle between the parking area and the building will be approximately 25 feet wide and will be striped to alert vehicles of pedestrians crossing to/from the restaurant. East-west crosswalks will be provided on the north side of the building providing pedestrian connectivity between the 770 Lake-Cook Road building, the proposed restaurant, and the existing sidewalk along Deer Lake Road.

Parking

The proposed plans call for providing 124 off-street parking spaces. Based on a review of the Village of Deerfield Zoning Ordinance, the restaurant should provide a parking ratio of 1.0 parking space per 60 square feet of gross floor area (50 percent sit-down) and 1.0 parking space per 120 square feet of gross floor area (50 percent carry-out). Applying this, the restaurant will require 78 parking spaces for sit-down customers and 39 parking spaces for carry-out customers for a total of 117 parking spaces. As such, the required number of parking spaces is seven less than the proposed parking supply.

In order to determine the adequacy of the proposed number of parking spaces, KLOA, Inc. conducted a parking survey at the Arlington Heights restaurant on Tuesday, October 7, 2014 from 11:30 A.M. to 1:30 P.M. The survey counted the number of vehicles parked in the parking field serving the restaurant as well as those that parked in the adjacent parking areas north of the restaurant. **Table 5** summarizes the parking demand of the Arlington Heights restaurant every 15 minutes.

Table 5
PORTILLO'S RESTAURANT (ARLINGTON HEIGHTS) PARKING DEMAND

Time	Parking Demand
Tuesday, October 7, 2014	
11:30 A.M.	42
11:45 A.M.	58
12:00 Noon	88
12:15 P.M.	99
12:30 P.M.	100
12:45 P.M.	92
1:00 P.M.	76
1:15 P.M.	65
1:30 P.M.	56

As can be seen from the results of the parking survey, the peak parking demand occurred at 12:30 P.M. with 100 parked vehicles. Since the proposed Portillo's restaurant will be similar to the one in Arlington Heights, the proposed number of parking spaces will be adequate to accommodate the projected peak parking demand.

Proposed Drive-Through Operations

The Portillo's restaurant will provide dual drive-through lanes that will wrap around the west, south, and east sides of the building with traffic traveling in a counterclockwise direction. The pick-up window will be located on the east side of the building while the ordering board will be located on the south side of the building. Traffic destined for the drive-through facility can enter the development from any of the three access drives, thus allowing site traffic to be distributed without potentially overloading a single access drive. The dual drive-through lanes will be narrowed to one lane past the pick-up window and this lane will be under stop sign control at its intersection with the east-west main drive aisle.

Drive-Through Stacking Evaluation

Based on the site plan, the drive-through lanes have been designed to maximize vehicle storage without interfering with traffic circulation patterns within the parking lot area. The site plan indicates that 20 vehicles (10 vehicles per lane) can be stacked from the ordering window and approximately 20 (10 vehicles per lane) can be stacked from the pick-up window for a total stacking area of 40 vehicles.

In order to determine the adequacy of the proposed drive-through stacking, KLOA, Inc. observed the drive-through operations at the Portillo's restaurant in Arlington Heights, which has a single drive-through lane with stacking for approximately 24 vehicles. Our observations were conducted on Tuesday, September 16, 2014 from 11:30 A.M. to 1:00 P.M. and indicated that the average queue from the pick-up window was eight vehicles while the average queue from the ordering board was six vehicles. The highest observed queue was 10 vehicles from the pick-up window and 11 vehicles from the ordering board for a total stacking of 21 vehicles occurring only once during the observation period. It should be noted that four employees were outside by the drive-through lane taking orders and two employees were outside by the pick-up window delivering customers their food. This system, which will be implemented at the proposed location, provides a very efficient way of operating the drive-through and speeds up the service time.

Given that the proposed restaurant will provide dual drive-through lanes with stacking for approximately 16 more vehicles than the Arlington Heights restaurant, the proposed drive-through facility will be adequate in accommodating the drive-through demands.

Conclusion

Based on the proposed development plans and the preceding traffic impact study, the following conclusions and recommendations are made:

1. The Portillo's restaurant is not open during the weekday morning peak hour and peak activity typically occurs during the 12:00 to 1:00 P.M. lunch hour.
2. The traffic to be generated by the restaurant will not be all new traffic to the roadway system as a portion of the restaurant traffic will be (1) diverted from the existing traffic on the roadway system (pass-by trips) and (2) captured from the other uses within the immediate area (adjacent office buildings).
3. The existing access system will be maintained and will distribute traffic without overloading a specific intersection.
4. The access drive off Deer Lake Road will be widened to provide one inbound lane and two outbound lanes striped for a combined left-turn/through lane and an exclusive right-turn lane with outbound movements under stop sign control.
5. The volume of traffic to be generated by the proposed restaurant can be accommodated by the existing roadway system without significantly increasing the overall delays.
6. In order to ensure efficient traffic flow along Deer Lake Road, a "Do Not Block Intersection" sign should be posted on Deer Lake Road facing north at its intersection with the access drive.
7. The outbound queues from the access drive off Deer Lake Road will be minimal and will not have a negative impact on internal site circulation.
8. The proposed dual drive-through lanes will maximize the amount of stacking provided (40 vehicles) which together with Portillo's typical operation of using employees to assist in taking and delivering orders will be adequate in accommodating the projected demand.
9. Outbound movements from the drive-through lane should be under stop sign control.
10. The proposed number of parking spaces will be adequate in accommodating the peak parking demand.

Appendix

Lanes, Volumes, Timings 3: Deer Lake Road & Lake-Cook Road

5/2/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	41	1317	206	168	1370	69	215	26	191	67	25	46
Future Volume (vph)	41	1317	206	168	1370	69	215	26	191	67	25	46
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Storage Length (ft)	275		0	345		225	135		75	0		0
Storage Lanes	1		0	1		0	1		1	1		0
Taper Length (ft)	150			135			25			25		
Lane Util. Factor	1.00	0.91	0.91	1.00	0.91	0.91	1.00	1.00	1.00	1.00	1.00	1.00
Frt		0.980			0.993				0.850		0.903	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	4984	0	1770	5315	0	1770	1961	1583	1770	1682	0
Flt Permitted	0.950			0.950			0.707			0.739		
Satd. Flow (perm)	1770	4984	0	1770	5315	0	1317	1961	1583	1377	1682	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		32			10				208			50
Link Speed (mph)		30			30			30				30
Link Distance (ft)		843			902			300				280
Travel Time (s)		19.2			20.5			6.8				6.4
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	45	1656	0	183	1564	0	234	28	208	73	77	0
Turn Type	Prot	NA		Prot	NA		Perm	NA	Perm	Perm	NA	
Protected Phases	7	4		3	8			2				6
Permitted Phases							2		2	6		
Detector Phase	7	4		3	8		2	2	2	6		6
Switch Phase												
Minimum Initial (s)	4.0	4.0		4.0	4.0		4.0	4.0	4.0	4.0		4.0
Minimum Split (s)	8.0	22.0		8.5	22.0		22.0	22.0	22.0	22.0		22.0
Total Split (s)	16.0	80.0		25.0	89.0		35.0	35.0	35.0	35.0		35.0
Total Split (%)	11.4%	57.1%		17.9%	63.6%		25.0%	25.0%	25.0%	25.0%		25.0%
Yellow Time (s)	3.0	4.0		3.0	4.0		4.0	4.0	4.0	4.0		4.0
All-Red Time (s)	1.0	2.0		1.0	2.0		2.0	2.0	2.0	2.0		2.0
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0		0.0
Total Lost Time (s)	4.0	6.0		4.0	6.0		6.0	6.0	6.0	6.0		6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Max		None	C-Max		Max	Max	Max	Max		Max
Act Effect Green (s)	8.8	76.7		18.3	88.1		29.0	29.0	29.0	29.0		29.0
Actuated g/C Ratio	0.06	0.55		0.13	0.63		0.21	0.21	0.21	0.21		0.21
v/c Ratio	0.41	0.60		0.79	0.47		0.86	0.07	0.42	0.26		0.20
Control Delay	72.9	22.4		82.3	14.7		82.0	45.3	8.6	49.4		20.7
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0		0.0
Total Delay	72.9	22.4		82.3	14.7		82.0	45.3	8.6	49.4		20.7
LOS	E	C		F	B		F	D	A	D		C
Approach Delay		23.8			21.7			47.3				34.7
Approach LOS		C			C			D				C
Queue Length 50th (ft)	40	363		162	268		207	21	0	56		20
Queue Length 95th (ft)	81	420		#246	323		#358	49	67	105		65
Internal Link Dist (ft)		763			822			220				200

Lanes, Volumes, Timings
 3: Deer Lake Road & Lake-Cook Road

5/2/2016

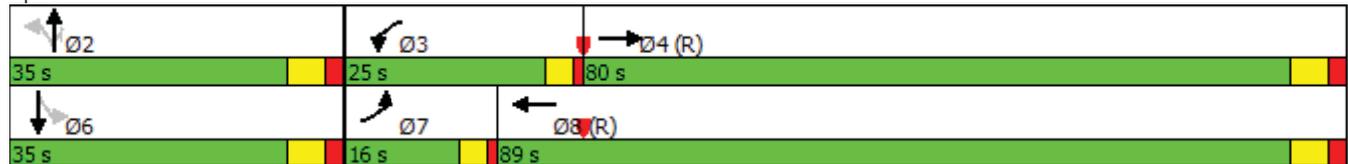


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)	275			345			135		75			
Base Capacity (vph)	151	2743		265	3346		272	406	492	285	388	
Starvation Cap Reductn	0	0		0	0		0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0		0	0	0	0	0	
Storage Cap Reductn	0	0		0	0		0	0	0	0	0	
Reduced v/c Ratio	0.30	0.60		0.69	0.47		0.86	0.07	0.42	0.26	0.20	

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 140
 Offset: 0 (0%), Referenced to phase 4:EBT and 8:WBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.86
 Intersection Signal Delay: 26.0
 Intersection LOS: C
 Intersection Capacity Utilization 71.3%
 ICU Level of Service C
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Deer Lake Road & Lake-Cook Road



HCM Unsignalized Intersection Capacity Analysis

8: Pfingsten Road & Estate Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	8	0	16	31	2	49	17	361	32	31	320	3
Future Volume (Veh/h)	8	0	16	31	2	49	17	361	32	31	320	3
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	9	0	17	34	2	53	18	392	35	34	348	3
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)						3						
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	872	879	348	861	847	392	351			427		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	872	879	348	861	847	392	351			427		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	96	100	98	87	99	92	99			97		
cM capacity (veh/h)	240	273	695	260	285	657	1208			1132		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	NB 3	SB 1	SB 2	SB 3				
Volume Total	26	89	18	392	35	34	348	3				
Volume Left	9	34	18	0	0	34	0	0				
Volume Right	17	53	0	0	35	0	0	3				
cSH	419	646	1208	1700	1700	1132	1700	1700				
Volume to Capacity	0.06	0.14	0.01	0.23	0.02	0.03	0.20	0.00				
Queue Length 95th (ft)	5	12	1	0	0	2	0	0				
Control Delay (s)	14.2	15.0	8.0	0.0	0.0	8.3	0.0	0.0				
Lane LOS	B	C	A			A						
Approach Delay (s)	14.2	15.0	0.3			0.7						
Approach LOS	B	C										
Intersection Summary												
Average Delay			2.3									
Intersection Capacity Utilization			40.4%	ICU Level of Service	A							
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

12: Deer Lake Road & Estate Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	5	18	31	9	16	0	34	38	4	7	47	2
Future Volume (Veh/h)	5	18	31	9	16	0	34	38	4	7	47	2
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	5	20	34	10	17	0	37	41	4	8	51	2
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								522				
pX, platoon unblocked												
vC, conflicting volume	194	187	52	229	186	43	53			45		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	194	187	52	229	186	43	53			45		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	99	97	97	99	98	100	98			99		
cM capacity (veh/h)	735	687	1016	671	688	1027	1553			1563		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	59	27	82	61								
Volume Left	5	10	37	8								
Volume Right	34	0	4	2								
cSH	850	682	1553	1563								
Volume to Capacity	0.07	0.04	0.02	0.01								
Queue Length 95th (ft)	6	3	2	0								
Control Delay (s)	9.5	10.5	3.4	1.0								
Lane LOS	A	B	A	A								
Approach Delay (s)	9.5	10.5	3.4	1.0								
Approach LOS	A	B										
Intersection Summary												
Average Delay			5.2									
Intersection Capacity Utilization			20.9%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

14: Deer Lake Road & Office Drive

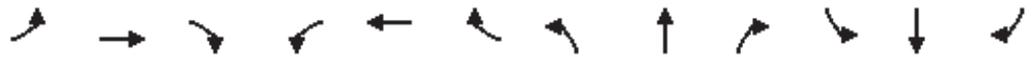
5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	4	13	0	1	6	28	9	0	39	0
Future Volume (Veh/h)	0	0	4	13	0	1	6	28	9	0	39	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	0	4	14	0	1	7	30	10	0	42	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								648				
pX, platoon unblocked												
vC, conflicting volume	92	96	42	95	91	35	42			40		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	92	96	42	95	91	35	42			40		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	100	98	100	100	100			100		
cM capacity (veh/h)	888	790	1029	882	795	1038	1567			1570		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	4	15	47	42								
Volume Left	0	14	7	0								
Volume Right	4	1	10	0								
cSH	1029	890	1567	1570								
Volume to Capacity	0.00	0.02	0.00	0.00								
Queue Length 95th (ft)	0	1	0	0								
Control Delay (s)	8.5	9.1	1.1	0.0								
Lane LOS	A	A	A									
Approach Delay (s)	8.5	9.1	1.1	0.0								
Approach LOS	A	A										
Intersection Summary												
Average Delay			2.1									
Intersection Capacity Utilization			21.4%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

17: Deer Lake Road & Access Drive

5/2/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Volume (veh/h)	2	1	4	55	1	9	6	65	65	8	79	0
Future Volume (Veh/h)	2	1	4	55	1	9	6	65	65	8	79	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	2	1	4	60	1	10	7	71	71	9	86	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								280				
pX, platoon unblocked												
vC, conflicting volume	164	260	43	186	224	71	86			142		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	164	260	43	186	224	71	86			142		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	100	92	100	99	100			99		
cM capacity (veh/h)	770	636	1018	748	666	977	1508			1438		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	SB 1	SB 2						
Volume Total	7	71	42	106	52	43						
Volume Left	2	60	7	0	9	0						
Volume Right	4	10	0	71	0	0						
cSH	864	772	1508	1700	1438	1700						
Volume to Capacity	0.01	0.09	0.00	0.06	0.01	0.03						
Queue Length 95th (ft)	1	8	0	0	0	0						
Control Delay (s)	9.2	10.1	1.2	0.0	1.3	0.0						
Lane LOS	A	B	A		A							
Approach Delay (s)	9.2	10.1	0.4		0.7							
Approach LOS	A	B										
Intersection Summary												
Average Delay			2.8									
Intersection Capacity Utilization			24.2%		ICU Level of Service					A		
Analysis Period (min)			15									

Lanes, Volumes, Timings
3: Deer Lake Road & Lake-Cook Road

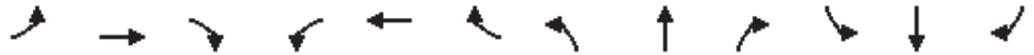
5/2/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	18	1485	133	101	1515	22	176	31	135	57	6	79
Future Volume (vph)	18	1485	133	101	1515	22	176	31	135	57	6	79
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Storage Length (ft)	275		0	345		225	135		75	0		0
Storage Lanes	1		0	1		0	1		1	1		0
Taper Length (ft)	150			135			25			25		
Lane Util. Factor	1.00	0.91	0.91	1.00	0.91	0.91	1.00	1.00	1.00	1.00	1.00	1.00
Frt		0.988			0.998				0.850		0.861	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	5024	0	1770	5342	0	1770	1961	1583	1770	1604	0
Flt Permitted	0.950			0.950			0.696			0.735		
Satd. Flow (perm)	1770	5024	0	1770	5342	0	1296	1961	1583	1369	1604	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		17			3				147		86	
Link Speed (mph)		30			30			30			30	
Link Distance (ft)		843			902			300			280	
Travel Time (s)		19.2			20.5			6.8			6.4	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Shared Lane Traffic (%)												
Lane Group Flow (vph)	20	1759	0	110	1671	0	191	34	147	62	93	0
Turn Type	Prot	NA		Prot	NA		Perm	NA	Perm	Perm	NA	
Protected Phases	7	4		3	8			2			6	
Permitted Phases							2		2	6		
Detector Phase	7	4		3	8		2	2	2	6	6	
Switch Phase												
Minimum Initial (s)	4.0	4.0		4.0	4.0		4.0	4.0	4.0	4.0	4.0	
Minimum Split (s)	8.0	22.0		8.5	22.0		22.0	22.0	22.0	22.0	22.0	
Total Split (s)	12.0	86.0		19.0	93.0		35.0	35.0	35.0	35.0	35.0	
Total Split (%)	8.6%	61.4%		13.6%	66.4%		25.0%	25.0%	25.0%	25.0%	25.0%	
Yellow Time (s)	3.0	4.0		3.0	4.0		4.0	4.0	4.0	4.0	4.0	
All-Red Time (s)	1.0	2.0		1.0	2.0		2.0	2.0	2.0	2.0	2.0	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	4.0	6.0		4.0	6.0		6.0	6.0	6.0	6.0	6.0	
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Max		None	C-Max		Max	Max	Max	Max	Max	
Act Effect Green (s)	6.9	82.1		12.9	92.0		29.0	29.0	29.0	29.0	29.0	
Actuated g/C Ratio	0.05	0.59		0.09	0.66		0.21	0.21	0.21	0.21	0.21	
v/c Ratio	0.23	0.60		0.67	0.48		0.71	0.08	0.33	0.22	0.23	
Control Delay	69.9	19.5		81.6	13.0		67.5	45.6	9.0	48.6	12.2	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	
Total Delay	69.9	19.5		81.6	13.0		67.5	45.6	9.0	48.6	12.2	
LOS	E	B		F	B		E	D	A	D	B	
Approach Delay		20.1			17.3			42.3			26.7	
Approach LOS		C			B			D			C	
Queue Length 50th (ft)	18	361		98	284		163	25	0	47	5	
Queue Length 95th (ft)	46	415		162	327		#266	57	58	92	53	
Internal Link Dist (ft)		763			822			220			200	

Lanes, Volumes, Timings
 3: Deer Lake Road & Lake-Cook Road

5/2/2016

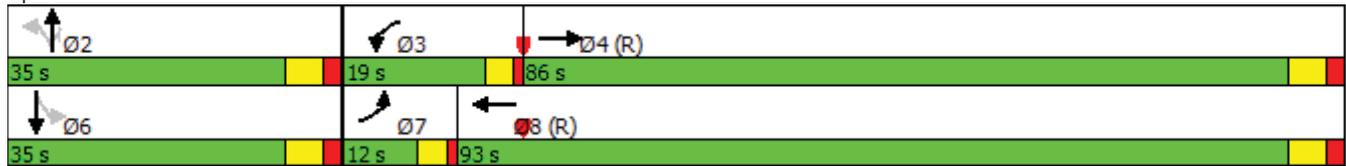


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)	275			345			135		75			
Base Capacity (vph)	101	2953		189	3512		268	406	444	283	400	
Starvation Cap Reductn	0	0		0	0		0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0		0	0	0	0	0	
Storage Cap Reductn	0	0		0	0		0	0	0	0	0	
Reduced v/c Ratio	0.20	0.60		0.58	0.48		0.71	0.08	0.33	0.22	0.23	

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 140
 Offset: 0 (0%), Referenced to phase 4:EBT and 8:WBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.71
 Intersection Signal Delay: 21.1
 Intersection LOS: C
 Intersection Capacity Utilization 67.0%
 ICU Level of Service C
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Deer Lake Road & Lake-Cook Road



HCM Unsignalized Intersection Capacity Analysis

8: Pfingsten Road & Estate Drive

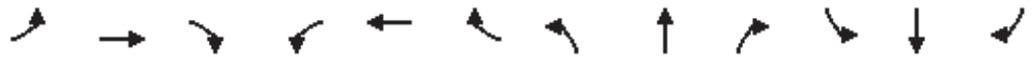
5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	11	1	19	85	2	50	25	505	13	11	499	8
Future Volume (Veh/h)	11	1	19	85	2	50	25	505	13	11	499	8
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	12	1	21	92	2	54	27	549	14	12	542	9
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)						3						
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	1197	1183	542	1190	1178	549	551			563		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	1197	1183	542	1190	1178	549	551			563		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	91	99	96	40	99	90	97			99		
cM capacity (veh/h)	141	182	540	153	183	535	1019			1008		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	NB 3	SB 1	SB 2	SB 3				
Volume Total	34	148	27	549	14	12	542	9				
Volume Left	12	92	27	0	0	12	0	0				
Volume Right	21	54	0	0	14	0	0	9				
cSH	262	242	1019	1700	1700	1008	1700	1700				
Volume to Capacity	0.13	0.61	0.03	0.32	0.01	0.01	0.32	0.01				
Queue Length 95th (ft)	11	91	2	0	0	1	0	0				
Control Delay (s)	20.7	42.6	8.6	0.0	0.0	8.6	0.0	0.0				
Lane LOS	C	E	A			A						
Approach Delay (s)	20.7	42.6	0.4			0.2						
Approach LOS	C	E										
Intersection Summary												
Average Delay			5.5									
Intersection Capacity Utilization			44.5%	ICU Level of Service	A							
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

12: Deer Lake Road & Estate Drive

5/2/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Volume (veh/h)	8	2	17	5	12	1	34	36	1	3	61	12
Future Volume (Veh/h)	8	2	17	5	12	1	34	36	1	3	61	12
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	9	2	18	5	13	1	37	39	1	3	66	13
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								522				
pX, platoon unblocked												
vC, conflicting volume	200	192	72	211	198	40	79			40		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	200	192	72	211	198	40	79			40		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	99	100	98	99	98	100	98			100		
cM capacity (veh/h)	732	684	990	716	679	1032	1519			1570		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	29	19	77	82								
Volume Left	9	5	37	3								
Volume Right	18	1	1	13								
cSH	868	701	1519	1570								
Volume to Capacity	0.03	0.03	0.02	0.00								
Queue Length 95th (ft)	3	2	2	0								
Control Delay (s)	9.3	10.3	3.7	0.3								
Lane LOS	A	B	A	A								
Approach Delay (s)	9.3	10.3	3.7	0.3								
Approach LOS	A	B										
Intersection Summary												
Average Delay			3.7									
Intersection Capacity Utilization			20.5%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

14: Deer Lake Road & Office Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	1	27	0	0	4	27	14	0	48	0
Future Volume (Veh/h)	0	0	1	27	0	0	4	27	14	0	48	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	0	1	29	0	0	4	29	15	0	52	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								648				
pX, platoon unblocked												
vC, conflicting volume	96	104	52	98	96	36	52			44		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	96	104	52	98	96	36	52			44		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	100	97	100	100	100			100		
cM capacity (veh/h)	884	784	1016	882	791	1036	1554			1564		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	1	29	48	52								
Volume Left	0	29	4	0								
Volume Right	1	0	15	0								
cSH	1016	882	1554	1564								
Volume to Capacity	0.00	0.03	0.00	0.00								
Queue Length 95th (ft)	0	3	0	0								
Control Delay (s)	8.5	9.2	0.6	0.0								
Lane LOS	A	A	A									
Approach Delay (s)	8.5	9.2	0.6	0.0								
Approach LOS	A	A										
Intersection Summary												
Average Delay			2.4									
Intersection Capacity Utilization			20.6%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

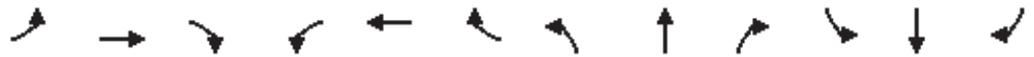
17: Deer Lake Road & Access Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	1	0	14	45	0	12	6	58	7	0	83	0
Future Volume (Veh/h)	1	0	14	45	0	12	6	58	7	0	83	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	1	0	15	49	0	13	7	63	8	0	90	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								280				
pX, platoon unblocked												
vC, conflicting volume	148	175	45	141	171	36	90			71		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	148	175	45	141	171	36	90			71		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	99	94	100	99	100			100		
cM capacity (veh/h)	792	714	1015	800	718	1029	1503			1527		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	SB 1	SB 2						
Volume Total	16	62	38	40	45	45						
Volume Left	1	49	7	0	0	0						
Volume Right	15	13	0	8	0	0						
cSH	997	839	1503	1700	1527	1700						
Volume to Capacity	0.02	0.07	0.00	0.02	0.00	0.03						
Queue Length 95th (ft)	1	6	0	0	0	0						
Control Delay (s)	8.7	9.6	1.4	0.0	0.0	0.0						
Lane LOS	A	A	A									
Approach Delay (s)	8.7	9.6	0.7		0.0							
Approach LOS	A	A										
Intersection Summary												
Average Delay			3.2									
Intersection Capacity Utilization			23.1%		ICU Level of Service				A			
Analysis Period (min)			15									

Lanes, Volumes, Timings
3: Deer Lake Road & Lake-Cook Road

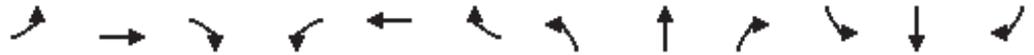
5/2/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↘	↕↕↕		↘	↕↕↕		↘	↕	↗	↘	↕	↗
Traffic Volume (vph)	134	1357	206	168	1411	172	215	39	191	170	38	139
Future Volume (vph)	134	1357	206	168	1411	172	215	39	191	170	38	139
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	2000	1900	1900	1900	1900
Storage Length (ft)	275		0	345		225	135		75	0		0
Storage Lanes	1		0	1		0	1		1	1		0
Taper Length (ft)	150			135			25			25		
Lane Util. Factor	1.00	0.91	0.91	1.00	0.91	0.91	1.00	1.00	1.00	1.00	1.00	1.00
Frt		0.980			0.984				0.850		0.882	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	4984	0	1770	5004	0	1770	1961	1583	1770	1643	0
Flt Permitted	0.950			0.950			0.511			0.730		
Satd. Flow (perm)	1770	4984	0	1770	5004	0	952	1961	1583	1360	1643	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		31			23				201		122	
Link Speed (mph)		30			30			30			30	
Link Distance (ft)		843			902			300			280	
Travel Time (s)		19.2			20.5			6.8			6.4	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Shared Lane Traffic (%)												
Lane Group Flow (vph)	141	1645	0	177	1666	0	226	41	201	179	186	0
Turn Type	Prot	NA		Prot	NA		Perm	NA	Perm	Perm	NA	
Protected Phases	7	4		3	8			2			6	
Permitted Phases							2		2	6		
Detector Phase	7	4		3	8		2	2	2	6	6	
Switch Phase												
Minimum Initial (s)	4.0	4.0		4.0	4.0		4.0	4.0	4.0	4.0	4.0	
Minimum Split (s)	8.0	22.0		8.5	22.0		22.0	22.0	22.0	22.0	22.0	
Total Split (s)	22.0	80.0		22.0	80.0		38.0	38.0	38.0	38.0	38.0	
Total Split (%)	15.7%	57.1%		15.7%	57.1%		27.1%	27.1%	27.1%	27.1%	27.1%	
Yellow Time (s)	3.0	4.0		3.0	4.0		4.0	4.0	4.0	4.0	4.0	
All-Red Time (s)	1.0	2.0		1.0	2.0		2.0	2.0	2.0	2.0	2.0	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	
Total Lost Time (s)	4.0	6.0		4.0	6.0		6.0	6.0	6.0	6.0	6.0	
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Max		None	C-Max		Max	Max	Max	Max	Max	
Act Effect Green (s)	15.3	75.1		16.9	76.7		32.0	32.0	32.0	32.0	32.0	
Actuated g/C Ratio	0.11	0.54		0.12	0.55		0.23	0.23	0.23	0.23	0.23	
v/c Ratio	0.73	0.61		0.83	0.61		1.04	0.09	0.39	0.58	0.40	
Control Delay	81.4	23.3		89.9	22.6		124.0	43.4	7.9	56.5	19.2	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	
Total Delay	81.4	23.3		89.9	22.6		124.0	43.4	7.9	56.5	19.2	
LOS	F	C		F	C		F	D	A	E	B	
Approach Delay		27.9			29.1			67.1			37.5	
Approach LOS		C			C			E			D	
Queue Length 50th (ft)	125	367		158	365		~221	30	0	146	47	
Queue Length 95th (ft)	198	416		#274	424		#392	63	64	230	119	
Internal Link Dist (ft)		763			822			220			200	

Lanes, Volumes, Timings
 3: Deer Lake Road & Lake-Cook Road

5/2/2016

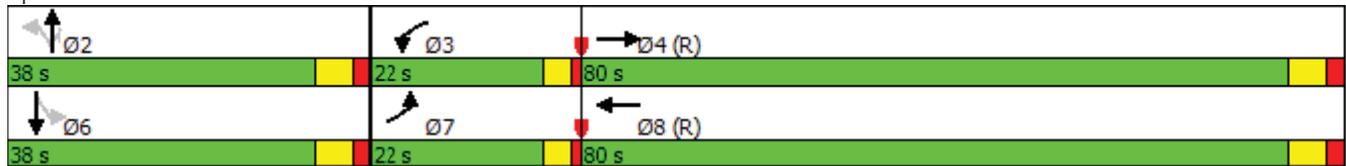


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)	275			345			135		75			
Base Capacity (vph)	227	2688		227	2750		217	448	516	310	469	
Starvation Cap Reductn	0	0		0	0		0	0	0	0	0	0
Spillback Cap Reductn	0	0		0	0		0	0	0	0	0	0
Storage Cap Reductn	0	0		0	0		0	0	0	0	0	0
Reduced v/c Ratio	0.62	0.61		0.78	0.61		1.04	0.09	0.39	0.58	0.40	

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 140
 Offset: 0 (0%), Referenced to phase 4:EBT and 8:WBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 1.04
 Intersection Signal Delay: 33.3
 Intersection LOS: C
 Intersection Capacity Utilization 80.9%
 ICU Level of Service D
 Analysis Period (min) 15
 ~ Volume exceeds capacity, queue is theoretically infinite.
 Queue shown is maximum after two cycles.
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Deer Lake Road & Lake-Cook Road



HCM Unsignalized Intersection Capacity Analysis

8: Pfingsten Road & Estate Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	8	0	16	41	2	88	17	372	32	70	330	3
Future Volume (Veh/h)	8	0	16	41	2	88	17	372	32	70	330	3
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	8	0	17	43	2	93	18	392	34	74	347	3
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)						3						
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	970	957	347	940	926	392	350			426		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	970	957	347	940	926	392	350			426		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	96	100	98	81	99	86	99			93		
cM capacity (veh/h)	186	237	696	223	247	657	1209			1133		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	NB 3	SB 1	SB 2	SB 3				
Volume Total	25	138	18	392	34	74	347	3				
Volume Left	8	43	18	0	0	74	0	0				
Volume Right	17	93	0	0	34	0	0	3				
cSH	371	688	1209	1700	1700	1133	1700	1700				
Volume to Capacity	0.07	0.20	0.01	0.23	0.02	0.07	0.20	0.00				
Queue Length 95th (ft)	5	19	1	0	0	5	0	0				
Control Delay (s)	15.4	15.8	8.0	0.0	0.0	8.4	0.0	0.0				
Lane LOS	C	C	A			A						
Approach Delay (s)	15.4	15.8	0.3			1.5						
Approach LOS	C	C										
Intersection Summary												
Average Delay			3.2									
Intersection Capacity Utilization			41.6%	ICU Level of Service	A							
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

12: Deer Lake Road & Estate Drive

5/2/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Volume (veh/h)	5	18	56	9	16	0	105	38	4	7	47	2
Future Volume (Veh/h)	5	18	56	9	16	0	105	38	4	7	47	2
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	5	19	59	9	17	0	111	40	4	7	49	2
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								522				
pX, platoon unblocked												
vC, conflicting volume	336	330	50	396	329	42	51			44		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	336	330	50	396	329	42	51			44		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	99	97	94	98	97	100	93			100		
cM capacity (veh/h)	568	545	1018	487	545	1029	1555			1564		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	83	26	155	58								
Volume Left	5	9	111	7								
Volume Right	59	0	4	2								
cSH	817	524	1555	1564								
Volume to Capacity	0.10	0.05	0.07	0.00								
Queue Length 95th (ft)	8	4	6	0								
Control Delay (s)	9.9	12.2	5.5	0.9								
Lane LOS	A	B	A	A								
Approach Delay (s)	9.9	12.2	5.5	0.9								
Approach LOS	A	B										
Intersection Summary												
Average Delay			6.4									
Intersection Capacity Utilization			26.2%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

14: Deer Lake Road & Office Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	4	13	0	1	6	28	9	0	39	0
Future Volume (Veh/h)	0	0	4	13	0	1	6	28	9	0	39	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	0	0	4	14	0	1	6	29	9	0	41	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type							None			None		
Median storage (veh)												
Upstream signal (ft)							648					
pX, platoon unblocked												
vC, conflicting volume	88	91	41	90	86	34	41			38		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	88	91	41	90	86	34	41			38		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	100	98	100	100	100			100		
cM capacity (veh/h)	895	796	1030	888	801	1040	1568			1572		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	4	15	44	41								
Volume Left	0	14	6	0								
Volume Right	4	1	9	0								
cSH	1030	897	1568	1572								
Volume to Capacity	0.00	0.02	0.00	0.00								
Queue Length 95th (ft)	0	1	0	0								
Control Delay (s)	8.5	9.1	1.0	0.0								
Lane LOS	A	A	A									
Approach Delay (s)	8.5	9.1	1.0	0.0								
Approach LOS	A	A										
Intersection Summary												
Average Delay				2.1								
Intersection Capacity Utilization				21.4%	ICU Level of Service							A
Analysis Period (min)				15								

HCM Unsignalized Intersection Capacity Analysis

17: Deer Lake Road & Access Drive

5/2/2016



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔	↔		↔			↔			↔	
Traffic Volume (veh/h)	2	1	188	55	1	9	144	136	65	8	104	0
Future Volume (Veh/h)	2	1	188	55	1	9	144	136	65	8	104	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	2	1	198	58	1	9	152	143	68	8	109	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								280				
pX, platoon unblocked												
vC, conflicting volume	510	640	54	750	606	106	109			211		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	510	640	54	750	606	106	109			211		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	80	74	100	99	90			99		
cM capacity (veh/h)	405	350	1001	220	366	929	1479			1357		
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2					
Volume Total	3	198	68	224	140	62	54					
Volume Left	2	0	58	152	0	8	0					
Volume Right	0	198	9	0	68	0	0					
cSH	384	1001	247	1479	1700	1357	1700					
Volume to Capacity	0.01	0.20	0.28	0.10	0.08	0.01	0.03					
Queue Length 95th (ft)	1	18	27	9	0	0	0					
Control Delay (s)	14.4	9.5	25.1	5.5	0.0	1.0	0.0					
Lane LOS	B	A	D	A		A						
Approach Delay (s)	9.6		25.1	3.4		0.5						
Approach LOS	A		D									
Intersection Summary												
Average Delay			6.6									
Intersection Capacity Utilization			31.6%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

21: Access Drive & Estate Drive

5/2/2016



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Volume (veh/h)	54	39	71	52	49	25
Future Volume (Veh/h)	54	39	71	52	49	25
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	57	41	75	55	52	26
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			98			78
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			98			78
tC, single (s)			4.1			6.2
tC, 2 stage (s)						
tF (s)			2.2			3.3
p0 queue free %			95			97
cM capacity (veh/h)			1495			983
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	98	130	78			
Volume Left	0	75	52			
Volume Right	41	0	26			
cSH	1700	1495	751			
Volume to Capacity	0.06	0.05	0.10			
Queue Length 95th (ft)	0	4	9			
Control Delay (s)	0.0	4.5	10.3			
Lane LOS			A		B	
Approach Delay (s)	0.0	4.5	10.3			
Approach LOS			B			
Intersection Summary						
Average Delay			4.6			
Intersection Capacity Utilization			24.2%	ICU Level of Service		A
Analysis Period (min)			15			

Lanes, Volumes, Timings 3: Deer Lake Road & Lake-Cook Road

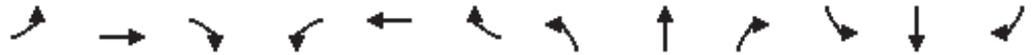
5/2/2016



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↗↗↗		↖	↗↗↗		↖	↑	↗	↖	↗	
Traffic Volume (vph)	58	1530	133	101	1561	72	176	37	135	107	12	119
Future Volume (vph)	58	1530	133	101	1561	72	176	37	135	107	12	119
Ideal Flow (vphpl)	1900	1900	1900	1900	2000	1900	1900	2000	1900	1900	1900	1900
Storage Length (ft)	275		0	345		225	135		75	0		0
Storage Lanes	1		0	1		0	1		1	1		0
Taper Length (ft)	150			135			25			25		
Lane Util. Factor	1.00	0.91	0.91	1.00	0.91	0.91	1.00	1.00	1.00	1.00	1.00	1.00
Frt		0.988			0.993				0.850		0.864	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1770	5024	0	1770	5315	0	1770	1961	1583	1770	1609	0
Flt Permitted	0.950			0.950			0.595			0.732		
Satd. Flow (perm)	1770	5024	0	1770	5315	0	1108	1961	1583	1364	1609	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		17			8				142		125	
Link Speed (mph)		30			30			30			30	
Link Distance (ft)		419			902			300			280	
Travel Time (s)		9.5			20.5			6.8			6.4	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Shared Lane Traffic (%)												
Lane Group Flow (vph)	61	1751	0	106	1719	0	185	39	142	113	138	0
Turn Type	Prot	NA		Prot	NA		Perm	NA	Perm	Perm	NA	
Protected Phases	7	4		3	8			2				6
Permitted Phases							2		2	6		
Detector Phase	7	4		3	8		2	2	2	6		6
Switch Phase												
Minimum Initial (s)	4.0	4.0		4.0	4.0		4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	8.0	22.0		8.5	22.0		22.0	22.0	22.0	22.0	22.0	22.0
Total Split (s)	19.0	86.0		19.0	86.0		35.0	35.0	35.0	35.0	35.0	35.0
Total Split (%)	13.6%	61.4%		13.6%	61.4%		25.0%	25.0%	25.0%	25.0%	25.0%	25.0%
Yellow Time (s)	3.0	4.0		3.0	4.0		4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	1.0	2.0		1.0	2.0		2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.0	6.0		4.0	6.0		6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Max		None	C-Max		Max	Max	Max	Max	Max	Max
Act Effect Green (s)	10.2	82.2		12.8	86.9		29.0	29.0	29.0	29.0	29.0	29.0
Actuated g/C Ratio	0.07	0.59		0.09	0.62		0.21	0.21	0.21	0.21	0.21	0.21
v/c Ratio	0.48	0.59		0.66	0.52		0.81	0.10	0.32	0.40	0.32	0.32
Control Delay	73.7	19.4		80.5	16.2		79.0	45.8	9.0	53.0	11.7	11.7
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	73.7	19.4		80.5	16.2		79.0	45.8	9.0	53.0	11.7	11.7
LOS	E	B		F	B		E	D	A	D	B	B
Approach Delay		21.2			19.9			48.3				30.3
Approach LOS		C			B			D				C
Queue Length 50th (ft)	54	356		94	316		162	29	0	90	10	10
Queue Length 95th (ft)	101	412		159	384		#290	62	57	153	67	67
Internal Link Dist (ft)		339			822			220				200

Lanes, Volumes, Timings
 3: Deer Lake Road & Lake-Cook Road

5/2/2016

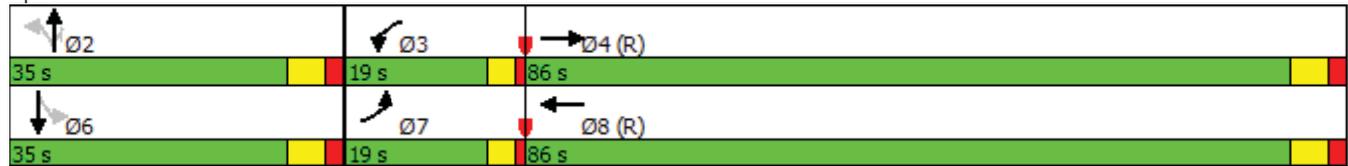


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Turn Bay Length (ft)	275			345			135		75			
Base Capacity (vph)	189	2958		189	3300		229	406	440	282	432	
Starvation Cap Reductn	0	0		0	0		0	0	0	0	0	
Spillback Cap Reductn	0	0		0	0		0	0	0	0	0	
Storage Cap Reductn	0	0		0	0		0	0	0	0	0	
Reduced v/c Ratio	0.32	0.59		0.56	0.52		0.81	0.10	0.32	0.40	0.32	

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 140
 Offset: 0 (0%), Referenced to phase 4:EBT and 8:WBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.81
 Intersection Signal Delay: 23.5
 Intersection LOS: C
 Intersection Capacity Utilization 74.2%
 ICU Level of Service D
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Deer Lake Road & Lake-Cook Road



HCM Unsignalized Intersection Capacity Analysis

8: Pfingsten Road & Estate Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	11	1	19	95	2	68	25	520	13	29	514	8
Future Volume (Veh/h)	11	1	19	95	2	68	25	520	13	29	514	8
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	12	1	20	100	2	72	26	547	14	31	541	8
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)						3						
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	1239	1216	541	1222	1210	547	549			561		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	1239	1216	541	1222	1210	547	549			561		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	90	99	96	30	99	87	97			97		
cM capacity (veh/h)	125	171	541	143	172	537	1021			1010		
Direction, Lane #	EB 1	WB 1	NB 1	NB 2	NB 3	SB 1	SB 2	SB 3				
Volume Total	33	174	26	547	14	31	541	8				
Volume Left	12	100	26	0	0	31	0	0				
Volume Right	20	72	0	0	14	0	0	8				
cSH	238	246	1021	1700	1700	1010	1700	1700				
Volume to Capacity	0.14	0.71	0.03	0.32	0.01	0.03	0.32	0.00				
Queue Length 95th (ft)	12	119	2	0	0	2	0	0				
Control Delay (s)	22.6	49.3	8.6	0.0	0.0	8.7	0.0	0.0				
Lane LOS	C	E	A			A						
Approach Delay (s)	22.6	49.3	0.4			0.5						
Approach LOS	C	E										
Intersection Summary												
Average Delay			7.1									
Intersection Capacity Utilization			46.1%	ICU Level of Service	A							
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

12: Deer Lake Road & Estate Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	8	12	41	5	12	1	58	36	1	3	61	12
Future Volume (Veh/h)	8	12	41	5	12	1	58	36	1	3	61	12
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	8	13	43	5	13	1	61	38	1	3	64	13
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage (veh)												
Upstream signal (ft)								522				
pX, platoon unblocked												
vC, conflicting volume	244	238	70	286	244	38	77			39		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	244	238	70	286	244	38	77			39		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	99	98	96	99	98	100	96			100		
cM capacity (veh/h)	675	636	992	607	631	1033	1522			1571		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	64	19	100	80								
Volume Left	8	5	61	3								
Volume Right	43	1	1	13								
cSH	846	637	1522	1571								
Volume to Capacity	0.08	0.03	0.04	0.00								
Queue Length 95th (ft)	6	2	3	0								
Control Delay (s)	9.6	10.8	4.7	0.3								
Lane LOS	A	B	A	A								
Approach Delay (s)	9.6	10.8	4.7	0.3								
Approach LOS	A	B										
Intersection Summary												
Average Delay			5.0									
Intersection Capacity Utilization			22.5%		ICU Level of Service					A		
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

14: Deer Lake Road & Office Drive

5/2/2016

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	1	27	0	0	4	27	14	0	48	0
Future Volume (Veh/h)	0	0	1	27	0	0	4	27	14	0	48	0
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	0	0	1	28	0	0	4	28	15	0	51	0
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type							None			None		
Median storage (veh)												
Upstream signal (ft)							648					
pX, platoon unblocked												
vC, conflicting volume	94	102	51	96	94	36	51			43		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	94	102	51	96	94	36	51			43		
tC, single (s)	7.1	6.5	6.2	7.1	6.5	6.2	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	100	100	97	100	100	100			100		
cM capacity (veh/h)	887	786	1017	885	793	1037	1555			1566		
Direction, Lane #	EB 1	WB 1	NB 1	SB 1								
Volume Total	1	28	47	51								
Volume Left	0	28	4	0								
Volume Right	1	0	15	0								
cSH	1017	885	1555	1566								
Volume to Capacity	0.00	0.03	0.00	0.00								
Queue Length 95th (ft)	0	2	0	0								
Control Delay (s)	8.5	9.2	0.6	0.0								
Lane LOS	A	A	A									
Approach Delay (s)	8.5	9.2	0.6	0.0								
Approach LOS	A	A										
Intersection Summary												
Average Delay			2.3									
Intersection Capacity Utilization			20.6%		ICU Level of Service				A			
Analysis Period (min)			15									

HCM Unsignalized Intersection Capacity Analysis

17: Deer Lake Road & Access Drive

5/2/2016

													
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR	
Lane Configurations													
Traffic Volume (veh/h)	1	0	86	45	0	12	78	82	7	0	107	0	
Future Volume (Veh/h)	1	0	86	45	0	12	78	82	7	0	107	0	
Sign Control		Stop			Stop			Free			Free		
Grade		0%			0%			0%			0%		
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	
Hourly flow rate (vph)	1	0	91	47	0	13	82	86	7	0	113	0	
Pedestrians													
Lane Width (ft)													
Walking Speed (ft/s)													
Percent Blockage													
Right turn flare (veh)													
Median type													
								None			None		
Median storage (veh)													
Upstream signal (ft)													
								280					
pX, platoon unblocked													
vC, conflicting volume	333	370	56	401	366	46	113			93			
vC1, stage 1 conf vol													
vC2, stage 2 conf vol													
vCu, unblocked vol	333	370	56	401	366	46	113			93			
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1			
tC, 2 stage (s)													
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2			
p0 queue free %	100	100	91	90	100	99	94			100			
cM capacity (veh/h)	564	527	998	464	530	1013	1474			1499			
Direction, Lane #	EB 1	EB 2	WB 1	NB 1	NB 2	SB 1	SB 2						
Volume Total	1	91	60	125	50	56	56						
Volume Left	1	0	47	82	0	0	0						
Volume Right	0	91	13	0	7	0	0						
cSH	564	998	526	1474	1700	1499	1700						
Volume to Capacity	0.00	0.09	0.11	0.06	0.03	0.00	0.03						
Queue Length 95th (ft)	0	8	10	4	0	0	0						
Control Delay (s)	11.4	9.0	12.7	5.1	0.0	0.0	0.0						
Lane LOS	B	A	B	A									
Approach Delay (s)	9.0		12.7	3.7		0.0							
Approach LOS	A		B										
Intersection Summary													
Average Delay			5.1										
Intersection Capacity Utilization			27.5%	ICU Level of Service		A							
Analysis Period (min)			15										

HCM Unsignalized Intersection Capacity Analysis

21: Access Drive & Estate Drive

5/2/2016



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Volume (veh/h)	37	18	24	58	28	24
Future Volume (Veh/h)	37	18	24	58	28	24
Sign Control	Free			Free	Stop	
Grade	0%			0%	0%	
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95
Hourly flow rate (vph)	39	19	25	61	29	25
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type	None			None		
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume			58	160		48
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol			58	160		48
tC, single (s)			4.1	6.4		6.2
tC, 2 stage (s)						
tF (s)			2.2	3.5		3.3
p0 queue free %			98	96		98
cM capacity (veh/h)			1546	818		1020
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	58	86	54			
Volume Left	0	25	29			
Volume Right	19	0	25			
cSH	1700	1546	901			
Volume to Capacity	0.03	0.02	0.06			
Queue Length 95th (ft)	0	1	5			
Control Delay (s)	0.0	2.2	9.3			
Lane LOS			A			
Approach Delay (s)	0.0	2.2	9.3			
Approach LOS			A			
Intersection Summary						
Average Delay			3.5			
Intersection Capacity Utilization			21.0%	ICU Level of Service		A
Analysis Period (min)			15			



Deerfield-Bannockburn Fire Protection District

Bureau of Fire Prevention

500 Waukegan Road • Deerfield, Illinois 60015 • (847) 945-4088 • Fax (847) 945-8951

May 11, 2016

Dan Uebelhor
InSite Real Estate, LLC
1400 16th Street, Suite 300
Oak Brook, Illinois 60523-8854

RE: Site Plan Review for Portillo's 700 Lake Cook Road Deerfield

Dear Mr. Uebelhor:

The Fire Prevention Bureau has completed the site plan review for the proposed premises using the International Building Code 2012 Edition and adopted local ordinances. The preliminary site plans are approved as submitted as long as the following conditions are met:

1. Per local ordinance, the building shall be equipped with an automatic sprinkler system. The fire department connection for this system shall be located on the street side of the building within 100 feet of a municipal fire hydrant, in a location approved by the authority having jurisdiction.

This letter does not preclude the possibility that corrections or additions may have to be made during the actual construction phase. Any changes in approved plans are subject to as-built plans being submitted to the local Fire Department.

If you have any questions, or would like to set up a meeting, please do not hesitate to contact us.

Have a safe day,

Brian McCarthy
Fire Marshal

Cc: Village of Deerfield

REQUEST FOR BOARD ACTION

Agenda Item: 16-50

Subject: Report and Recommendation of the Plan Commission re: Request for a Special Use for a New Outdoor Patio for Menchies at 775 Waukegan Road, Unit 170A in Deerfield Village Centre

Action Requested: Approval for Recommendation

Originated by: Plan Commission

Referred to: Mayor and Board of Trustees

Summary of Background and Reason for Request:

The petitioners are requesting approval to allow a Special Use for a new outdoor patio area. Currently, there is no outdoor seating area. The proposed outdoor seating area will have 3 tables and will seat approximately 9 people at the front (east) of the store and 4 four additional tables (seating approximately 12 people) at the south building elevation for a total seating area to accommodate 21 people. The proposed outdoor seating area will be located adjacent to the restaurant front entrance (east) wall and south building wall in the current concrete area on the east and south side of the building. The Plan Commission is recommending approval of the plans.

Reports and Documents Attached:

Recommendation
Public Hearing Minutes 4/28/16
Workshop Minutes 4/28/16
Aerial Photo
Zoning Map
Petitioner's Materials

Date Referred to Board: May 16, 2016

Action Taken: _____

RECOMMENDATION

TO: Mayor and Board of Trustees

FROM: Plan Commission

DATE: April 28, 2016

RE: Request for Approval of a Special Use to establish outdoor seating area Menchie's Frozen Yogurt at 775 Waukegan Road, Suite 170A in Deerfield Centre.

We transmit for your consideration a recommendation adopted by the Plan Commission of the Village of Deerfield on the request of the petitioners for a Special Use for an outdoor seating area for Menchie's Frozen Yogurt. The Plan Commission held a public hearing on April 28, 2015. At that public hearing, the petitioners presented testimony and documentary evidence in support of the request. A copy of the public hearing and workshop minutes are attached.

In support of its request, the Plan Commission makes the following findings of fact and conclusions:

FINDINGS OF FACT

Subject Property

The subject property consists of the Deerfield Village Centre development at the southeast corner of Deerfield Road and Waukegan Road. The property is zoned C-1 Village Center District and was approved as a commercial PUD. The Deerfield Village Centre development consists of five buildings: retail building #1 on the corner; retail building #2 along Deerfield Road (with residential above the first floor); retail building #3 north of the bike shop; First Midwest Bank; and the Deerfield Cyclery. The setbacks, access points, lot coverage, open space, number of parking spaces, site landscaping, parking lot lighting, trash areas, and storm water management for this commercial Planned Unit Development were previously approved. Ordinance O-99-34 approved the original Deerfield Centre Planned Unit Development. Vehicular access to the development is via a signalized access point on Deerfield Road, a signalized access point on Waukegan Road, and a right in/right out access point on Waukegan Road.

Proposed Plan

The petitioners are requesting approval of an outdoor seating area for Menchie's located at 775 Waukegan Road, Suite 170A in Deerfield Village Centre. The existing 1,300 square foot frozen yogurt restaurant is located at the south end of the west building section along Waukegan Road. Currently, there is no outdoor seating area. The proposed outdoor seating area will have 3 tables and will seat approximately 9 people at the front (east) of the store and 4 four additional tables (seating approximately 12 people) at the south building

elevation for a total seating area to accommodate 21 people. The proposed outdoor seating area will be located adjacent to the restaurant front entrance (east) wall and south building wall in the current concrete area on the east and south side of the building. The sidewalk on which the outdoor seating area is to be located is curbed. No umbrellas are being proposed for the outdoor seating area.

There will be two new temporary (seasonal) trash receptacles in the outdoor seating area. This business does not serve alcohol; therefore no alcohol will be served in the outdoor seating area.

The petitioners have provided information (manufacturer specifications) regarding the tables, seats, and trash receptacles to be used for the outdoor seating area - the furniture displayed in the pictures submitted by the petitioners is the furniture they are proposing to utilize. The petitioners have indicated that in late fall the outdoor furniture will be removed from the patio and stored either within the store or at an off-site storage facility.

Zoning Conformance

Outdoor seating areas require Special Use approval according to Article 5.01-G, 2.,b. Other outdoor seating areas, and with no alcohol sales, approved by the Village include MOD Pizza and Baja Fresh (now Noodles and Company) in Deerbrook Shopping Center.

The petitioners are seeking approval of a Special Use for the proposed outdoor seating area for Menchies Restaurant at 775 Waukegan Road, Suite 170A. Outdoor seating areas can count toward the parking requirement if the Village believes it is necessary.

Parking for Deerfield Center PUD

The Following Parking Data For This Development Is For Background Information

When required parking in this commercial PUD is calculated on a use by use basis (with no accounting for approved shared parking in the development), approximately the following number of parking spaces are required for all the uses in Deerfield Centre:

14 spaces for the Seta Salon
23 spaces for the Deerfield Cyclery
113 spaces for First Midwest Bank, and 2nd Floor office uses above the corner building
100 spaces for apartments
21 spaces for Starbucks
56 spaces for Bobby's Restaurant
38 spaces for Chipotle
10 spaces for Kidsnips hair salon
154 spaces for other retail and services uses in the development
529 spaces total

At the time the Deerfield Centre Planned Unit Development was approved, parking for the development was approved at 5 per 1,000 square feet of gross floor area for retail (i.e., 1 parking space per 200 square feet of floor area) and 4 per 1,000 square feet of gross floor area for office (i.e., parking space per 250 square feet of floor area) with a 15% reduction for storage areas in the buildings. With a 15% reduction for storage areas, a total of 405 parking spaces were required by code for the subject property, which was determined as follows:

Retail:

New: $44,776 \text{ s.f.} \times .85 = 38,059.6/200 = 190.29 \text{ spaces}$
Existing (Schwinn): $3,572 \text{ s.f.} \times .85 = 3,036.2/200 = 15.18 \text{ spaces}$
Future (Schwinn addition): $972 \text{ s.f.} \times .85 = 826.2/200 = 4.13 \text{ spaces}$
Total Retail: 209.6 spaces

Office:

New: $20,286 \text{ s.f.} \times .85 = 17,243.1/250 = 68.97 \text{ spaces}$
Existing (Bank): $7,652 \times .85 = 6,504.2/250 = 26.01 \text{ spaces}$
Total Office: 94.98 spaces

Residential (56 total apartment units):

24 (one bedroom) $\times 1.5 = 36 \text{ spaces}$
32 (two bedroom) $\times 1.5 = 64 \text{ spaces}$
Total Residential: 100 spaces

Total:

$209.6 \text{ (retail)} + 94.98 \text{ (office)} + 100 \text{ (residential)} = 404.45 = 405 \text{ spaces required with a 15\% reduction based on retail, office, and residential uses.}$

The approved site plan for Deerfield Village Centre provided a total of 371 parking spaces on the subject property (279 at grade spaces for the commercial uses and 92 indoor spaces for the apartments for a total of 371 spaces for the development). The Deerfield Centre development was short 34 spaces when it was approved (405 spaces required - 371 spaces provided = 34 spaces short). Of the 34 spaces short in the Deerfield Centre development, 26 spaces were for the commercial portion of the development and 8 spaces were for the residential portion of the development.

At the time this development was approved, Ordinance O-99-34 granted a parking variation to allow for 371 spaces. The variation was a reduction in the amount of required parking to reflect the varying peak hour demands for the different uses in the development. In other words, when Deerfield Centre was approved, the various uses in the development were to share parking. The amount of parking for the different mix of uses in the development will vary throughout the day as the different uses in the development will have varying peak hour demands.

Signage

No signage changes or additional signage are proposed for the proposed outdoor seating area for Menchie's Frozen Yogurt.

Appearance Review Commission

The ARC has reviewed and approved the outdoor seating area.

CONCLUSIONS

Compatible with Existing Development

The Plan Commission believes that the proposed outdoor seating patio will be compatible with existing development and should not impede the orderly development and improvement of surrounding properties. The Plan Commission believes that the proposed outdoor seating area will be a nice amenity to the shopping center and to the Village Centre. It will help to activate the sidewalk in this area. They believe the proposed outdoor seating area is a good and appropriate use of the property and will be compatible with the existing development in the area. The sidewalks are wide enough in this area to adequately accommodate an outside seating area for the frozen yogurt store and not impact other pedestrians using the sidewalk.

Lot of Sufficient Size

The Plan Commission believes the subject property is of sufficient size for the proposed use. The Plan Commission believes that property is suitable for the proposed use and will not create a negative impact on surrounding properties.

Traffic

The Plan Commission believes that the proposed use will not create any traffic problems on the subject property and should not have an adverse impact on surrounding properties. The outdoor seating area will be an amenity for the customers who are coming to the store. The proposed outdoor seating area should not significantly increase traffic volumes in the area.

Parking and Access

The Plan Commission believes that parking will be adequate for the outdoor seating area. They believe the addition of an outdoor seating for this frozen yogurt store will not create a parking problem in the area. They believe the outdoor seating area is a nice amenity that doesn't need to be counted in the required parking for the center.

The access points to this commercial PUD development will not be changed as a result of the proposed outdoor seating area.

Effect on Neighborhood

The Plan Commission believes the proposed outdoor seating should not be significantly or materially detrimental to the health, safety, or welfare of the public or injurious to the other property or improvements in the neighborhood nor should it diminish or impair property values in the surrounding area. The Plan Commission believes the proposed use will not have an adverse impact on surrounding properties. The Plan Commission believes that the patrons of the restaurant will find the outdoor seating area a nice amenity to the yogurt store and at the bring activity to the sidewalk in this area of the shopping center.

Adequate Facilities

Adequate facilities (utilities, access roads) will be provided on the subject property.

Adequate Buffering

The Plan Commission believes that the existing buffering on the subject property is adequate.

RECOMMENDATION

Accordingly, it is the recommendation of the Plan Commission that Menchie's Frozen Yogurt's request for a Special Use to permit the establishment of an outdoor seating area.

Ayes: (7) Benton, Berg, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays: (0) None

Respectfully submitted,
Mary Oppenheim, Chairperson
Deerfield Plan Commission

~~His office building especially if the restaurant uses their property as a cut through to get to Estate Drive. Mr. Hiton commented that when the subject property was used as a staging area during the Lake Cook Road project and dirt was stored on the site, a lot of silt and dirt flowed into their retention pond (the retention pond on 770 Lake Cook Road captures all of the storm water for the 700, 770 and 800 Lake Cook Road properties). Mr. Hiton noted that the pond has lost 4 inches in depth due to the dirt, silt and erosion over time and the fish and frogs that used to live in the pond have all perished. He is wondering how the storm water will be handled. Mr. Uebelhor commented that restaurant is set back 50 feet from the west property line and the existing building is setback approximately 41.7 feet from the west property line. Mr. Uebelhor commented that the height of the building will be 35 feet from the curb on Lake Cook Road but the actual height of the building is 30 feet while the top of the west wall sign is approximately 25 feet high. Commissioner Bromberg asked the petitioner to confirm that the sign facing the property to the west would not cast light onto the adjacent property. Mr. Uebelhor noted that the signs are internally lit with LED lights and give off a subtle glow. Chairperson Oppenheim commented that the Engineering Department will have to review the engineering plans to make sure that the pond will be of sufficient depth to handle the retention. Mr. Uebelhor commented that the improvements will greatly improve the grading and any erosion that was occurring in its current state. Mr. Uebelhor noted that they will not be changing any ingress or egress or access points on the subject property and the only site improvements will be to the parking lot reconstructing the existing curbs. The primary access from the subject property will have direct access to Estate Drive and their customer will not have to use the 770 Lake Cook Road property.~~

~~There being no further discussion a motion was made and seconded to close the public hearing.~~

- (2) Request for a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A in Deerfield Village Centre (former Orange Leaf space)

Mark and Linda Berlin, owners of Menchie's Frozen Yogurt, are requesting outdoor seating at their frozen yogurt store. The petitioner would like to put three tables and nine chairs at the east (storefront) elevation facing the parking lot. The distance between the store pillars is approximately 20 feet and the distance from the store window to the curb is approximately 11 feet. The petitioner is also requesting to put four tables and 12 chairs at their south building elevation. The distance between the brick pillars is approximately 25 feet, and the distance from the window to the curb is approximately 18-1/2 feet. The petitioner provided specifications of the tables, chairs and trash receptacles and noted these are the same tables and chairs that they use in the store. Mr. Berlin displayed a site plan with the placement of the tables, chairs and the trash cans. The petitioner plans to store the tables, chairs and trash cans in the store each night when the store closes and put them back out each morning when they open. Commissioner Benton asked how many tables and chairs would be covered by

the building's awnings. Mr. Berlin noted that they plan to place all of the table and chairs under the awnings. Mr. Berlin noted that their goal is to have their staff monitor the outside area to make sure the outdoor area is kept clean and all trash is removed. Chairperson Oppenheim noted that she is concerned about safety and the proximity of the outdoor seating area to the moving vehicles. A discussion ensued about the proximity of the outdoor seating area to the moving vehicles. Mr. Berlin noted that there is approximately 14-15 feet of pavement area between the tables and chairs to the road at the south elevation and on the east elevation parking stalls there is a curb and an 11 foot sidewalk. He noted that they are not sure if they will have one of two trash receptacles and this will depend on how much trash is being collected each day.

Mr. Berlin commented that they have been very appreciative of the business that they have received since opening on February 25th.

Chairperson Oppenheim asked staff if it was typical for outdoor furniture to be brought in and stored each night. Mr. Ryckaert said a lot of furniture stays out over night, but at the end of the season is removed. Mr. Berlin's concern for leaving the outdoor furniture out each night is that they don't have a way to secure them overnight. Some outdoor seating at other restaurants are secured with locks. Chairperson Oppenheim noted that there is no stipulation that the outdoor furniture must be stored indoors during the spring and summer months.

Commissioner Berg asked the petitioner why the window shades in the store are down most of the time. Mr. Berlin commented that they make it a point keeping the shades up but they are in a balancing act of keeping the store cooler while the warmth of the sun tends to melt the yogurt.

There being no further business to discuss the meeting adjourned.

Respectfully Submitted,

Dan Nakahara

relatively minor and is comforted by the preliminary traffic information provided by Mr. Aboona. She feels it is extremely important that they received a traffic study update even though the previous traffic study was relatively recent. As for the sign variations, she feels that the rationale given for the variations for the size and placement on the building makes sense. She understands that Lake Cook Road is a very busy road and realizes the importance of placing signage so that it can be seen. Commissioner Oppenheim finds the variations reasonable and is encouraged with the discussions that are happening with the ARC. She would love to see that the mural on the front of the building remains. She commented that it is extremely exciting to have this property developed and this will be an enhancement for the neighbors and she sees this as a positive for them.

Commissioner Jacoby motioned to approve a Special Use for a Portillo's Restaurant with Drive Thru at 700 Lake Cook Road (former On the Border Restaurant) which includes the south bumpout, the sign variations and a variation from Zoning Ordinance Article 5.02-C,1,k which requires that a drive-thru has "direct signalized access to an existing right-of-way." Commissioner Benton seconded the motion. The vote was as follows:

Ayes (7):Berg, Benton, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays (0):None

The item will be on the Board of Trustees agenda on May 16, 2016

(2) Discussion of a Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A

The Commissioners were in favor of the outdoor seating area for Menchie's and thought that this use is appropriate and reasonable for a yogurt store, and a nice amenity.

Commissioner Bromberg motioned to approve the Special Use for a New Outdoor Patio for Menchie's at 775 Waukegan Road, Unit 170A. Commissioner Berg seconded the motion. The vote was as follows:

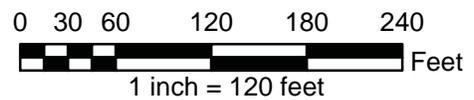
Ayes (7):Berg, Benton, Bromberg, Jacoby, Moyer, Shayman, Oppenheim
Nays (0):None

The item will be on the Board of Trustees agenda on May 16, 2016

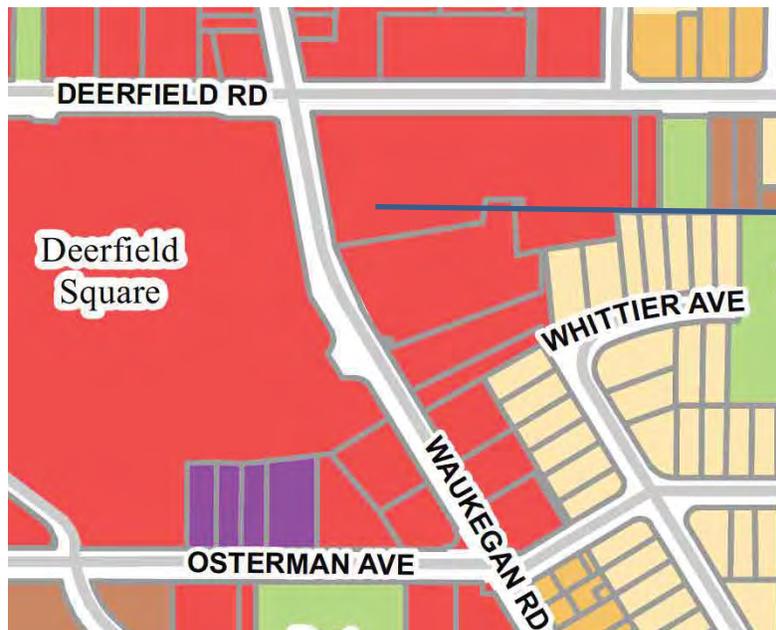
There being no further business to discuss the meeting adjourned.

Respectfully Submitted,
Dan Nakahara

Deerfield Village Centre



Village of Deerfield 2016 Zoning Ordinance Map



	R-1	SINGLE FAMILY DISTRICT ONE FAMILY DWELLINGS AND ACCESSORY USES
	R-2	SINGLE FAMILY DISTRICT SAME AS R-1
	R-3	SINGLE FAMILY DISTRICT SAME AS R-1
	R-4	SINGLE & TWO FAMILY ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	R-5	GENERAL RESIDENCE ONE FAMILY & TWO FAMILY DWELLINGS & ACCESSORY USES
	C-1	VILLAGE CENTER
	C-2	OUTLYING COMMERCIAL
	C-3	LIMITED COMMERCIAL OFFICE
	I-1	OFFICE, RESEARCH, RESTRICTED, INDUSTRY
	I-2	LIMITED INDUSTRIAL
	P-1	PUBLIC LANDS SCHOOLS, PARKS, PUBLIC BUILDINGS & CEMETERIES

Menchie's at Deerfield Village Centre

Patio Seating

As the franchise owners of the Menchie's Frozen Yogurt located at the Deerfield Village Centre, we are respectfully requesting approval for patio seating. We are proposing three tables be allowed at the front of the store with seating for approximately nine (9) guests. See Picture.

Front of Store

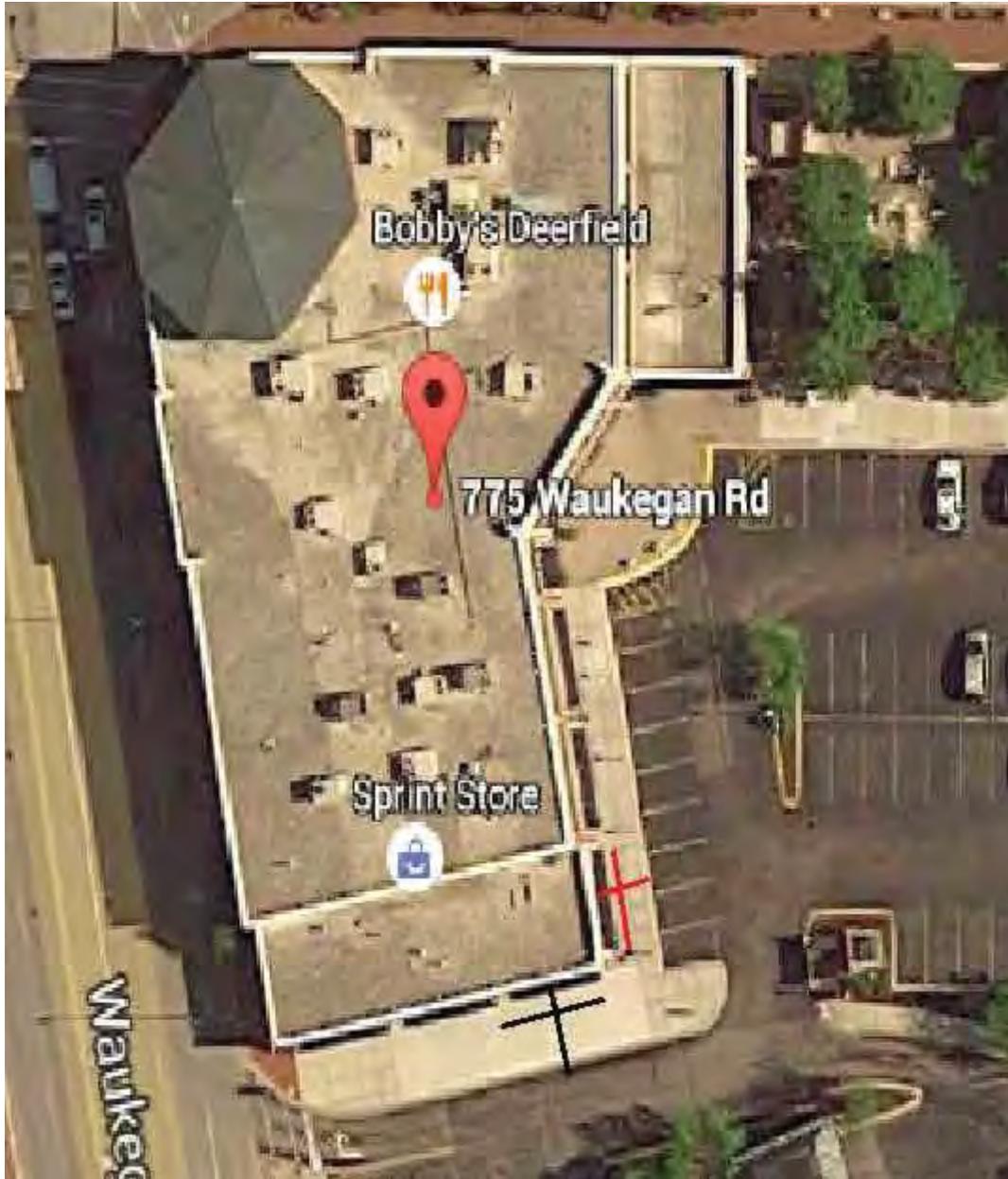


Since our location also has a southern exposure, we would like to offer four additional tables with seating for an additional sixteen guests. Our staff will be responsible for ensuring that all chairs and tables will be kept clean and when the store is closed, all outside tables and chairs will be located within the store. Also, we will have trash cans available for guests to dispose of their yogurt cups and spoons.

Chairs and tables will be stored either within the store or at an off-site storage facility in the late fall and winter months

Southern Exposure of Store



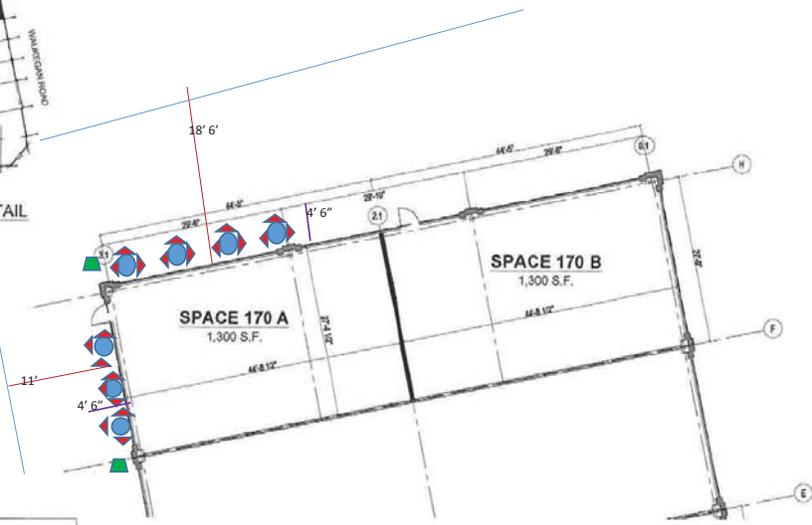


South Side of Store Facing Waukegan Road

From the Store window to service road it is 18'5". From the Pillar to Pillar it is 25'.

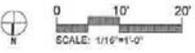
East Side of Store Facing Parking Lot

From Front of Door to Pillar it is 20'. From store window to Parking lot it is 11.'



NOTE:
 INFORMATION SHOWN IS BASED ON
 LIMITED SITE INVESTIGATION AND
 EXISTING DRAWINGS. INFORMATION
 SHOWN IS INTENDED TO GIVE A
 GENERAL UNDERSTANDING OF
 EXISTING CONDITIONS. ALL
 DIMENSIONS ARE APPROXIMATE.

LEASE PLAN - SPACE 170 A-B



-  Chair
-  Table
-  Trash Can

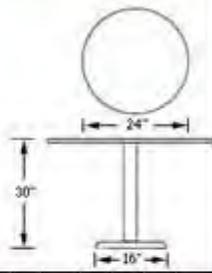
DEERFIELD VILLAGE CENTER
DEERFIELD, ILLINOIS

Table and Chair Manufacturere Specifications

SEATING **TABLES** SITE FURNISHING UMBRELLAS LOUNGERS INSTALLATIONS CONTACT US

emu BISTRO 24" DESIGN: C.R. EMU

ITEM #900 PATENTED
Outdoor/Indoor Table
Pedestal: Solid Steel
Column: Tubular Steel
Top: Steel
Weight Each: 26.9 lbs.
Polyster Coated

BISTRO COLLECTION

	W	GR	BK	AL	A/I	A/BL
						
						
						
						
						
						

30" 32" 32" BAR HEIGHT TABLE

24" 32" 28"

ZOOM

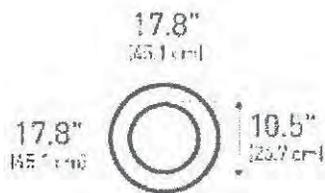


4000 Side Chair





80 litre



REQUEST FOR BOARD ACTION

Agenda Item: 16-44-1

Subject: Ordinance Authorizing Amending the Parkway North Center Sign Plan to Allow a Wall sign and Approval of the Final Development Plan for 7 Parkway North in the Parkway North Center – American Board of Psychiatry and Neurology (ABPN)

Action Requested: First Reading

Originated by: Plan Commission

Referred to: Mayor and Board of Trustees

Summary of Background and Reason for Request:

On May 2, 2016, the Board of Trustees accepted the Plan Commission's recommendation on the request to amend the Parkway North Center Sign Plan to allow a wall sign and approval of the Final Development Plan for 7 Parkway North in the Parkway North Center Planned Unit Development.

Reports and Documents Attached:

Ordinance

Date Referred to Board: May 16, 2016

Action Taken: _____

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN
FOR 7 PARKWAY NORTH IN THE PARKWAY NORTH CENTER
PLANNED UNIT DEVELOPMENT**

WHEREAS, the American Board of Psychiatry and Neurology (“ABPN” or the “Petitioner”), being the owner of a 2.84 acre tract of property known as 7 Parkway North and legally described on Exhibit A attached hereto (hereinafter referred to as “7 Parkway North” or the “Subject Property”), petitioned the Plan Commission of the Village of Deerfield for approval of: (1) a Final Development Plan for the Subject Property as a Special Use Planned Unit Development of the Subject Property in the Parkway North Center Planned Unit Development in the I-1 Office, Research and Restricted Industrial District, and (2) approval of an amendment to the Parkway North Center sign plan to allow a 90 square foot wall sign for the ABPN building proposed for the Subject Property, all pursuant to the provisions of the Parkway North Center Annexation Agreement and the provisions of Article 6.01-C, Paragraph 5, Article 12.08, Article 12.09 and Article 13.11 of the Zoning Ordinance of the Village of Deerfield, as amended; and,

WHEREAS, the Plan Commission of the Village of Deerfield held a public hearing on April 14, 2016 to consider: (1) the Final Development Plan for 7 Parkway North as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District, and (2) an amendment to the Parkway North Center sign plan to allow a 90 square foot wall sign for the ABPN building proposed for the Subject Property, said hearing

conforming in all respects, in both manner and form, with the requirements of the Zoning Ordinance of the Village of Deerfield; and,

WHEREAS, the Plan Commission of the Village of Deerfield, after considering the 90 square foot wall sign for the ABPN building proposed for the Subject Property as an amendment to the approved Signage Plan for Parkway North Center, and the evidence and supporting materials offered at said public hearing, has filed its written report and recommendation with the President and Board of Trustees that a 90 square foot wall sign for the ABPN building as proposed for the Subject Property should be approved as an amendment to the approved signage plan for Parkway North Center in the I-1 Office, Research and Restricted Industrial District; and,

WHEREAS, the Plan Commission of the Village of Deerfield, after considering the Final Development Plan for the Subject Property and the evidence and supporting materials offered at said hearing, has submitted its written report and recommendations to the President and Board of Trustees of the Village of Deerfield that the Final Development Plan for 7 Parkway North, including the landbanking of 92 required parking spaces, is in substantial conformance with the previously approved Preliminary Development Plan for the Parkway North Center Planned Unit Development and should be approved as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District; and,

WHEREAS, the President and Board of Trustees of the Village of Deerfield are of the opinion that the 90 square foot wall sign for the ABPN building proposed for the Subject Property should be approved as an amendment to the approved signage plan for Parkway North Center to the extent provided herein, that the Final Development Plan for 7 Parkway North should be approved as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District to the extent provided herein, and that the

construction, development and use of the Subject Property should be authorized and permitted in accordance with the plans and documents attached hereto as Exhibit B hereof which comprise the Final Development Plan for the Subject Property as hereby authorized;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: That the President and Board of Trustees of the Village of Deerfield do hereby find that the Final Development Plan for 7 Parkway North fully complies with the requirements and standards set forth in Article 6.01-C, Paragraph 5, Article 12.08, Article 12.09 and Article 13.11 of the Zoning Ordinance of the Village of Deerfield and with the applicable provisions of the Parkway North Center Annexation Agreement.

SECTION 2: That the President and Board of Trustees of the Village of Deerfield do hereby authorize and approve an amendment to the approved signage plan for Parkway North Center as an amendment to the Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District to permit a 90 square foot wall sign for the ABPN building as proposed for the Subject Property, subject to the conditions, regulations and restrictions set forth in Section 4 of this Ordinance.

SECTION 3: That the President and Board of Trustees do hereby authorize and approve the Final Development Plan for 7 Parkway North Center PUD attached hereto and made a part hereof as Exhibit B to this Ordinance as a Special Use Planned Unit Development of the Subject Property in Parkway North Center Planned Unit Development in the I-1 Office, Research and Restricted Industrial District, subject to the conditions, regulations and restrictions set forth in Section 4 of this Ordinance.

SECTION 4: That approval and authorization of said Final Development Plan for 7 Parkway North and the amendment to the approved sign plan for Parkway North Center are hereby granted subject to the following conditions:

A. Construction, development, maintenance and use of the Subject Property shall be substantially in accordance with the documents, materials and exhibits comprising the Final Development Plan for the Subject Property attached hereto and made a part hereof as Exhibit B.

B. Except as otherwise expressly provided in this Ordinance or in the Final Development Plan, the construction, development and use of the Subject Property shall be in accordance with the Parkway North Center Annexation Agreement.

C. ABPN shall provide 58 parking spaces on the Subject Property, and shall landbank an additional 92 parking spaces as depicted in the Final Development Plan.

D. ABPN shall, upon sixty (60) days written notice from the Village, commence the process of installing additional parking spaces within the landbanked parking area pursuant to engineering plans to be submitted to and approved by the Village, and shall diligently pursue and complete the construction of such additional parking spaces not later than one (1) year after said written notice, if any, from the Village.

E. Compliance with all representations submitted and made by the Petitioner to the Plan Commission and to the President and Board of Trustees of the Village of Deerfield.

F. Continued compliance with all applicable provisions of the Zoning Ordinance of the Village of Deerfield.

SECTION 5: That the Final Development Plan hereby approved and authorized as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District, shall be binding upon and inure to the benefit of Petitioner's successors, grantees, transferees and assigns, and any violations of the conditions hereinabove set forth by Petitioner or its successors, grantees, transferees or assigns shall authorize the revocation of the Special Use hereby authorized, following notice and a reasonable opportunity to cure such violations.

SECTION 6: That the Village Clerk is hereby authorized and directed to record this Ordinance in the Office of the Recorder of Deeds of Lake County, Illinois at Petitioner's expense.

SECTION 7: That this Ordinance, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, this Ordinance shall supersede state law in that regard within its jurisdiction.

SECTION 7: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

EXHIBIT A – LEGAL DESCRIPTION

7 Parkway North
Deerfield, IL 60015

PIN: 16-31-101-050

LOT 2 IN PARKWAY NORTH CENTER RESUBDIVISION NO. 4, BEING A
RESUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 43
NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO
THE PLAT THEREOF RECORDED APRIL 25, 2013 AS DOCUMENT 6985836, IN LAKE
COUNTY, ILLINOIS.

Exhibit B

Documents Comprising the Final Development Plan For 7 Parkway North (American Board of Psychiatry and Neurology)

1. 1997 Approved Parkway North Preliminary Site Plan
2. Proposed Site and Improvement Plan, Sheet AS-101, by Perkins Eastman for ABPN New Office Building.
3. Landbanked Parking Site and Improvement Plan, Sheet AS-102, by Perkins Eastman for ABPN New Office Building.
4. View along entry drive looking northwest, ABPN Exterior Character – 23 March 2016.
5. View at entrance looking northwest, ABPN Exterior Character – 23 March 2016.
6. View along drive along west side of property, ABPN Exterior Character – 23 March 2016.
7. View from pond looking southwest, ABPN Exterior Character – 23 March 2016.
8. Building Elevations, Sheet A-200 and A-201, by Perkins Eastman for ABPN New Office Building.
9. Lower Level Floor Plan, Sheet A-100, by Perkins Eastman for ABPN New Office Building.
10. Level 1 Floor Plan, Sheet A-101, by Perkins Eastman for ABPN New Office Building.
11. Level 2 Floor Plan, Sheet A-102, by Perkins Eastman for ABPN New Office Building.
12. Building Sections, Sheet A-300, by Perkins Eastman for ABPN New Office Building.
13. Wall Sections, Sheet A-310, by Perkins Eastman for ABPN New Office Building.
14. Signage Elevations, Sheet AS-101C, by Perkins Eastman for ABPN New Office Building.
15. Signage Plans for ABPN depicting proposed ground monument sign and proposed wall sign, dated 22 March 2016.

16. Proposed Landscape and Lighting Plan, Sheet L-101-1, by Perkins Eastman for ABPN New Office Building.
17. Landbanked Parking Landscape Plan, Sheet L-102, by Perkins Eastman for ABPN New Office Building.
18. Plant List and Details, Sheet L-201, by Perkins Eastman for ABPN New Office Building.
19. Tree Preservation Plan, Sheet L-100, by Perkins Eastman for ABPN New Office Building.
20. Photometric Plan for American Board of Psychiatry and Neurology, dated 2-12-2016.
21. Site Grading Plan, Sheet C-4.0, by Perkins Eastman for ABPN New Office Building.
22. Site Utility Plan, Sheet C-3.0, by Perkins Eastman for ABPN New Office Building.
23. Exhibit C, Relocated Common Area Water Main Easement, by Eriksson Engineering, for ABPN New Project Building.
24. Exhibit D, Relocated Common Area Utility Easement, by Eriksson Engineering, for ABPN New Project Building.
25. Exhibit E, Amended Common Area Storm Sewer Easement, by Eriksson Engineering, for ABPN New Project Building.
26. Deerfield-Bannockburn Fire Protection District plan review letter for 7 Parkway North dated January 12, 2016.
27. American Board of Psychiatry and Neurology Traffic and Parking Study, dated March, 2016, by Eriksson Engineering.

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN
FOR 7 PARKWAY NORTH IN THE PARKWAY NORTH CENTER
PLANNED UNIT DEVELOPMENT**

**PASSED AND APPROVED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF DEERFIELD, LAKE
AND COOK COUNTIES, ILLINOIS, this**

_____ day of _____, 2016.

**Published in pamphlet form
by authority of the President
and Board of Trustees of the
Village of Deerfield, Lake and
Cook Counties, Illinois, this
_____ day of _____, 2016.**

REQUEST FOR BOARD ACTION

Agenda Item: 16-45-1

Subject: Ordinance Authorizing Amending the Shopper's Court Planned Unit Development to Permit Renovations to 636 Deerfield Road Building and Renovations to the Sidewalk at the West End of the Village Owned Parking Lot

Action Requested: First Reading

Originated by: Plan Commission

Referred to: Mayor and Board of Trustees

Summary of Background and Reason for Request:

On May 2, 2016, the Board of Trustees accepted the Plan Commission's recommendation on the request to amend the Shopper's Court Planned Unit Development to permit renovations to the 636 Deerfield Road building and allow renovations to the sidewalk at the west end of the Village owned Parking lot.

Reports and Documents Attached:

Ordinance

Memo and Plans from Petitioner RE: change to Shopper's Court north parking lot

Date Referred to Board: May 16, 2016

Action Taken: _____

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING AN AMENDMENT
TO THE DEERFIELD SHOPPERS COURT COMMERCIAL
PLANNED UNIT DEVELOPMENT TO PERMIT RENOVATIONS
TO THE 636 DEERFIELD ROAD BUILDING**

WHEREAS, the Plan Commission of the Village of Deerfield held a public hearing on April 14, 2016 on the application of Bensenville Associates, LLC (the “Applicant”), the owner of the property described on Exhibit A attached hereto and commonly known as 636 Deerfield Road (the “Subject Property”) for approval of an amendment to the Shoppers Court Commercial Planned Unit Development to permit the renovation of the 636 Deerfield Road building into a multi-tenant building, including changes to the sidewalk at the west end of the Village-owned municipal parking lot adjacent to the Subject Property to accommodate such renovations, all as more fully described on Exhibit B to this Ordinance, as an amended Special Use of the Subject Property in the C-1 Village Center District; and

WHEREAS, said public hearing was held pursuant to public notice duly given and published as required by statute and conforming in all respects, in both manner and form, with the Zoning Ordinance of the Village of Deerfield; and

WHEREAS, the Plan Commission of the Village of Deerfield, after considering the evidence, testimony and supporting materials offered at said public hearing, filed its report with the President and Board of Trustees containing its written findings of fact and recommendation that an amendment to the Deerfield Shoppers Court Commercial Planned Unit Development be

authorized and approved pursuant to Article 5.01-C, Paragraph 2, Subparagraph i. and Article 13.11 of the Zoning Ordinance of the Village of Deerfield as an amended Special Use of the Subject Property in the C-1 Village Center District, including permission for renovation to the sidewalk at the west end of the Village-owned parking lot to accommodate said renovations; and

WHEREAS, the President and Board of Trustees of the Village of Deerfield have determined that the proposed amendment to the Deerfield Shoppers Court Commercial Planned Unit Development to authorize and permit renovations to the 636 Deerfield Road building as a multi-tenant building, including renovations to the sidewalk at the west end of the Village-owned parking lot to accommodate said renovations, fully complies with the requirements and standards set forth in Article 5.01-C, Paragraph 2, Subparagraph i. and Article 13.11 of the Zoning Ordinance of the Village of Deerfield, and that the best interests of the Village will be served by the authorization and approval of said amendment to the Deerfield Shoppers Court Commercial Planned Unit Development as provided herein and in accordance with the plans and supporting materials submitted by the Applicant which are incorporated herein and made a part of this Ordinance by this reference;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: That the above and foregoing recitals, being material to this Ordinance, are hereby incorporated and made a part of this Ordinance as if fully set forth herein.

SECTION 2: That the President and Board of Trustees do hereby affirmatively find that the renovations proposed to the 636 Deerfield Road building as a multi-tenant building, including the proposed renovations to the sidewalk at the west end of the Village-owned parking lot to

accommodate said building renovations, hereby authorized as an amendment to Shoppers Court Commercial Planned Unit Development in the C-1 Village Center District, fully complies with the requirements and standards set forth in Article 5.01-C, Paragraph 2, Subparagraph i. and Article 13.11 of the Zoning Ordinance of the Village of Deerfield.

SECTION 3: That the President and Board of Trustees do hereby authorize and approve: (a) an amendment to the Deerfield Shoppers Court Commercial Planned Unit Development as an amended Special Use of the Subject Property in the C-1 Village Center District to permit the renovations of the 636 Deerfield Road building as a multi-tenant building, including renovations to the sidewalk at the west end of the Village-owned parking lot adjacent to the Subject Property to accommodate said building renovations; and (b) signage improvements including sign modifications to allow two (2) building identification sign including a height variation, and proposed signage criteria for the 636 Deerfield Road building including sign modifications to allow the future tenant wall signage to be no more than eighteen (18) inches away from the building wall and not mounted directly to the building wall (“Signage Improvements”). These approvals are subject to the further conditions, regulations and restrictions set forth in Section 4 of this Ordinance.

SECTION 4: That this amendment to the Deerfield Shoppers Court Commercial Planned Unit Development authorizing the renovations to the 636 Deerfield Road building, including renovations to the sidewalk at the west end of the Village-owned parking lot adjacent to the Subject Property as required to accommodate the building renovations, and the Signage Improvements, are granted subject to the following conditions, regulations and restrictions: (i) the 636 Deerfield Road building shall be renovated, maintained and used in accordance with the plans and supporting materials attached hereto and made a part of this Ordinance as Exhibit B hereof; (ii)

the Applicant shall enter into a License Agreement with the Village of Deerfield, the form and substance of which shall be approved by the Village attorney, to permit the renovations to the sidewalk at the west end of the Village-owned municipal parking lot adjacent to the Subject Property to accommodate the building renovations, and to further authorize the restoration of the Village property at such time, if any, as such license is revoked; (iii) compliance with all representations made and submitted by the Applicant to the Plan Commission and to the President and Board of Trustees of the Village of Deerfield; (iv) compliance with the recommendations of the Appearance Review Commission; and (v) compliance by the Applicant with all other applicable provisions of the Zoning Ordinance of the Village of Deerfield.

SECTION 5: That this Ordinance, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, this Ordinance shall supersede state law in that regard within its jurisdiction.

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SECTION 6: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

Exhibit B

Documents Incorporated as Part of the Amendment to the Deerfield Shoppers Court Commercial Planned Unit Development To Permit Renovations to the 636 Deerfield Road Building

1. Land Title Survey of Deerfield Shoppers Court by Bleck Engineering Company, Inc., dated September 24, 2014.
2. Improvement Plan Drawing No. C-1, by Bleck Engineering Company, Inc. for 636 Deerfield Road.
3. Construction Details Drawing No. C-2, by Bleck Engineering Company, Inc. for 636 Deerfield Road.
4. Landscape Plan Sheet No. L1.0, by Partners in Design Architects for 636 Deerfield Renovations.
5. Existing Site and Building Exterior Sheet No. A0.1, by Partners in Design Architects for the 636 Building.
6. Site Plan Sheet No. A1.0, by Partners in Design Architects for the 636 Building.
7. Demolition Plan Sheet No. A2.0, by Partners in Design Architects for the 636 Building.
8. Floor Plan Sheet No. A3.0, by Partners in Design Architects for the 636 Building.
9. Exterior Elevations Sheet No. A4.0, by Partners in Design Architects for the 636 Building.
10. Site Sections Sheet No. A5.0, by Partners in Design Architects for the 636 Building.
11. Building Renderings Sheet No. A6.0, by Partners in Design Architects for the 636 Building.
12. Specifications tear sheet for P5675 Series LED wall mount lights by Progress Lighting.
13. 636 Building - Criteria for Tenant Signage, as approved by ARC

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING AN AMENDMENT
TO THE DEERFIELD SHOPPERS COURT COMMERCIAL
PLANNED UNIT DEVELOPMENT TO PERMIT RENOVATIONS
TO THE 636 DEERFIELD ROAD BUILDING**

**PASSED AND APPROVED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF DEERFIELD, LAKE
AND COOK COUNTIES, ILLINOIS, this**

_____ day of _____, 2016.

**Published in pamphlet form
by authority of the President
and Board of Trustees of the
Village of Deerfield, Lake and
Cook Counties, Illinois, this
_____ day of _____, 2016.**



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ARCHITECTS

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voice: 262.652.2800
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May 10, 2016

Board of Trustees
Village of Deerfield
850 Waukegan Road
Deerfield, IL 60015

To whom it may concern:

As part of our renovation to The 636 Building, including adding storefront windows and a door at the north end of the West façade, it is necessary that we relocate the three parallel parking spaces currently there. One of these spaces is identified as handicap accessible, although it does not meet ADA. Our initial solution was to simply relocate these three spaces to the North façade, but in doing so, we would need to ensure one space is ADA compliant, which is not possible given the width of the drive.

After further analysis of the North parking lot, we were able to meet and exceed (by one space) the current parking count through restriping and slightly reducing two of the islands. We will still relocate two parallel parking spaces from the West façade to the North façade. By restriping the double loaded row just north of the building and adjusting the island to the west, we are able to fit the necessary accessible parking space. We were able to fit one additional parking stall in the far west row of parking behind Italian Kitchen.

In order to accomplish these site changes, we do need to reduce two parking islands and rebuild their curb. This is an issue at the west island of the row just north of the building, which currently has two 4" maple trees and a light pole. We considered relocating them, but since that is not always guaranteed successful, we will replace with two 3" maple trees (one at the rebuilt island and one at the north edge of the lot), upgrade landscaping throughout, and relocate the light pole.

Sincerely,

Martina Stoycheva

www.pidarchitects.com

REQUEST FOR BOARD ACTION

Agenda Item: 16-38-2

Subject: Ordinance Authorizing the Final Development Plan for 8 Parkway North in the Parkway North Center – Quadrangle Development Company

Action Requested: Second Reading

Originated by: Plan Commission

Referred to: Mayor and Board of Trustees

Summary of Background and Reason for Request:

On April 18, 2016, the Board of Trustees accepted the Plan Commission's recommendation on the request of the Final Development Plan for 8 Parkway North in the Parkway North Center Planned Unit Development. A first reading of the ordinance was held on May 2, 2016.

Reports and Documents Attached:

Ordinance

Date Referred to Board: May 16, 2016

Action Taken: _____

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN
FOR 8 PARKWAY NORTH IN THE PARKWAY NORTH CENTER
PLANNED UNIT DEVELOPMENT**

WHEREAS, Quadrangle Parkway Holdings LLC (“Petitioner”), the owner of a 10.01 acre tract of property known as 5 Parkway North and 8 Parkway North, and legally described on Exhibit A attached hereto (hereinafter referred to as “8 Parkway North” or the “Subject Property”), petitioned the Plan Commission of the Village of Deerfield for approval of a Final Development Plan for 8 Parkway North as a Special Use Planned Unit Development of the Subject Property in the Parkway North Center Planned Unit Development in the I-1 Office, Research and Restricted Industrial District pursuant to the provisions of the Parkway North Center Annexation Agreement and the provisions of Article 6.01-C, Paragraph 5, Article 12.08, Article 12.09 and Article 13.11 of the Zoning Ordinance of the Village of Deerfield, as amended; and,

WHEREAS, the Plan Commission of the Village of Deerfield has held a public meeting to consider the Final Development Plan for 8 Parkway North as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District, said meeting conforming in all respects, in both manner and form, with the requirements of the Zoning Ordinance of the Village of Deerfield; and,

WHEREAS, the Plan Commission has determined that the Final Development Plan for the Subject Property is in substantial conformance with the previously approved Preliminary Development Plan for the Parkway North Center Planned Unit Development; and,

WHEREAS, the Plan Commission of the Village of Deerfield, after considering the Final Development Plan for the Subject Property and the evidence and supporting materials offered at said meeting, has submitted its written report and recommendations to the President and Board of Trustees of the Village of Deerfield that the Final Development Plan for 8 Parkway North is in substantial conformance with the previously approved Preliminary Development Plan for the Parkway North Center Planned Unit Development and should be approved as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District; and,

WHEREAS, the President and Board of Trustees of the Village of Deerfield are of the opinion that the Final Development Plan for 8 Parkway North should be approved as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District, authorizing and permitting the construction, development and use of the Subject Property in accordance with the plans and documents attached hereto as Exhibit B hereof, which comprise the Final Development Plan for the Subject Property, and with the supporting materials submitted by the Petitioner which are incorporated herein and made a part hereof by this reference;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: That the President and Board of Trustees of the Village of Deerfield do hereby find that the Final Development Plan for 8 Parkway North fully complies with the requirements and standards set forth in Article 6.01-C, Paragraph 5, Article 12.08, Article 12.09 and Article 13.11 of the Zoning Ordinance of the Village of Deerfield and with the applicable provisions of the Parkway North Center Annexation Agreement.

SECTION 2: That the President and Board of Trustees do hereby authorize and approve the Final Development Plan for 8 Parkway North Center PUD, attached hereto and made a part hereof as Exhibit B to this Ordinance, as a Special Use Planned Unit Development of the Subject Property in Parkway North Center Planned Unit Development in the I-1 Office, Research and Restricted Industrial District, subject to the conditions, regulations and restrictions set forth in Section 3 of this Ordinance.

SECTION 3: That the approval and authorization of said Final Development Plan for 8 Parkway North is hereby granted subject to the following conditions:

- A. Submission and approval of final engineering plans consistent with the Final Development Plan for the Subject Property prior to the commencement of any construction.
- B. Construction, development, maintenance and use of the Subject Property shall be in accordance with the documents, materials and exhibits comprising the Final Development Plan for the Subject Property attached hereto and made a part hereof as Exhibit B.
- C. Except as otherwise expressly provided in this Ordinance or in the Final Development Plan, the construction, development and use of the Subject Property shall be in accordance with the Parkway North Center Annexation Agreement.
- D. The gross leasable area of the office building proposed for the Subject Property shall not exceed 186,258 square feet.
- E. Compliance with all representations submitted and made by the Petitioner to the Plan Commission and to the President and Board of Trustees of the Village of Deerfield.

F. Continued compliance with all applicable provisions of the Zoning Ordinance of the Village of Deerfield.

SECTION 4: That the Final Development Plan hereby approved and authorized as a Special Use Planned Unit Development of the Subject Property in the I-1 Office, Research and Restricted Industrial District, shall be binding upon and inure to the benefit of Petitioner's successors, grantees, transferees and assigns, and any violations of the conditions hereinabove set forth by Petitioner or its successors, grantees, transferees or assigns shall authorize the revocation of the Special Use hereby authorized.

SECTION 5: That the Village Clerk is hereby authorized and directed to record this Ordinance in the Office of the Recorder of Deeds of Lake County, Illinois at Petitioner's expense.

SECTION 6: That this Ordinance, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, this Ordinance shall supersede state law in that regard within its jurisdiction.

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SECTION 7: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

Exhibit B

Documents Comprising the Final Development Plan For 8 Parkway North

1. Site Plan – 8 Parkway North, dated March 10, 2016, by Wright Heerema Architects.
2. South East View of the proposed 8 Parkway North office building, dated February 12, 2016, by Wright Heerema Architects.
3. North West View of the proposed 8 Parkway North office building, dated February 12, 2016, by Wright Heerema Architects.
4. Sheet depicting south elevation and west elevation of proposed office building for 8 Parkway North, dated February 12, 2016, by Wright Heerema Architects.
5. Sheet depicting north elevation and east elevation of proposed office building for 8 Parkway North, dated February 12, 2016, by Wright Heerema Architects.
6. Lower Level Plan – 8 Parkway North, dated February 12, 2016, by Wright Heerema Architects.
7. First Floor Plan – 8 Parkway North, dated March 10, 2016, by Wright Heerema Architects.
8. Typical Floor Plan – 8 Parkway North, dated February 12, 2016, by Wright Heerema Architects.
9. Two sheets of detailed elevations (north and east, south and west) for proposed office building dated February 12, 2016, by Wright Heerema Architects.
10. Building Wall Sections, dated February 12, 2016, by Wright Heerema Architects.
11. Layout and Dimension Plan Sheet C1.0 by V3 Companies bearing a last revision date of 3/8/16.
12. Grading Plan Sheet C2.0 by V3 Companies bearing a last revision date of 3/8/16.
13. Utility Plan Sheet C3.0 by V3 Companies bearing a last revision date of 3/8/16.
14. Tree Preservation Plan for 8 Parkway North by the Lakota Group dated March 24, 2016.
15. Landscape Concept Plan for 8 Parkway North by the Lakota Group dated March 24, 2016.

16. Landscape Plan for 8 Parkway North by the Lakota Group dated March 24, 2016, including a plant palette by the Lakota Group dated march 24, 2016.
17. Roof Screen Section, dated March 10, 2016, by Wright Heerema Architects.
18. Electrical Site Plan by Kornacki & Associates, Inc. dated 03/09/2016.
19. Photometric Site Plan by Kornacki & Associates, Inc. dated 03/09/2016.
20. Fixture Schedule Sheet E3 by Kornacki & Associates, Inc. dated 03/09/2016.
21. Traffic Impact Study for Parkway North Lots 5 and 8 prepare by V3 Companies dated February 15, 2016.
22. Deerfield-Bannockburn Fire Protection District plan review letter for 8 Parkway North dated March 8, 2016.

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A FINAL DEVELOPMENT PLAN
FOR 8 PARKWAY NORTH IN THE PARKWAY NORTH CENTER
PLANNED UNIT DEVELOPMENT**

**PASSED AND APPROVED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF DEERFIELD, LAKE
AND COOK COUNTIES, ILLINOIS, this**

_____ day of _____, 2016.

**Published in pamphlet form
by authority of the President
and Board of Trustees of the
Village of Deerfield, Lake and
Cook Counties, Illinois, this
_____ day of _____, 2016.**

REQUEST FOR BOARD ACTION

16-41-1

Agenda Item: _____

Subject: Ordinance Granting a Fence Height Modification for Property Located at 750 Indian Hill
Road

First Reading

Action Requested: _____

Board of Zoning Appeals

Originated By: _____

Mayor and Board of Trustees

Referred To: _____

Summary of Background and Reason for Request

The report and recommendation of the BZA was accepted on May 2, 2016, on a vote of 3 to 2.

Reports and Documents Attached:

Ordinance

Date Referred to Board: May 16, 2016

Action Taken: _____

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A FENCE HEIGHT MODIFICATION
FOR PROPERTY LOCATED AT 705 INDIAN HILL ROAD**

WHEREAS, the owners of the property commonly known as 705 Indian Hill Road and legally described herein (the “Subject Property”) have petitioned for a modification from the maximum height requirements for rear yard fences of Article 2.04-H, Paragraph 3, Subparagraph b. of the Zoning Ordinance of the Village of Deerfield, as amended, to permit the installation and maintenance of a 10-foot high ball containment fence in the required rear yard of the Subject Property in lieu of the maximum 7-foot height permitted by the Zoning Ordinance; and

WHEREAS, the Board of Zoning Appeals of the Village of Deerfield held a public hearing on April 5, 2016 to consider said petition, said hearing being held pursuant to public notice duly given and published as required by law and conforming in all respects, in both manner and form, with the Zoning Ordinance of the Village Deerfield; and

WHEREAS, the Board of Zoning Appeals has filed its report with the President and Board of Trustees containing its written findings that the requested fence modification conforms to the standards for modifications set forth in Article 13.08-D of the Zoning Ordinance of the Village of Deerfield and recommending that the Board of Trustees grant the requested fence modification;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS,
in the exercise of its home rule powers, as follows:

SECTION 1: That the findings of fact and recommendations of the Board of Zoning Appeals are hereby concurred in and adopted as the findings of fact of the President and Board of Trustees of the Village of Deerfield.

SECTION 2: That the Petitioners have proven to the satisfaction of the Board of Zoning Appeals and the Board of Trustees that strict application of the requirements of Article 2.04-H, Paragraph 3, Subparagraph b. of the Zoning Ordinance of the Village of Deerfield for a maximum height of 7 feet for a fence erected in the required yard of the Subject Property would produce unnecessary or undesirable results as applied to the following described Subject Property unless modified as provided herein:

Lot 3 in Deerfield Park unit number 5, being a subdivision of part of the northwest quarter of Section 32, Township 43 north, Range 12, east of the Third Principal Meridian, according to the Plat thereof recorded August 28, 1956 as document number 921076, in Book 33 of Plats, page 118, in Lake County, Illinois.

Commonly known as 705 Indian Hill Road, Deerfield, Illinois 60015.

SECTION 3: That a modification from the strict provisions of Paragraph 3, Subparagraph b., of Article 2.04-H of the Zoning Ordinance of the Village of Deerfield, as amended, is hereby granted with respect to the Subject Property to permit the installation and maintenance of a 10-foot high ball containment fence within the required rear yard of the Subject Property with a height of 10.0 feet in lieu of the maximum height of 7.0 feet otherwise permitted for rear yard fences, provided that such fence shall be constructed and maintained in strict accordance with and to the extent provided by the following plans and supporting materials submitted by Petitioner and describing the proposed fence: (i) plat of survey by Bleck Engineering Company, Inc. depicting the Subject Property and foundation under construction as of April 8, 2015; (ii) grading plan for 705 Indian Hill Road depicting the sports court addition, dated October 2, 2014 and revised August

27, 2015 by Bleck Engineering Company, Inc.; (iii) product specification sheet for SnapBack 10x10 10x15 Adjustable Rebounder System by SnapSports Company dated 01/03/07, and product specification sheet for SnapSports Ball Containment system by SnapSports Company, dated 01/02/07; (iv) 2-page sketch by Outdoor LivingScapes, Inc as revision to Permit No. 55313 depicting the location of 10 foot high adjustable rebounder system and 10 foot high ball containment netting in relation to the existing sports court.

SECTION 4: That the modification hereby granted is subject to Petitioner’s compliance with the requirements of this Ordinance, with all provisions of the Zoning Ordinance of the Village of Deerfield and with all other applicable codes and ordinances of the Village of Deerfield.

SECTION 5: That this Ordinance, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Ordinance should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Ordinance should be inconsistent with any non-preemptive state law, this Ordinance shall supersede state law in that regard within its jurisdiction.

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SECTION 6: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A FENCE HEIGHT MODIFICATION
FOR PROPERTY LOCATED AT 705 INDIAN HILL ROAD**

**PASSED AND APPROVED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF DEERFIELD, LAKE
AND COOK COUNTIES, ILLINOIS, this**

_____ day of _____, 2016.

**Published in pamphlet form
by authority of the President
and Board of Trustees of the
Village of Deerfield, Lake and
Cook Counties, Illinois, this
_____ day of _____, 2016.**

REQUEST FOR BOARD ACTION

Agenda: 16-51

Subject: Analysis and Award of Bid for 2016 Street Rehabilitation Project

Action Requested: Award Contract to A-Lamp Concrete Contractors (NTE \$1,887,770)

Originated By: Public Works and Engineering Department

Referred To: Mayor and Board of Trustees

Summary of Background and Reason for Request

On May 29, 2016 at 11:00 AM, four sealed bids for the 2016 Street Rehabilitation Project were publicly opened and read aloud. The results of the bid opening are as follows:

Firm Name	Address	Bid Amount
Engineer's Estimate	NA	\$2,253,563
A-Lamp Concrete Contractors, Inc.	Schaumburg Illinois	\$1,887,770
Chicagoland Paving Contractors, Inc.	Lake Zurich Illinois	\$1,999,940
Berger Excavating Contractors, Inc.	Wauconda Illinois	\$2,243,837
Alliance Contractors Inc	Woodstock Illinois	Withdrawn

The project will be funded this year through a combination of Motor Fuel Tax (MFT), \$494,000, and \$1,393,770 in Infrastructure Replacement Funds. The total budgeted amount of \$2,000,000 in CY 2016. The Engineering Department has prepared all specifications and contract documents and will be overseeing construction. The Illinois Department of Transportation has advised that the Village award the contract to A-Lamp Concrete Contractors at the bid amount of \$1,887,770. Locations where work will be performed this year are as follows:

Street Name	Starting	Ending
Willow Avenue	South End	Central Avenue
Christopher Drive	NA	NA
Constance Lane	NA	NA
Lisa Marie Court	NA	NA
Deerpath Drive	South End	Deerfield Road

The scope of work includes pavement removal and replacement, sidewalk removal and replacement, removal and replacement of drainage structures, fire hydrant replacement and water valves replacement, adjustment of structures and parkway restoration.

A-Lamp Concrete Contractors is pre-qualified by the Illinois Department of Transportation to perform highway construction work. In 2015 A-Lamp Concrete Contractors successfully completed the Briarwood Vista Subdivision Infrastructure Project in the Village of Deerfield. Previous contracts completed by A-Lamp Concrete Contractors have been completed within/under the awarded amount. The Staff recommends that the contract for the 2016 Street Rehabilitation Project be awarded to A-Lamp Concrete Contractors (low bidder) in an amount of \$1,887,770.

Reports and Documents Attached

None

Date Referred to Board: May 16, 2016

Action Taken _____

REQUEST FOR BOARD ACTION

Agenda: 16-52

Subject: Award of Contract for Deerlake Road/Estate Drive Rehabilitation Project

Action Requested: Award Contract to A-Lamp Concrete Contractors (NTE \$1,100,000)

Originated By: Public Works and Engineering Department

Referred To: Mayor and Board of Trustees

Summary of Background and Reason for Request

Deer Lake Road and Estate Drive were originally targeted for reconstruction in the latter portion of the 5 year Capital Improvement Program (CIP). Though their condition ratings are among the lowest within the Village, historically staff has felt that their position within the CIP is justified due to lower traffic volumes. However, in light of the proposed Portillo's restaurant, staff recommends changing the priority level of this project. As such, this project has not been budgeted for in this calendar year. At this time, due to logistical difficulties that would be encountered if the redevelopment were to stay on its current path, staff believes it would be prudent to complete the adjacent roadway reconstruction work prior to the opening of the new restaurant.

On April 4, 2016, staff brought a recommendation to the Village Board for approval of a design contract for the reconstruction of Deer Lake Road and Estate Drive. The design work has been expedited to allow for construction to begin within the next few weeks. Since the Portillo's restaurant is on target to open for business in November of 2016 the reconstruction must begin before the end of July to reach substantial completion of roadway items before the opening. Plans and contract documents are currently being drawn up. The scope of work includes pavement removal and replacement, sidewalk removal and replacement, removal and replacement of drainage structures, and parkway restoration.

On April 29, 2016 the Village held a bid opening for the 2016 Street Rehabilitation Project. Of a total of four bidders the lowest responsible bid was received from A-Lamp Concrete Contractors. Staff has had discussions with project managers at A-Lamp Concrete Contractors regarding a possible extension of the Street Rehabilitation contract. The Contractor has agreed to take on the extra work, extend the unit pricing from the Street Rehabilitation Project, and expedite the construction work. Though the final cost of the work will not be known until all of the construction is complete our estimate of the cost is \$1,100,000. The Engineer's estimate for the work is \$1,364,544.

A-Lamp Concrete Contractors is pre-qualified by the Illinois Department of Transportation to perform highway construction work. In 2015 A-Lamp Concrete Contractors successfully completed the Briarwood Vista Subdivision Infrastructure Project in the Village of Deerfield. Previous contracts completed by A-Lamp Concrete Contractors have been completed within/under the awarded amount. The Staff recommends that the contract for the Deerlake Road/Estate Drive Rehabilitation Project be awarded to A-Lamp Concrete Contractors (low bidder) in an amount of \$1,100,000, and that the Village Board waive the formal competitive bidding process to award the contract.

Reports and Documents Attached

None

Date Referred to Board: May 16, 2016

Action Taken _____

REQUEST FOR BOARD ACTION

Agenda Item: 16-53

Subject: Award of Contract for Construction Engineering Services for the Deerlake Road/Estate Drive Rehabilitation Project

Action Requested: Award to Christopher B. Burke Engineering, Ltd. (NTE \$162,050)

Originated By: Department of Public Works and Engineering

Referred To: Mayor and Board of Trustees

Summary of Background and Reason for Request

Staff is preparing to reconstruct Deerlake Road and Estate Drive in anticipation of the new Portillo's restaurant grand opening in November of 2016. Construction work will begin in July of 2016 and be completed in November, with the possibility of some landscaping and minor punch-list items to extend in to early 2017. Earlier this year the Department organized interviews with qualified professional engineering firms for construction engineering services. As part of the Qualifications Based Selection process, Christopher B. Burke Engineering, Ltd. (CBBEL) was unanimously selected as a firm with the proper qualifications and approach to assist with the expedited design and construction engineering services.

We believe that the approach presented by CBBEL was the most comprehensive and cost effective, while meeting the time frame and requirements requested by the Village. CBBEL has extensive experience with performing work of similar scope and is familiar with projects in commercial and high traffic areas. They have successfully completed other projects within the Village, including design work for the Deerfield Road Reconstruction Project.

Staff recommends that the Contract for Construction Engineering Services for the Deerlake Road/Estate Drive Rehabilitation Project be awarded to Christopher B. Burke Engineering, Ltd. in an amount not to exceed \$162,050.

Reports and Documents Attached:

None

Date Referred to Board: May 16, 2016

Action Taken: _____

TO: Kent Street, Village Manager
FROM: Eric Burk, Director of Finance
DATE: May 11, 2016
SUBJECT: Selection of Municipal Advisor

The Village's long time financial advisor, Northern Trust, is no longer offering financial advisor services. Staff issued a Request for Proposal to select a new adviser to provide financial advisor services for the future debt issuances.

The RFP was published on March 25, 2016, and four responses were received by the April 15th deadline. Responses were received from Speer Financial, Ehlers & Associates, The PFM Group and PMA Securities.

After reviewing proposals and interviewing two firms, staff is recommending Speer Financial as Municipal Advisor for future Village bond issuances. A copy of their response to the RFP is attached. Speer was selected for the quality of its response to the RFP, creativity in developing a possible plan to fund capital improvements, experience in the market, references received from other Aaa rated municipalities in the area and relative cost.

A resolution ratifying the selection of Speer Financial is attached. I recommend the Village Board approve Speer Financial Inc. as the Village's Municipal Advisor at the May 16th Board meeting.

RESOLUTION NO. _____

**RATIFYING THE SELECTION OF THE SPEER FINANCIAL, INC
AS THE VILLAGE MUNICIPAL ADVISOR**

WHEREAS, a Request for Proposals to provide financial advising services for the Village was issued on March 25, 2016; and

WHEREAS, four firms responded to the RFP by the due date of April 15, 2016; and

WHEREAS, Village Finance Department staff reviewed the submittals and performed selected reference checks to evaluate the firms that submitted proposals; and

WHEREAS, Village staff has recommended that Speer Financial, Inc. is best qualified to provide financial advising services for future Village debt issuance; and

WHEREAS, it is in the best interest of the Village to select Speer Financial, Inc. to provide financial advising services to the Village.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, that Speer Financial, Inc. is selected to provide financial advising services to the Village pursuant to the Request for Proposal dated March 25, 2016 and their proposal dated April 15, 2016.

BE IT FURTHER RESOLVED, that an appropriate financial services agreement be developed to acknowledge the parties' agreement in this matter.

ADOPTED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Mayor

ATTEST:

Village Clerk



SPEER FINANCIAL, INC.

**MUNICIPAL ADVISORY/BOND SALE
CONSULTING SERVICES**

PROPOSAL

TO:



**Village of Deerfield,
Illinois**

Chicago Office:

Suite 4100
1 North LaSalle Street
Chicago, Illinois 60602
Phone: (312) 346-3700
Fax: (312) 346-8833

April 15, 2016

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Appendices to Proposal

Appendix A-	Financial Planning and Municipal Security Sale Services
Appendix B-	Client Sales of Securities Since April 2015 (All Illinois Issuers)
Appendix C-	Client Sales of Securities Since April 2014 (Illinois Municipal Issuers)
Appendix D-	References
Appendix E-	Draft Financial Services Agreement

Enclosures

Village of Northbrook – Preliminary Official Statement
Village of Northbrook – Award Letter
Example Summary of Underwriting Proposals – Kendall County Forest Preserve District
Example Project/ Capital Planning Materials – City of Naperville

KEVIN
McCANNA
Chairman

DANIEL
FORBES
President

DAVID
PHILLIPS
Executive VP

RAPHALIATA
McKENZIE
Senior VP

MAGGIE
BURGER
Senior VP

ANTHONY
MICELI
Senior VP

LARRY
BURGER
Vice President

BARBARA
CHEVALIER
Vice President

MARK
JERETINA
Vice President

April 15, 2016

Mr. Erik Burk
Finance Director
Village of Deerfield
850 Waukegan Road
Deerfield, Illinois 60015

Mr. Burk:

Thank you for the opportunity to submit a proposal to provide municipal advisory services to the **Village of Deerfield** (the “**Village**”). While our detailed proposal follows, we would like to highlight several points that may differentiate **Speer Financial, Inc.** (“**Speer**” or “**Speer Financial**”) from other firms being considered.

1. Independence – Speer is not affiliated with any broker-dealer nor do we serve in any capacity other than municipal advisor. This enables Speer to offer unbiased advice solely in the Village’s best interests and avoid any conflicts of interest.

2. Personnel – The Speer financing team assigned to the Village includes three officers, each being directors of the firm. The assigned team has a combined 44 years of experience with Speer. As well as the individuals assigned to the financing team, the Village will have access to each of the officers of Speer should the need arise. This experience with thousands of financings and with a diversity of clients brings unparalleled depth, breadth and technical expertise to our municipal advisory services. Speer’s team approach provides us with the extra flexibility to attend Village Board meetings or meet with Village officials at your convenience and without unnecessary delays.

3. Level of Activity – Speer is the **most active municipal advisor in Illinois** and was the 12th most active advisor nationally for long-term competitive issues in 2015. Speer has held the number one ranking in Illinois for over 25 years. We advised on 99 of 304 (over 32%) long-term new money issues in Illinois for 2015. In total, Speer Financial advised on 208 bond sales totaling over \$1.2 billion in principal amount in 2015. Speer also has a wealth of local experience including serving as municipal advisor to the Cities of Aurora, Darien, Des Plaines, Elgin, Elmhurst and Naperville and the Villages of Arlington Heights, Buffalo Grove, Burr Ridge, Hinsdale, Hoffman Estates, Lombard, Northbrook, Schaumburg, Vernon Hills, Wheeling, Willowbrook, Wilmette, Winnetka, Woodridge and numerous other cities and villages throughout the Chicago metropolitan area.

4. Service Level – Speer is proud of the level of service it provides to our clients. As municipal advisor, Speer routinely analyzes refunding opportunities, provides ongoing debt planning services, analyzes ratings and rating agency strategies and provides other ongoing services as needs arise. During the bond issuance process, Speer manages the issuance process from start to finish, including the preparation of the official statement or offering document.

5. Technology – We extensively utilize the latest technology, such as in our posting and electronic distribution of information about upcoming sales on our www.Speerfinancial.com Debt Auction Calendar. To date, www.SpeerAuction.com has served as a platform to competitively sell 1,046 issues totaling over \$8.6 billion. In 2015, 87 of 90 competitive official statement sales were sold utilizing the SpeerAuction platform, totaling over \$704 million. In mid-2006, Speer began to use Open Auctions which allow bidders to see their bidding rank and then improve their bid, driving down costs to the issuer even further.

Thank you for the opportunity to present our background and qualifications. We look forward to serving you in the years ahead.

Sincerely,



Kevin W. McCanna
Chairman
Speer Financial, Inc.

A. Transmittal Letter:

1. *An affirmation that the proposer has become familiar with this Request for Proposals dated March 25, 2016 and any addendums thereto, and that the proposers will furnish all personnel, supervision, labor, materials, machinery, tools, appurtenances, equipment, and services, including licenses, necessary to provide services in accordance with this Request for Proposals. (The requirements contained in this Request for Proposals shall be incorporated by reference into the proposer's proposal, which shall become part of the contract with the Village.)*

Speer Financial, Inc. ("Speer") has thoroughly reviewed and has become familiar with the Village of Deerfield's (the "Village") Request for Proposal for Municipal Advisory Services dated March 25, 2016. Speer will furnish all materials necessary in order to carry out its duties as municipal advisor to the Village.

Speer Financial, Inc. is a registered municipal advisor with the Securities and Exchange Commission (SEC) and Municipal Securities Rule Making Board (MSRB). Speer's SEC File Number is 867-00043. Speer's MSRB ID is K0162.

2. *The name, title, postal address, and email address of the individual to whom the Village should send notices regarding this Request for Proposal.*

The primary contact person for the Village regarding this Request for Proposal will be Mr. Daniel Forbes. Mr. Forbes' contact information is listed below.

Mr. Daniel Forbes

President

Speer Financial, Inc.

1 North LaSalle Street, Suite 4100

Chicago, IL 60602

Phone: (312) 780-2281

Email: dforbes@speerfinancial.com

3. *Confirmation that if selected as the Village's financial advisor, neither the firm nor its principals will underwrite the Village's debt, or submit a bid or proposal to purchase bonds from the Village, either directly or through participation in a syndicate or other means, during the term of the firm's financial advisor arrangement with the Village.*

Independence

Speer Financial works solely with governments, and municipal advising is the firm's only business. **Speer Financial does not underwrite, purchase or sell bonds, nor is the firm affiliated with any bank, underwriter or investing institution. We are able, therefore, to render financial advice to clients without bias or conflict of interest.** Our services are solely for the benefit of our governmental clients.

Therefore, Speer confirms that neither the firm, nor any of the firm's principals, will in any way underwrite, purchase or sell any of the Village's debt.

4. *A statement disclosing any and all finder's fees, fee splitting, and/or other relationships and/or contractual agreements of the firm that could present real or perceived conflicts of interest.*

No relationship exists regarding finder's fees, fee splitting, contractual agreements or otherwise that could present a real or perceived conflict of interest between Speer and the Village.

5. *A statement of any pending investigation of the firm or enforcement or disciplinary action taken within the past three years by the SEC or other regulatory bodies.*

There have been no investigations, enforcement, or disciplinary actions taken against Speer by the SEC or any other regulatory body and none are pending.

6. *Issues and alternatives that the Village should consider with respect to its debt financing plans discussed under Section III above (Debt Financing Plans).*

Establishment of a Savings Target for Refunding Bonds

The Village may consider the possibility of establishing a minimum savings target for executing refunding transactions. This is especially beneficial in the case of advance refundings (escrows longer than 90 days), when savings may improve as time passes and the Village moves closer to the optional redemption date of the refunded series.

The GFOA recommends the following formal policy guidelines for analyzing and issuing refunding bonds:

- offer a systematic approach for determining if a refunding is cost-effective,
- promote consistency with other financial goals and objectives,
- provide the justification for decisions on when to undertake a refunding,
- ensure that staff time is not consumed unnecessarily in evaluating refunding proposals,
- **ensure that some minimum level of cost savings is achieved; and**
- **reduce the possibility that further savings could have been achieved by deferring the sale of refunding bonds to a later date.**

The GFOA also states that a common threshold is that the savings, as a percentage of refunded bonds, should be at least 3-5% net of bond issuance costs.

Debt Refinancing Opportunity

Based on current estimated interest rates, a refinancing of the Village's 2008 Bonds would produce approximately \$296,003 in gross debt service savings, net of all costs of issuance. This equates to \$258,421 in present value savings or 8.038% of refunded principal. The estimated savings on this refinancing is very attractive and well above the 3-5% savings threshold many issuers use when evaluating refundings. With no other debt issuances anticipated for 2016 by the Village, Speer would recommend moving forward with the refinancing and taking advantage of the current low interest rates.

Below is a summary of the estimated refunding results:

REFUNDING OF GENERAL OBLIGATION BONDS, SERIES 2008							
Bond Year	General Obligation Refunding Bonds Series 2016 Dated: August 1, 2016			Unrefunded Debt Service	Total New Debt Service	Current 2008 Debt Service	Estimated Savings
	Principal (12/1)	Interest ⁽¹⁾ (6/1 & 12/1)	Total	Total	Total	Total	
2016	\$10,000	\$32,350	\$42,350	\$228,344	\$270,694	\$293,897	\$23,203
2017	10,000	96,750	106,750	233,438	340,188	364,544	24,356
2018	250,000	96,450	346,450		346,450	366,106	19,656
2019	255,000	88,950	343,950		343,950	367,294	23,344
2020	265,000	81,300	346,300		346,300	367,800	21,500
2021	270,000	73,350	343,350		343,350	367,919	24,569
2022	280,000	65,250	345,250		345,250	367,319	22,069
2023	290,000	56,850	346,850		346,850	371,319	24,469
2024	300,000	48,150	348,150		348,150	369,356	21,206
2025	310,000	39,150	349,150		349,150	371,981	22,831
2026	320,000	29,850	349,850		349,850	373,988	24,138
2027	330,000	20,250	350,250		350,250	374,963	24,713
2028	345,000	10,350	355,350		355,350	375,300	19,950
Total	\$3,235,000	\$739,000	\$3,974,000	\$461,781	\$4,435,781	\$4,731,784	\$296,003
Estimated Present Value Savings / Loss @ Bond Yield.....							\$258,421
Par Amount Refunded.....							\$3,215,000
% PV Savings/(Loss).....							8.038%

Estimated Sources and Uses of Funds	
Sources of Funds:	
Principal Amount	\$3,235,000
Reoffering Premium	\$225,491
Total Sources of Funds	\$3,460,491
Uses of Funds:	
Deposit to Escrow Fund	\$3,384,334
Estimated Costs of Issuance ⁽²⁾	75,880
Rounding Amount	277
Total Uses of Funds	\$3,460,491

(1) Estimated current market interest rates for AAA rated, tax-exempt, general obligation bonds. Preliminary, subject to change.

(2) Estimated total costs of issuance including underwriters discount and issue rounding amount. Preliminary, subject to change.

7. *The Village prohibits any firm from engaging in activities on behalf of the issuer that produce a direct or indirect financial gain for the successful proposer, other than the agreed-upon compensation, without the issuer's informed consent.*

Speer's fees and customary expenses are detailed herein. Speer will not engage in any additional activity that will provide Speer with a direct or indirect financial gain.

B. Profile of the Proposer:

1. *The organization and size of the proposer, and whether it is local, regional, national, or international in operations.*

Background on Firm

Speer Financial is a nationally recognized, employee-owned firm of municipal advisors. We are charter members of the National Association of Municipal Advisors, an industry coalition seeking to develop and promote ethical and professional standards for municipal advisory firms and their employees. We bring our clients years of experience in the financial markets. Since the firm's founding in 1954, Speer Financial has participated in the planning and sale of over \$28 Billion in taxable and tax-exempt securities for more than 890 clients. We routinely handle securities such as: general obligation bonds, revenue bonds, debt certificates, notes, current and advance refunding issues, tax increment bonds, special assessment bonds and special service area bonds.

Speer Financial works solely with governments, and municipal advising is the firm's only business. **Speer Financial does not underwrite, purchase or sell bonds, nor is the firm affiliated with any bank, underwriter or investing institution. We are able, therefore, to render financial advice to clients without bias or conflict of interest.** Our services are solely for the benefit of our governmental clients.

Speer maintains its headquarters in Chicago, Illinois and has a satellite office in Waterloo, Iowa.

The officers of Speer have varied backgrounds and disciplines and are able to respond promptly to client questions. Speer Financial only accepts assignments within its staff's expertise and available time. Our many long-term relationships demonstrate the level of client satisfaction with our services.

Key Officers or Managers of the Firm

Tenure with Speer

Chairman -	Kevin W. McCanna	35
President -	Daniel D. Forbes	22
Executive Vice President –	David F. Phillips	30
Senior Vice President -	Raphaliata T. McKenzie	19
Senior Vice President -	Maggie Burger	11
Senior Vice President -	Anthony Miceli	3
Vice President -	Larry Burger	23
Vice President -	Barbara L. Chevalier	23
Vice President -	Mark Jeretina	<u>6</u>
Total		172 years

The nine officers of Speer Financial have a combined 172 years with the firm. Not only are the officers invested in the success of the firm, but Speer's three financial analysts have a combined 34 years with the firm and our seven support staff have a combined 104 years with the firm. In total, the 19 members of the firm have a combined 310 years with Speer Financial, or an average of over 16 years per employee.

While our main business activity is to provide municipal finance consulting services, our professional staff includes individuals with accounting, banking, economics, computer science, legal planning, and public management expertise. While the quality of our people is clearly more important than the quantity, it is important that the firm you select as your financial advisor be able to provide prompt and uninterrupted service to you during periods of vacations, periods of illness and conflicts in schedules. Working with a team assures you of prompt and professional service.

2. *The location and the office from which the work is to be done, and the number of professional staff employed at that office.*

Chicago Office/Speer Headquarters

Speer's engagement with the Village will be coordinated by its Chicago office. Speer's Chicago office is the headquarters for the firm. Seven officers of the firm and two financial analysts operate out of the Chicago office. Aside from the professional staff of nine employed in Chicago, the office also includes a support staff of five individuals.

3. *A description of the range of activities performed by the group proposed to provide services to the Village.*

Summary of Services

One of Speer's first activities will be to meet with Village staff to gather oral and written information on specific financing needs. Once needs are understood and the scope of the assignment agreed upon, Speer Financial will prepare a financial plan and then implement it through the proposed sale and issuance of debt. The Village will make all final decisions, but Speer Financial will make recommendations on all aspects of the financing and work closely with the Village's staff, attorney and bond counsel. We will develop alternative debt schedules for the Village's review. After consultation, we will recommend maturity schedules and other terms for the proposed debt issuance to meet both the Village's needs and to match market requirements.

We will research financial and economic data relating to the Village and compile an Official Statement for each debt issuance. If rating the debt is appropriate, we will recommend which rating service(s) to use, make application and assist in the preparation of a presentation (if necessary). We will recommend the most appropriate scope of sale and the best method of sale, reporting the advantages and disadvantages of each so that the Village can make an informed decision. When a competitive sale is appropriate, we will distribute the Official Statement to underwriters and investors and work to develop bidding groups. We will attend all competitive sales, check the bids and recommend which bid to accept. When a negotiated underwriting is preferred by the Village, we will work with you to select an underwriter, if requested. We will assist in negotiating the interest rates, spread, terms and conditions of the issue with the selected underwriter on your behalf.

During the course of our engagement, Speer will attend Village Board meetings as requested, and prepare and deliver presentations as appropriate. A member of Speer's financing team will also be at the Village's Board meeting following the sale of any bonds in order to present the results.

We will arrange for the preparation and registration of the securities, the delivery of the securities to the purchaser and the simultaneous transfer of security proceeds to the Village (or bond escrow). If requested, under separate contract, we will assist the Village in complying with continuing disclosure requirements.

Further, each of the services listed in the Village's Request for Proposal under "Section IV-Scope of Services" is routinely provided by Speer during our engagement and each will be available to the Village once we are selected. A detailed listing of our customary services is attached as **Appendix A-Financial Planning and Municipal Security Sale Services.**

4. A description of any other specialized services provided by other offices of the proposer that are within 100 miles of Deerfield.

Specialized Services

Speer Financial works solely as municipal advisor and its Chicago office is the only office within 100 miles of the Village. Speer professionals have provided certain TIF and economic development services including:

- Consulting on TIF and business districts for the communities of Collinsville, Yorkville, Matteson, Olympia Fields, South Holland and Warrenville.
- Economic development projects such as relocation benefits, incentive packages, and financial impacts for the communities of Arlington Heights, Clarendon Hills, East Moline, Lombard, Gurnee, Matteson, Orland Park and Wheeling.

Speer assists municipalities with developer negotiations. Speer also assists other municipal consultants such as engineering and accounting firms in providing rate and feasibility studies. While Speer has experience in assisting Illinois municipalities in economic development and TIF financings, we do not serve as TIF feasibility consultants.

5. Identification of the professional staff who will be primarily responsible for performing the services outlined in this Request for Proposal, indicating title, nature of responsibilities, education, experience and any specialized skills, and number of years with the firm.

Financing Team

Speer Financial will provide a team of finance professionals to serve the Village. A financing team provides a coordinated distribution of responsibility in the planning and issuance of the Village's securities. The financing team will be composed of **Daniel Forbes, President, Anthony Miceli, Senior Vice President** and **Raphaliata McKenzie, Senior Vice President**. Mr. Forbes will serve as the primary contact to the Village, while Mr. Miceli and Ms. McKenzie will serve as secondary contacts and handle the day-to-day functions during a transaction.

The financing team has a combined 44 years with Speer Financial and are a part of the third generation of owners. Speer Financial's team approach assures that someone familiar with the Village is available at all times. Our team approach provides us with the extra flexibility to meet with Village officials at your convenience without unnecessary delays. The team approach also enables varied perspectives to surface in the planning phase and for specialization within the financing team.

Contact information and biographies for each financing team member are listed below.

<p>Mr. Daniel D. Forbes President (312) 780-2281 dforbes@speerfinancial.com</p>
--

Daniel D. Forbes, President, Director and Owner, Certified Independent Public Finance Advisor by National Association of Municipal Advisors. B.S. Economics, Beloit College; J.D., and M.B.A., Finance, Washington University. Served as a financial analyst with a Chicago investment banking firm (1990-1994) which

specialized in municipal economic development. Previously with Chapman and Cutler (1984-1990) and served as bond counsel, underwriter's counsel and corporation counsel for health care, cultural and educational organizations. Member of the Illinois Government Finance Officers Association. Has been employed by Speer Financial since 1994.

Mr. Anthony Miceli
Senior Vice President
(312) 529-5881

amiceli@speerfinancial.com

Anthony F. Miceli, Senior Vice President, Director and Owner, B.S., North Central College, Naperville, IL, with majors in both Finance and Economics. Seven years previous experience as a financial analyst in the public finance department of a Milwaukee, WI based investment banking and financial services firm. Member of the Illinois Government Finance Officers Association. Clients include numerous counties, cities, villages, park districts, schools and other special districts. Has been employed by Speer Financial since 2013.

Ms. Raphaliata McKenzie
Senior Vice President
(312) 780-2285

rmckenzie@speerfinancial.com

Raphaliata McKenzie, Senior Vice President, Director and Owner. Certified Independent Public Municipal Advisor by National Association of Municipal Advisors. B. S. Finance, DePaul University. Accountant with Jane Addams Hull House Association (1995-1997), with other prior experience at a Chicago based commercial bank and an investment bank. Has been employed by Speer Financial since 1997.

6. A description of the firm's ethics policy, and actions of the firm to ensure adherence to it.

Speer Mission Statement

To provide high quality debt advisory and related financial planning services to governmental entities. As an independent professional organization, Speer is committed to serve its clients' long-term interests with honesty, integrity, and distinctive expertise. To enhance the quality of its services, Speer is committed to the ongoing development of its entire employee team.

National Association of Municipal Advisors (NAMA)

Speer is a charter member of the National Association of Municipal Advisors (formerly the National Association of Independent Public Financial Advisors), an industry coalition seeking to develop and promote ethical and professional standards for municipal advisory firms and their employees. As such, Speer officers must take and pass a qualification exam and meet on-going continuing education requirements.

Municipal Advisors Representative Manual

In order to assure that Speer's municipal advisors operate under the ethical standards required by the firm, the Securities and Exchange Commission and the Municipal Securities Rulemaking Board, Speer has adopted a formal policy manual for its municipal advisors to adhere to. The manual describes the need to put our clients' interests ahead of our own and identifies the duties of care and loyalty we owe to each municipal client. A copy of this manual is available upon request.

C. Firm Experience:

1. A summary of recent (within the past year) engagements where the firm served as municipal advisor to a state or local government.

Recent Experience with Similar Issuers

Speer Financial specializes in serving Illinois municipalities, counties and special districts. Speer serves a broad and diverse client base composed of all types of large to small issuers with all sizes of securities issues, varied credit strengths and varied lengths to maturity. It is this wide variety of experience that enhances the ability of our team to meet and exceed the expectation of our clients on the \$100,000 issue, the \$10,000,000 issue, or the \$100,000,000 issue, as each is critical to the issuer at that time. This broad experience enables Speer to bring a unique perspective that can be used to our client's advantage.

Since April of 2015, Speer Financial provided municipal advisory services on 170 transactions for a total par amount of over \$1.2 billion for issuers throughout the state of Illinois. Below please find a representative listing of clients that Speer has served in the last year. A full listing of transactions can be found in **Appendix B – Client Sales of Securities Since April 2015 (All Illinois Issuers)**.

<i>Speer Financial, Inc.</i> <i>Representative List of Illinois Clients Served Since 2015</i>		
Village of Addison	City of Elmhurst	Village of Palatine
Village of Arlington Heights	Village of Hoffman Estates	City of Peoria
City of Aurora	Lake County	Village of Riverside
City of Batavia	City of Lake Forest	Village of Roselle
Village of Clarendon Hills	Village of Libertyville	City of Springfield
City of Darien	Village of Oak Park	Village of Vernon Hills
City of Elgin	Village of Orland Park	City of Waukegan

2. A listing of the firm's Illinois municipal clients during the past two years, including their non-insured bond ratings and home-rule status.

Client Listing

In total, Speer Financial serves over 100 Illinois municipal clients. This number excludes all special districts and counties. Since April of 2014, Speer has served on the 147 transactions for 67 of its Illinois municipal clients representing over \$1.0 billion in principal amount. This includes 88 transactions for a total of 39 home-rule clients. A full listing of transactions can be found in **Appendix C – Client Sales of Securities Since April 2014 (Illinois Municipal Clients)**

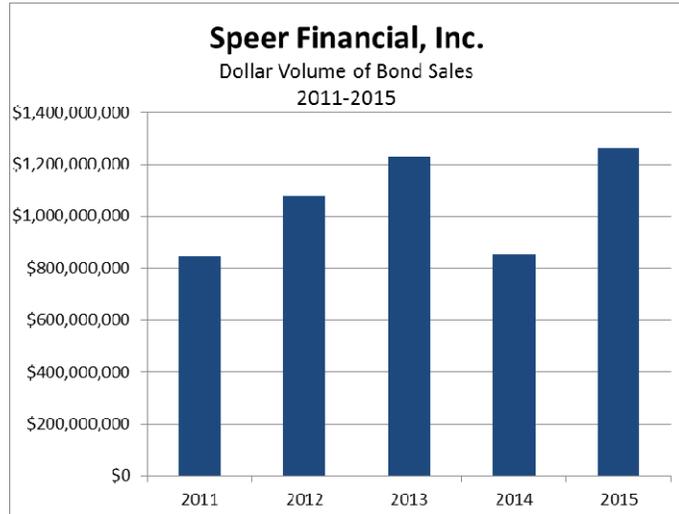
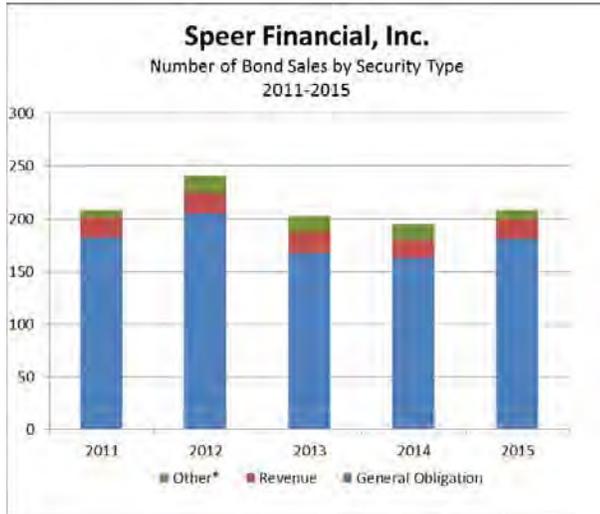
AAA/Aaa Issuer Experience

Speer Financial counts many of the Aaa rated communities in Illinois as its clients. Below please find a listing of the Aaa rated municipalities that Speer currently serves.

<i>Speer Financial, Inc.</i> <i>Aaa/AAA Rated Illinois Municipal Clients</i>		
Village of Buffalo Grove	City of Highland Park	Village of Schaumburg
Village of Clarendon Hills	City of Lake Forest	Village of Vernon Hills
City of Elgin	Village of Lake Zurich	Village of Wilmette
City of Elmhurst	City of Naperville	Village of Winnetka
Village of Green Oaks	Village of Northbrook	City of Wood Dale
Village of Hinsdale	Village of Riverside	Village of Woodridge

Speer Financial's Recent Bond Sale Experience and Ranking

In the last five calendar years, Speer Financial assisted in bringing 1,054 issues to market amounting to over \$5.2 billion in principal amount. This large number of issues and par value of securities illustrates Speer Financial's high level of expertise and market awareness which has been developed and honed by this high level of activity.



*Includes debt certificates, short-term anticipation notes/bonds, SSA and other special district notes and bonds.

Below is the summary of the top Illinois municipal advisors of Long Term Municipal New Issues in 2015. This information is compiled by Thompson Securities Data Company, an independent information clearinghouse for the municipal bond industry. This 2015 ranking shows Speer Financial has retained the ranking held for more than 25 years as the most active municipal advisor in Illinois, advising on 99 of 304 (over 32%) of tax exempt and taxable long term new money issues brought to market in the state.

Top Municipal Advisors for 2015 State of Illinois Long-Term Municipal New Issues						
		Total			Excluding Education	
Rank	Firm	Number of Issues	Total Principal \$(000,000)	Average Principal \$(000,000)	Number of Issues	Total Principal \$(000,000)
1	Speer Financial, Inc.	99	986.5	10.0	96	974.7
2	PMA Securities, Inc.	78	648.0	8.3	4	47.9
3	Acacia Financial Group	30	2933.5	97.8	25	2662.8
4	Public Financial Management	18	2109.4	117.2	15	1870.3
5	Ehlers & Associates	13	164.7	12.7	10	53.2
6	Kane McKenna Capital	8	50.2	6.3	7	40.9
7	William Blair & Co.	8	199.1	24.9	7	112.1
8	Columbia Capital Management	7	957.8	136.8	7	957.8
9	Austin Meade Financial Ltd	5	67.1	13.4	5	67.1
10	A.C. Advisory, Inc.	4	674.3	168.6	4	674.3
11	Longhouse Capital Advisors	4	68.6	17.2	1	39.0
12	Blue Rose Capital Advisors	3	45.3	15.1	3	45.3
13	Robert W. Baird & Co.	3	18.1	6.0	3	18.1

Source: Thomson Reuters

3. *At least four references representing current Illinois municipal clients.*

Current References

Below please find nine client references for clients which Speer has recently served. We also encourage you to review the appendices discussed below which display numerous additional local references.

<i>Speer Financial, Inc. Client References</i>		
Mr. Thomas Kuehne <i>Finance Director</i> Village of Arlington Heights 33 S. Arlington Heights Road Arlington Heights, Illinois 60005 (847) 368-5510 tkuehne@vah.com	Ms. Julie Logan <i>Director of Finance</i> City of Highland Park 1707 St. Johns Ave. Highland Park, Illinois 60035 (847) 432-0800 jlogan@cityhpil.com	Mr. Darrell Langlois <i>Finance Director</i> Village of Hinsdale 19 E. Chicago Ave Hinsdale, Illinois 60521 (630) 789-7014 dlanglois@villageofhinsdale.org
Ms. Rachel Musiala <i>Director of Finance</i> Village of Hoffman Estates 1900 Hassell Road Hoffman Estates, Illinois 60195 (847) 882-9100 Rachel.musiala@hoffmanestates.org	Ms. Elizabeth Holleb <i>Director of Finance</i> City of Lake Forest 110 E. Laurel Ave. Lake Forest, Illinois 60045 (847) 810-3612 Hollebe@cityoflakeforest.com	Mr. Paul Mehring <i>Finance Director</i> Village of Palatine 200 E. Wood Street Palatine, Illinois 60067 (847) 359-9018 pmehring@palatine.il.us
Ms. Nikki Larson <i>Finance Director</i> Village of Vernon Hills 290 Evergreen Drive Vernon Hills, Illinois 60061 (847) 918-3540 Nikkil@vhills.org	Ms. Melinda Molloy <i>Director of Finance</i> Village of Wilmette 1200 Wilmette Avenue Wilmette, Illinois 60091 (847) 251-2700 molloym@wilmette.com	Mr. Brad Wilson <i>Finance Director</i> City of Wood Dale 404 North Wood Dale Road Wood Dale, Illinois 60191 (630) 7766-4900 bwilson@wooddale.com

Attached as Appendix D, is Speer’s complete listing of local and home-rule municipal references. Speer Financial has established many long-term client relationships that reflect a trusted working relationship among the elected officials, the staff and Speer Financial. We encourage you to contact our clients.

D. Approach to Services:

1. *The process the firm uses in working with municipal officials to develop plans to finance projects, including the type of written materials that the firm typically presents to the Finance Director and/or elected officials.*

Planning Your Issuance

It is important to distinguish between firms that are primarily transaction oriented and Speer Financial, which is planning and transaction oriented. We know the importance of the actual security sale, but recognize that a sale is only successful if it accomplishes your policy objectives. We will work with you in the planning phase to identify your primary policy options. We will analyze each of these options by providing financial data on levies, tax rates and related information.

Our primary responsibility is to recommend a financing program that achieves your public policy objectives and results in the most favorable cost of capital with the most favorable terms. The financing plan will cover more than just a single project, should this be appropriate.

Planning Timeline

Once engaged as the Village's municipal advisor, Speer and its team of professionals would be available to the Village to analyze and develop a financing plan for a desired project. The typical process for developing a plan of financing is as follows:

- Meet with Village officials to determine the project need, cost, funding timeline and expected repayment source (if any).
- Prepare required analysis to demonstrate security options, rating prospects or concerns, term length considerations and annual debt service cost. Analyze the repayment source and determine adequacy and coverage as necessary.
- Discuss financing options with Village officials and determine target plan of finance. Repeating prior steps as necessary.
- Prepare financing timetable and distribution list.
- Engage deal participants and kick off transaction.

During the planning phase, Speer will provide the Village officials with both detailed and financing summary schedules as well as memos explaining financing scenarios, as appropriate. Examples of financing plan that Speer has developed for other Illinois communities are attached to this proposal as an exhibit.

2. A discussion of the circumstances in which the firm would typically recommend that the Village of Deerfield issue debt competitively and those circumstances in which the firm would typically recommend a negotiated issuance.

Competitive vs. Negotiated Sale

Speer Financial will examine a number of factors to determine which method of sale is best for each debt issue of the Village. Neither method is inherently superior in sale results, but the openness and objectivity of the competitive sale is more attractive to most public bodies. Below we present the advantages to each method of sale and the circumstances in which Speer would recommend each method.

Sales Methodology Options	
Competitive Sales	Negotiated Sales
<p><u>Advantages:</u></p> <p><u>Transparency</u> - Provides the best public perception of openness in the conduct of public business. Evidence in the form of written competitive bids provides a high level of comfort to the issuer, its constituents and the media that report on its conduct.</p> <p><u>Commonplace</u> - Historically has been the most frequently used and familiar method of sale, particularly for general obligation debt.</p> <p><u>Market Competition</u> - Market competition among potential buyers tends to benefit the issuer with lower net interest rates during stable market conditions.</p>	<p><u>Advantages:</u></p> <p><u>Explanation</u> – Can be used to explain more complex or non-traditional financings to potential investors, thereby reducing or removing market uncertainty.</p> <p><u>Pre-Sale</u> – Allows for longer pre-sale marketing by an underwriter, which reduces the perceived marketing risk.</p> <p><u>At Will Services</u>- A selected underwriter will serve on the issuer’s financing team, providing information at the will of the issuer and a varied perspective on the financing.</p> <p><u>Target Specific</u>- Specific targets (minimum savings or debt service levels) may be established and the bonds sold when those targets are reached or exceeded.</p>
<p><u>Circumstances for Recommending:</u></p> <p><u>Issue Size</u> – A transaction size typically between \$500,000 and \$100 million.</p> <p><u>Common Security</u> – A traditional (uncomplicated) financing structure such as a general obligation bond or revenue bond with a historically performing revenue stream.</p> <p><u>Good Name</u> – The issuer has a good reputation and name recognition in the municipal primary and secondary market.</p> <p><u>Good Credit</u> – The issue has an investment grade credit and/or credit enhancement.</p> <p><u>Stable Market</u> – Relatively stable conditions and strong market demand exist in the municipal securities market.</p>	<p><u>Circumstances for Recommending:</u></p> <p><u>Size Extremes</u> – Either a very large or very small debt issuance amount.</p> <p><u>Complexity</u> – A complex or non-traditional financing structure.</p> <p><u>Unfamiliar Name</u> – The issuer is a new or infrequent market participant.</p> <p><u>Poor Credit</u> – The issue has a low or questionable credit rating.</p> <p><u>Volatile Market</u> – Volatile conditions exist in the municipal securities market and/or weak market demand.</p> <p><u>Specific Financing Target</u> – The issuer has a specific refunding savings or debt service target that has to be strategically timed.</p>

Speer Financial, without a conflict of interest, will analyze these factors in order to make a recommendation whether to pursue a competitive or negotiated sale. In 2015, 138 of Speer’s 208 (66%) sales were competitively bid. This represents 54.01% of our dollar volume.

Given the Village’s strong Aaa rated credit, market familiarity, and strong name, Speer Financial would recommend a competitive sale for the Village under most circumstances.

3. *A brief summary of the approach the firm would take in marketing the Village's bond issue to the bond market to ensure the lowest possible interest cost on a competitive bond issue.*

Marketing Your Securities

Speer Financial will develop a debt structure to encourage favorable pricing by bidders. If a competitive sale is selected, Speer Financial will circulate the sale document as widely as is appropriate. We will also directly solicit bidders to obtain the most bids possible. Below we summarize the steps taken by Speer during a competitive bond sale.

Electronic Posting

Speer Financial's web page (SpeerFinancial.com) Debt Auction Center provides a sale calendar listing of all competitive sales being sold with Preliminary Official Statements (POSs). All competitive sales with POSs (not just larger competitive sales) are aggressively marketed utilizing the latest in technology to benefit our clients, and other municipal bond market participants, including rating agencies, insurance companies, banks (bidders), registrar/paying/escrow agents, and bond counsel.

Notification To Bidders

We electronically notify all potential bidders of an upcoming sale and direct them to the competitive sale calendar where they can access the Preliminary Official Statement, the Notice of Sale, the Financial Statements and the Bid Form.

Electronic Sales – SpeerAuction.com

Since May of 1999, Speer Financial, Inc. has been competitively selling larger issues of securities utilizing the Internet. We were the first municipal advisor in Illinois, and only the second in the United States, with a private label web site (SpeerAuction.com) for receiving bids electronically and posting bid results after the sale. In 2015, 87 of the 90 competitive sales (97%), using Official Statements, were sold on SpeerAuction.com totaling \$704.2 Million.

During the sixteen years of its operation, SpeerAuction.com has facilitated the sale of 1,046 issues totaling over \$8.6 billion of securities for 260 issuers.

Open Auctions – Speer Auction.com

In mid-2006, Speer Financial began a selective initiation of an electronic open auction as the next step in the progression of bidding.

The open auction is still a blind bid environment but it opens the information window to enable the bidder to see their bid placement (1st place, 2nd place, etc.), while they do not see other bidders or other bids. Knowing their place encourages increased competition and allows bidders to improve their bid if they wish to do so. This creates the possibility for a fluid exchange between bidders until the low bidder remains set for two minutes. In 2015, 58% of the open auctions resulted in trailing bidders overtaking a leader, saving an added \$1.06 million. The fact that bidders can improve bids and eventually win creates an atmosphere of increased competition that tends to drive borrowing costs to lower levels. The technology encourages an exchange among the bidders and each bid improvement is to the issuer's advantage.

Village of Northbrook Open Auction Below we present the auction results from the April 12, 2016 sale of \$19,725,000 General Obligation Bonds, Series 2016 being sold by the Village of Northbrook, Illinois which was rated Aaa by Moody's and AAA by Standard and Poor's.



Auction Date: Tue, Apr 12, 2016 | Type: AON | Start: 10:30:00 am | End: 10:45:00 am | Last Update: 1:02:13 pm EDT | Status: Over

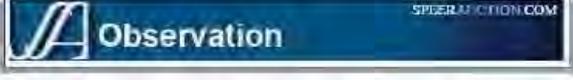
\$19,725,000*
 Village of Northbrook, Cook County, Illinois
 General Obligation Bonds,
 Series 2016

	Bidder	Firm	TIC	Time	Gross Interest	+ Discount/ (Premium)	Total Interest	Bid No.	Cumulative Improvement
1st	PIPE-DD	Piper Jaffray	2.563758%	10:38:58 am	\$7,390,747.01	(1,024,157.10)	\$6,366,589.91	1	-
2nd	UBSS-JO	UBS Financial Services	2.604723%	10:44:40 am	\$6,386,605.42	(96,946.30)	\$6,289,659.12	12	0.387508%
3rd	STIF-JP	Stifel Nicolaus	2.647475%	10:44:43 am	\$7,155,012.50	(692,802.85)	\$6,462,209.65	10	0.266494%
4th	RAYM-RS	Raymond James	2.649515%	10:44:22 am	\$6,788,029.74	(321,630.35)	\$6,466,399.39	5	0.041892%
5th	JPMO-JM	JP Morgan	2.676340%	10:44:01 am	\$7,525,351.74	(919,749.29)	\$6,605,602.45	4	0.043967%
6th	RBCD-JD	RBC Capital Markets	2.687627%	10:44:56 am	\$7,535,476.46	(906,660.25)	\$6,628,816.21	2	0.013710%
7th	MESI-IM	Mesirow Financial	2.696128%	10:44:22 am	\$7,535,476.46	(889,412.25)	\$6,646,064.21	3	0.034126%
8th	RWBA-DK	Robert Baird	2.731666%	10:42:59 am	\$6,697,695.83	(109,270.64)	\$6,588,425.19	1	-
9th	JANN-MD	Janney Montgomery Scott	2.732834%	10:45:00 am	\$7,190,151.97	(548,578.50)	\$6,641,573.47	6	0.190465%
10th	HUTC-JV	Hutchinson Shockey Erley	2.841147%	10:43:15 am	\$6,646,954.57	149,000.00	\$6,795,954.57	2	0.126408%
11th	AMER-MH	Bank of America Merrill Lynch	2.880457%	10:44:56 am	\$7,129,816.48	(194,483.74)	\$6,935,332.74	3	0.151555%
Total Bids:								49	

*Preliminary, subject to change

The Village received 49 total bids from 11 bidders.

City of Highland Park Open Auction Below we present the auction results from the January 11, 2016 sale of \$9,075,000 General Obligation Bonds, Series 2016 being sold by the City of Highland Park, Illinois which was rated Aaa by Moody's.



Auction Date: Mon, Jan 11, 2016 | Type: AON | Start: 10:45:00 am | End: 11:02:14 am | Last Update: 1:39:34 pm EST | Status: Over

Auction Closed At 11:02:14 am (Extended twice)

\$9,075,000*
 City of Highland Park, Lake County, Illinois
 General Obligation Bonds,
 Series 2016

	Bidder	Firm	TIC	Time	Gross Interest	+ Discount/ (Premium)	Total Interest	Bid No.	Cumulative Improvement	Open Auction Savings
1st	PIPE-IC	Piper Jaffray	2.507438%	11:00:14 am	\$2,219,855.83	(101,024.95)	\$2,118,830.88	2	0.091433%	\$ 64,166.31
2nd	BOSS-DG	BOSS Inc	2.560265%	11:02:05 am	\$2,483,687.50	(303,252.90)	\$2,180,434.60	13	1.063390%	-
3rd	JANN-MD	Janney Montgomery Scott	2.601536%	11:01:43 am	\$2,483,687.50	(274,036.50)	\$2,209,651.00	9	0.174014%	-
4th	RWBA-DK	Robert Baird	2.618269%	10:58:05 am	\$2,483,687.50	(262,237.55)	\$2,221,449.95	1	-	-
5th	HUTC-JV	Hutchinson Shockey Erley	2.740172%	10:58:12 am	\$2,589,238.33	(75,000.00)	\$2,514,238.33	2	0.072327%	-
6th	MESI-IM	Mesirow Financial	2.847287%	10:59:32 am	\$3,311,583.33	(779,610.65)	\$2,531,972.68	5	0.125641%	-
Total Bids:								32		

*Preliminary, subject to change

The City received 32 total bids from six bidders. The total auction time was extended by two minutes and fourteen seconds because lead changes in the last two minutes of the bidding. The winning bidder improved their bid over 0.09% from their original bid to win the auction. Total open auction savings to the City was over \$64,000, representing the difference between the winning bid and the best bid among the initial bids received from each firm.

SpeerBids.com

In 2009, SpeerBids.com, a new bidding platform developed by Speer Financial, was developed and is now in use for smaller official statement sales and for Term Sheet sales where the costs associated with SpeerAuction are not cost effective. SpeerBids.com is a non-calculating bid platform that provides a more secure bidding environment to banks than the submission of bids by facsimile.

Other Calendars

In addition, a competitive term sheet sale calendar, material posting and electronic sale notice distribution was initiated in 2005 so that even smaller transactions are benefiting by the application of technology to provide expanded services to our clients.

We also have a negotiated sale calendar available to assist the underwriters in electronically posting and distributing the Preliminary Official Statement for their sales team and to provide clients easy accessibility to the information contained in such documents.

We utilize the most current and sophisticated software available to analyze refunding opportunities and to structure debt issues to meet very specific planning targets.

While the role of technology in the municipal bond market is still evolving, Speer Financial is a leading innovator in the application of technology to better serve our clients.

4. *A discussion of how the firm would ensure that the Village would obtain competitive rates on a negotiated bond issue.*

Municipal Advisor Role in a Negotiated Sale

In a negotiated sale, the municipal advisor serves as the firewall to protect the client from being over charged on interest rates, or being over restricted in the terms and conditions of the sale. As the independent financial expert serving on behalf of the client, Speer Financial acts as the financing intermediary between the client and the financing team. As the financial facilitator, we assist the client in making wise decisions in a timely manner.

Selecting an Underwriter

All underwriters are not created equal. Each underwriter has a market niche, often either geographically or in terms of certain types of security or credit strength. Some have strong bank resale networks and specialize in bank-qualified issues. Some have strong retail networks with individual investors, while others may have strong institutional networks and specialize in general market issues. Some underwriters have clients who are risk averse and want low/no risk highly rated or insured issues while other underwriters may have more aggressive clients who are willing to absorb more risk with unrated /uninsured issues while seeking more yield.

The issuer whose sale circumstances favor a negotiated sale will want to select an underwriter (or team of underwriters) with the necessary qualifications, given the type of security being offered.

Speer Financial can assist the Village in selecting the appropriate underwriter given the circumstances of the proposed financing. Through our experience with a multitude of financings for Illinois issuers, Speer is familiar with the relative strengths (and weaknesses) of each underwriting firm. Speer can assist the Village with a solicitation process or through the selection of an underwriter from a pre-

approved pool established by the Village.

Negotiated Sale Monitoring

Speer Financial receives current market information and market levels from a variety of sources. Speer monitors recently sold local debt issuances, debt issuances brought to market by Speer (as advisor), the municipal market data index (an industry wide index for tax-exempt municipal bond yields), treasury yields, and weekly Bond Buyer Indexes (weekly indexes published by *The Bond Buyer*, a municipal finance industry publication).

Our review of market rates, bond indexes and recent bond sales assure that we will have the same rate/level indications as any underwriter working on the Village's transaction during a negotiated sale. This allows Speer the ability to review the underwriter's proposed interest rates in order to determine if they are fair and in line with the current market.

Further, during the course of the pricing, Speer will request to review the underwriter's order flow in order to analyze the "book of business" put together during the pricing period, paying special attention to the amount of orders per maturity and type of orders received. This information is analyzed in order to determine if any price adjustments are necessary and if a second order period is warranted.

In all cases, Speer will work as an advocate for the Village and ensure that the underwriter executes a fair pricing and holds unsold balances in inventory if appropriate.

5. A brief summary of the firm's philosophy on the use of rating agencies.

Importance of Credit Ratings

Since the credit crisis and downgrades of the municipal bond insurers, municipal investors have placed a greater emphasis on an issuer's credit rating. It has become more costly for issuers with mid to low-grade credit ratings to enter the market as the value of bond insurance has decreased and the remaining insurers have been more selective in the transactions they are willing to insure. In this environment, it is important for the Village to have a comprehensive and well thought out rating agency approach.

As municipal advisor, Speer would work with the Village to maintain its Aaa rating, which provides the Village ready access to the municipal market at attractive levels.

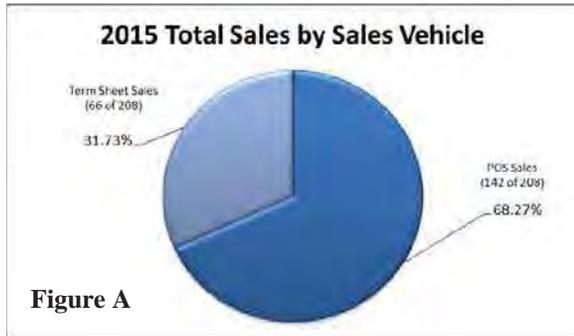
Credit Rating Strategy

Speer Financial facilitates the rating agency's process on behalf of its clients. Speer begins this effort by coordinating the information being sent to the rating agencies, organizing a meeting, preparing our clients for specific questions and topics and then facilitating the discussion between the rating agency and our client. Speer will recommend a type of meeting, in-person or conference call, based on the individual client and their current rating situation. Speer will also recommend and prepare any presentation materials deemed necessary for the meeting.

Rating and Credit Enhancement Experience

Speer Financial has a wealth of experience with assisting our clients with the bond rating process. Graphs of 2015 total sales for Speer Financial are shown below. **Figure B** illustrates the breakdown of Speer's 2015 sales which were rated (80.3%), rated and insured (1.4%), or not rated (17.6%). The amount of issues sold with a credit rating is up from 51.94% in 2008 due to the increasing

importance of an underlying rating after the 2008 credit crisis.



Rating Analysis

Prior to requesting a rating, it is important to analyze the Village's current credit characteristics and apply those to each rating agency's current rating methodology. This gives a clear picture of the strengths to highlight to the rating agency during the meeting or presentation, as well as any weaknesses or areas of opportunity to discuss and mitigate, if possible.

Both Moody's and Standard and Poor's have recently changed their methodology for rating local government GO bonds. Each agency has attempted to be more quantitative and transparent in how ratings are calculated. However, specific differences do exist between the two methodologies.

Prior to any rating agency contact, Speer will review the Village's credit characteristics and independently calculate a bond rating. This independent review will assist the Village in understanding the factors the agencies use when analyzing a rating and the likely rating outcome given a change in those factors.

As an example, Speer has prepared a brief comparative ratings analysis and attached it below. A comparative analysis is beneficial to show the Village's rating characteristics versus other Aaa rated Illinois communities. This aids in identifying areas of strength to highlight during the rating discussion and any areas of opportunity that can be discussed and mitigated (if possible).

	Representative Local Aaa Rated Municipalities ⁽¹⁾			
	The Village (1)		Buffalo Grove	Northbrook
	Aaa		Aaa	Aaa
Financial Statistics & Ratios	Value	Rank		
Total Operating Revenues (\$000)	\$25,287	3	\$38,306	\$44,791
Available Fund Balance as % of Revenues	91.6%	1	69.6%	49.3%
Available Cash Balance as % of Revenues	79.0%	1	35.1%	55.6%
Tax Base Statistics and Ratios				
Total Full Value (\$000)	\$3,685,252	3	\$4,275,182	\$6,552,144
Full Value Per Capita (\$)	\$201,413	1	\$103,026	\$197,532
Population 2010 Census	18,225	3	41,496	33,170
Median Family Income as % of U.S.	254.4%	1	176.6%	217.0%
Debt Statistics and Ratios				
Direct Net Debt as % of Full Value	1.7%	3	0.3%	1.5%
Direct Net Debt / Operating Revenues (x)	2.5x	3	.03x	2.2x
Moody's Adjusted NPL (3 year) to Revenues	1.7x	2	3.0x	3.3x
Moody's Adjusted NPL (3 year) to Full Value	1.2%	2	3.4%	2.3%

Notes: (1) Compiled from the most recent information available including the latest rating reports, audited financial statements, official statements and Census data.

6. *A description of the information normally presented to the rating agencies.*

Preparation of Materials for the Rating Agency

Prior to Rating Meeting

In order to facilitate the credit review by rating agencies, Speer Financial normally provides, among other items, five years of audited financial statements, the estimated debt service schedule for the current offering and the Preliminary Official Statement. Other information may be provided such as material that is pertinent to the issuer's long term capital planning, the current project being financed and related debt planning as well as year to date operating results compared to the current budget. Supplemental information to be provided is evaluated on a case by case basis, including on-site tours.

Information Prepared For the Meeting/Call

At times, it is only necessary to facilitate a conference call between the Village and the rating agency to discuss updates since the last meeting and answer any specific questions. For these situations, Speer will gather the rating agency's questions ahead of the call and work with the Village to provide information and answer each specific question.

When it is determined that a full rating presentation in the Village or Chicago is advantageous, Speer will assist the Village in the preparation of a rating agency presentation, or other necessary materials. Speer utilizes a collaborative effort to prepare rating agency presentation materials. This effort begins with Speer's in-depth research of the rating agency(ies) and the specific rating criteria for the type of bond issue contemplated. Then, Speer will analyze the Village's particular strengths and areas of improvement within the rating factors. Using this information, Speer will work with your staff to draft a presentation that helps highlight the Village's strengths while mitigating any perceived areas of improvement.

A first draft of the rating agency presentation would be sent to the Village with specifically marked areas for the Village to provide information. The items needed from the Village would consist of information such as the future economic developments, management policies, future capital plans, future borrowing plans and other information that will be important to highlight to the rating agency.

Once completed, the final presentation will present a clear and straight forward message to the agency(ies) regarding the credits strengths of the Village.

7. *A brief summary of the firm's philosophy on the use of premiums, discounts and call provisions.*

Bond Pricing Philosophy

Speer Financial believes that the use of modest premiums or discounts in the pricing of securities in order to garner the most investor interest is appropriate, so long as the pricing strategy fits within the issuers financing goals.

During a competitive sale, bidding specifications set out the minimum purchase price in order to assure the issuers financing goals are achieved while keeping underwriting discounts within an acceptable level given current market conditions.

During a negotiated sale, it is important for your financial advisor to understand the mechanics of both premium and discount bonds and how each has an effect on the issuer's bond offering. If the use of a premium or discount structure increases investor demand for the security it can be seen as favorable so long as it has a positive effect on the final yield to the issuer. However, the use of large premium bonds or large discount bonds in the longer maturities after the optional call date need to be closely monitored as they can have a negative effect to the interest cost or future refinancing ability of the issuer.

A conversation with the Village staff and the selected underwriter(s) for the financing will be helpful to examine the market at that time to enable reasonable and acceptable constraints to be established. No one customer should control but general market conditions must be acknowledged.

In the current market, Speer Financial generally recommends a seven to eight year call provision for smaller size non-institutional type debt instruments. The typical call provision for large offerings with longer maturity schedules that would appeal to institutional investors is ten years.

8. The extent to which municipal equity should be used as a source of financing.

Municipal Equity vs. Debt Financing

In determining whether an issuer should finance a capital project through a debt issuance, or utilize municipal equity or a pay as you go financing method, the following topics should be discussed:

Current Fund Balance: In maintaining a proper fund balance, a municipal issuer has to consider its liquidity as well as the thoughts of its residents. Maintaining a fund balance that is too low can strain liquidity and create a credit concern (discussed below). Conversely, a fund balance that is too high may draw criticism if the issuer intends on issuing debt for a future project.

Rating Agency Considerations: An important factor in the determination of an issuer's credit rating is its liquidity and thus its fund balance. While elevated debt levels can create a rating concern, the issuer's finances and its liquidity are weighted more heavily by the rating agencies. Therefore, straining the issuer's fund balance level in order to fund capital projects may negatively affect the issuer's credit rating and make it more costly for future debt issuances, should they be necessary.

Earnings on Investments: In the current market, issuers are typically earning very little investment return on their excess capital. Bond rates, while currently low, are typically higher than short-term investment earnings. Given this fact, issuers may find it financially prudent to use excess municipal equity to downsize or eliminate the need for a debt issuance.

Proper consideration needs to be given to each of these topics prior to determining whether to use municipal equity rather than a debt issuance.

9. A brief summary of the approach the firm would take in preparing the POS.

Preparation of the Preliminary Official Statement

Speer's approach in preparing the Official Statement is to present information describing the issuer, socioeconomic characteristics, debt, property tax and assessment information and finances plus appropriate text in clearly identified sections, in a complete, simple and easy to read format. Tables are typically presented with a five-year trend, where applicable. Footnotes are kept simple. The Official Statement in this format is prepared to be an easy document for the investor community to read and digest.

The information is compiled by Speer on behalf of the issuer from the counties, state and other sources. Our view is that issuer staff has other duties in their work day and we are to do as comprehensive a job as possible. However, the Official Statement is legally the issuer's document, not that of Speer Financial, and therefore must be reviewed carefully by the issuer. We will assist the issuer in its review of information in the Official Statement.

10. A description of the information that the financial advisor would expect the Village to provide for the preparation of the POS.

Information Requested From the Village for the POS

As discussed above, Speer would compile most of the information for the POS from information readily available from the Village (financial statements, website, budget documents) as well as the counties and the state. Once a first draft of the POS has been created, Speer would distribute the document to the working group with only minor information for the Village to complete. This would typically include:

- Any available interim financial information;
- Current year property tax collections;
- Village specific information including staffing levels and labor union participation; and
- Economic development highlights.

11. The merits of using fixed rate and/or variable rate debt structures.

Fixed Rate Bonds

Fixed rate debt is the most common type of debt issued in the municipal securities market. Fixed rate debt has many benefits over variable rate debt, including:

- Budgetary certainty;
- No need for ongoing remarketing or liquidity support;
- Currently low long-term bond rates;
- Wide market acceptance; and
- Lower credit concern as compared to variable rate bonds.

While fixed-rate bonds offer several benefits, their use may not be beneficial to all issuers in all situations.

Variable Rate Bonds

Variable rate debt is a financing tool that has been utilized by many issuers, though a smaller number in recent years, to minimize overall annual debt service and provide maximum flexibility. Variable rate securities have interest rates that change (or “reset”) at a defined time (weekly, monthly, etc.) by a remarketing agent. Because investors can redeem these securities in a short period of time, they are willing to accept a lower interest rate for their investment. This allows the issuer to pay short-term rates over the life of a long-term financing, which is a benefit during a stable market. Variable rate securities are also generally callable at any time (or any interest payment date) allowing the issuer to refinance and/or restructure their long term-debt more rapidly than a fixed rate issuance.

Variable rate debt issuance peaked in 2010 and its use has fallen significantly since that time. Several factors in its decline as well as variable rate concerns are listed below:

- Relatively low current long-term fixed interest rates;
- Fewer highly rated bank credit and liquidity providers and tighter lending standards;
- The withdrawal of many non-U.S. Banks from the municipal market;
- Uncertainty in the budgetary process due to changing debt service levels;
- Potential credit concerns;
- Potential for a sharp rise in short-term rates due to the wider economy or the issuer’s credit; and
- Debt service coverage shortfalls due to increasing short-term interest rates.

A variation of the variable rate structure is the floating rate note (“FRN”). FRNs can offer an issuer an alternative to traditional fixed-rate bonds, while eliminating the need for the liquidity support from a bank necessary on variable rate demand obligations. FRNs are municipal obligations with interest rates that reset on a regular interval, often monthly or quarterly. Interest rates are tied to a benchmark rate, often the SIFMA seven-day swap rate or the three-month LIBOR, plus a fixed spread which is negotiated at issuance. Because of this, FRNs do not rely on continuing demand in the secondary market. While the issuance of FRNs does eliminate the credit/liquidity facility renewal risks associated with traditional variable rate demand obligation, it does not eliminate the other risks associated with a variable rate transaction, such as interest rate risk.

Fixed vs. Variable

Both fixed and variable rate securities offer their own relative benefits and drawbacks and each should be analyzed carefully to determine the proper financing method for a Village offering. Fixed rate bonds offer long term predictability and rates are currently low. Variable rate bonds create additional risks with a floating rate, but may be cost effective and provide for additional flexibility given the ability to call the bonds at any time.

If the Village were to issue variable rate bonds, it should also consider establishing a formal policy for the maximum amount of variable rate debt that it would accept in its debt portfolio. A high amount of variable rate debt can be a credit concern for the rating agencies.

E. Fee Proposals:

1. *Services as Financial Advisor. Proposers shall present fee proposals to serve as financial advisor for this general obligation bond issue. Since the dollar amounts of planned bond issues are tentative and subject to change, the fee proposals may be structured as either a fee scale based on a specific dollar amount per bond, as a fixed dollar amount, or as a fee scale with a not-to-exceed amount. Any expenses that proposers expect to be reimbursed by the Village outside of the quoted fees must be listed and estimated.*

Fee Proposal

This proposal is for our professional services only and does not include the expenditure of any funds on behalf of the Village. The Village is to pay all of its own ordinary expenses in connection with a bond issue. These include, but may not be limited to, professional services (attorney, bond counsel, architect, engineer and auditor), credit enhancement (rating, insurance, letters of credit), delivery (postage, express mail, fax service), publication/printing fees (official statement, notice of sale, bid forms, report duplication), bidding vehicles (SpeerAuction.com or SpeerBids.com) and transaction costs (CUSIP, registration/paying agent).

Our fee for security sales is payable from sale proceeds. Our fee for each sale is based upon the par amount of securities issued (plus any reoffering premium, as applicable), and is calculated as follows:

Financial Advisory Services:	\$10,000 plus 1/10 of 1% of the municipal securities issued
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Our fee is the same for competitive and negotiated sales. Our recommendation on the method of sale is based on the best interests of the Village and is not influenced by our fee. The fee is due upon the sale of the debt instrument and payable upon receipt of proceeds. Should the debt not be sold, there is no obligation to pay our fee.

The typical transaction expenses which pass through Speer Financial and are reimbursed by the issuer are listed above and are estimated as follows:

POS/OS Printing, Copying, Postage and Delivery:	\$1,000
Auction Platform (Competitive Sale):	\$2,500-\$5,000 (depending on the size of the issue)
Good Faith Escrow Services (Competitive Sale):	\$250

See Appendix E for a draft of Speer's proposed Financial Services Agreement.

2. *Hourly Fees. Proposers shall also discuss and present fee proposals for work that the Village might request that might not result in debt issuance, such as services discussed under section B4, above. Such rates shall include any and all direct and indirect costs. Proposers shall discuss the extent to which it would waive fees for relatively minor work.*

Hourly Fees

For general consulting services, Speer would charge \$150.00 per hour.

Speer would only charge this rate upon discussion with the Village and approval of a project that will not be related to a bond issue.

Speer will not charge for general requests from the Village related to previous or future debt issuances, refunding opportunities, rating agency discussions, and reviewing proposals or financing ideas submitted by underwriters.

3. *Continuing Disclosure. The financial advisor will provide the Village with an estimate of the fee to be charged for the preparation of the required financial information needed to meet continuing disclosure requirements each year.*

Continuing Disclosure Service Fee

Fees in connection with Continuing Disclosure Services rendered shall be provided at the following hourly rates:

Municipal Advisor Personnel: \$100/hour
Administrative Personnel: \$50/hour

Speer will also charge \$100 for each filing made by it in accordance with SEC Rule 15c2-12, including any filing made with the Municipal Securities Rulemaking Board's Electronic Municipal Market Access (EMMA) system.

For the preparation and filing of a typical continuing disclosure document, Speer's annual fee is between \$600.00 and \$1,000.00.

Financial Planning and Municipal Security Sale Services

FINANCIAL PLANNING AND MUNICIPAL SECURITY SALE SERVICES

Speer Financial will provide the following services and any others necessary to complete the security sale:

A. Financial Planning Services

(1) Orientation

We will review your current financial position, statutory authority and financing capabilities, including whether a refunding or defeasance of any outstanding debt is appropriate.

(2) Coordination

We will coordinate all financial planning and issuance details with staff, bond counsel, printers, rating agencies and other involved parties.

(3) Availability

Members of our staff will be available to consult with the elected and key appointed officials and staff regarding all phases of the development and implementation of a financing plan. We will respond to any inquiries from the general public relating to the proposed sale.

(4) Planning

We will develop a debt financing plan that includes:

(f) Maturity Schedules

We will prepare alternative maturity schedules. The schedules could “wrap” around existing debt to provide stable tax rates, level debt service payments, or meet other policy or cash flow requirements.

(b) Market Receptivity

We will evaluate potential market receptivity for each debt issuance and recommend the most suitable sale option.

(c) Tax Law

We will evaluate the ramifications of Federal tax law on the financial plan to maximize any cost savings available to the issuer.

(d) Security Registrar and Paying Agent

We will compare security registrar and paying agent fees and make recommendations for the selection of a Registrar and Paying Agent who most capably and economically meets a client’s need.

(e) Credit Rating and/or Insurance

We will evaluate the costs and benefits of obtaining a credit rating and/or insurance. We will review the merits of credit enhancement and should the cost effectiveness be warranted, recommend the rating and/or insurance firm (or firms) to which application should be made.

(f) Competitive and Negotiated Sale of Debt Securities

We will analyze and make a recommendation on which method of sale is appropriate.

SPEER FINANCIAL INC.

FINANCIAL PLANNING AND MUNICIPAL SECURITY SALE SERVICES

(Page 2 of 3)

The decision to sell securities competitively or by negotiation is largely subjective and must be made on a case-by-case basis. The **circumstances which indicate a negotiated sale** include:

- (1) Either unusually large or very small debt issue amount;
- (2) Complex or non-traditional financing structure;
- (3) Issuer's first time into the public debt marketplace;
- (4) Issuer has a low or uncertain credit rating;
- (5) Volatile market conditions.

The **circumstances which indicate a competitive sale** include:

- (1) Attractive debt amount of \$500,000 and up;
- (2) Traditional financing structure such as a general obligation;
- (3) Good reputation in the debt marketplace;
- (4) Stable credit rating;
- (5) Stable market conditions.

(g) Tentative Financing Timeline

We will prepare a tentative financing timeline to guide officials regarding issuance topics and timing.

B. Bond Sale Services

To facilitate sale of a client's debt issue(s), our services include:

(1) Legal Proceedings

When the recommended plan of financing has been approved by the client, we will specify to the issuer's attorney and bond counsel the financial provisions to be included in the legal proceedings authorizing the debt issuance.

(2) Credit Rating and/or Insurance

When a credit rating and/or insurance is found to be cost effective, we will submit the necessary data and arrange for presentation of the material to the selected rating and/or insurance company(ies).

(3) Official Statement, Notice of Sale and Bid Forms

(a) Preparation of Documents

We will compile a Preliminary Official Statement, Notice of Sale and a Bid Form for each competitive sale. The Official Statement will describe the securities and contain detailed information about the issuer to permit prospective purchasers to make intelligent judgments.

(b) Notice of Sale Publication

We will notify the market of the sale without cost to the issuer and prepare a summary Notice of Sale for publication in The Bond Buyer (a trade journal published in New York City) if such a paid advertisement is warranted and so authorized.

FINANCIAL PLANNING AND MUNICIPAL SECURITY SALE SERVICES

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(c) Encouragement to Bidders

Upon authorization from the issuer, we will circulate the Preliminary Official Statement to our list of interested parties, including investment institutions, banks and underwriters, to induce the best possible bid for the securities. We will also make personal contacts to induce formation of bidding groups. In this manner, we generate as many bids as possible. A supply of Preliminary Official Statements and Official Bid Forms for each sale are furnished to the issuer for hand distribution to local banks and elected officials.

(d) Bid Opening, Analysis and Recommendations

We will conduct each sale, examine the bids submitted for completeness and compliance with the bid requirements and evaluate the bid(s) for accuracy. We recommend which bid, if any, should be accepted.

(4) Preparation, Registration and Delivery of Securities

We will conduct all steps necessary to complete the financing, including monitoring the preparation, registration and delivery of the securities being issued.

(5) Debt Service Schedule

We will provide the issuer with a final debt service schedule and other materials pertinent to the security sale.

(6) Sale Proceeds Investment Schedule

Upon request, we will estimate a realistic time schedule for the expenditure of security proceeds to enable unexpended amounts to be invested and thereby help offset interest expense.

C. Negotiated Sale

In the event of a negotiated sale, Speer Financial will also help the issuer select an underwriter or syndicate and will lead negotiations for the interest rates, terms and conditions of the debt issue.

**Client Sales of Securities Since April 2015
(All Illinois Issuers)**

SPEER FINANCIAL, INC.

CLIENT SALES OF SECURITIES (All Illinois Issuers)

April 2015 - April 2016

Issuer	Investment	Issue	Type of	Date	# of	Net/True Interest Rate		Last
	Rating	Size	Security	of Sale	Bidders	Low Bid	High Bid	Maturity
1 Lake Zurich, IL	AAA	11,775,000	Taxable G.O. Ref (Sales Tax Alt) 2015A	4/6/2015	3	3.6213%	3.6632%	2034
2 South Holland, IL	Aa3	2,665,000	Taxable G.O. Ref 2015A	4/6/2015	4	2.8135%	3.4106%	2026
3 South Holland, IL	Aa3	3,220,000	G.O. Ref 2015B	4/6/2015	3	2.3563%	2.8557%	2026
4 Peoria, IL	Aa3	12,935,000	G.O. Ref 2015A	4/7/2015	Neg.	1.7091%		2021
5 Peoria, IL	Aa3	12,060,000	G.O. Ref 2015B	4/7/2015	Neg.	2.6446%		2027
6 Dolton PD, IL	N/R	373,000	CBD Match Debt Certificates 2015	4/8/2015	Neg.	3.8500%		2021
7 Elgin, IL	AA+	8,855,000	G.O. Ref 2015A	4/8/2015	Neg.	2.2106%		2027
8 Elgin, IL	AA+	2,090,000	Taxable G.O. Ref 2015B	4/8/2015	Neg.	1.7166%		2019
9 Western Springs, IL	Aa2	3,000,000	G.O. (Utility Tax Alt) 2015A	4/13/2015	7	2.0897%	2.4946%	2027
10 Western Springs, IL	Aa2	2,480,000	G.O. Limited 2015B	4/13/2015	5	2.2391%	2.3777%	2027
11 Waukegan, IL	A2	7,005,000	G.O. 2015A	4/16/2015	Neg.	3.8767%		2032
12 Monmouth, IL	A+	7,240,861	G.O. (Capital Appreciation) 2015A	4/20/2015	Neg.	4.9867%		2044
13 Monmouth, IL	A+	4,060,000	G.O. Ref 2015B	4/20/2015	2	3.1718%	3.1778%	2029
14 Galesburg, IL	Aa3	8,290,000	G.O. Ref 2015	4/20/2015	2	2.7497%	2.7397%	2032
15 McHenry, IL	Aa2	6,375,000	G.O. 2015	4/20/2015	6	2.3551%	2.6417%	2035
16 Kendall County FPD, IL	A-	9,360,000	G.O. Ref 2015	4/22/2015	Neg.	3.2682%		2027
17 Sycamore PD, IL	A/AA(Ins)	1,620,000	G.O. Ref Park (Alt) 2015A	4/28/2015	3	2.2755%	3.0000%	2025
18 Minooka, IL	AA-	2,150,000	G.O. Ref (Alt) 2015	4/28/2015	Neg.	2.3544%		2026
19 Palos Heights, IL	AA+	6,300,000	G.O. 2015	5/5/2015	2	3.1181%	3.1899%	2034
20 Aurora, IL	AA+	28,455,000	Water & Sewerage Rev Ref 2015-B	5/12/2015	3	3.6486%	3.7372%	2036
21 Rockford PD, IL	Aa3	5,100,000	Taxable G.O. Ltd Tax Park 2015A	5/26/2015	3	1.1754%	1.7899%	2016
22 East Dundee, IL	A1	5,450,000	G.O. 2015	6/1/2015	4	2.6908%	3.2908%	2024
23 Joliet, IL	AA	6,775,000	G.O. Ref 2015A	6/9/2015	Neg.	2.4942%		2021
24 Winnebago, IL	Aa2	3,085,000	G.O. Debt Certificates 2015A	6/11/2015	4	2.6795%	3.5338%	2024
25 Elmhurst, IL	AAA	16,000,000	G.O. 2015	6/15/2015	8	3.2617%	3.5259%	2034
26 Lake County, IL	Aaa/AAA	90,000,000	G.O. (Sales Tax Alt) 2015A	6/16/2015	8	3.7565%	3.8888%	2044
27 Lockport, IL	AA+	1,275,000	G.O. Ltd Tax 2015	6/17/2015	3	1.2594%	1.7735%	2018
28 Yorkville, IL	AA-	5,575,000	G.O. (Alt) 2015A	6/23/2015	3	3.3278%	3.7341%	2034
29 Matteson SD#162, IL	Aa3	3,475,000	G.O. Ref Ltd. School 2015A	7/7/2015	Neg.	2.7998%		2028
30 Springfield Metro SD, IL	AA	22,080,000	G.O. (Alt) 2015A	7/16/2015	Neg.	4.8078%		2053
31 Springfield Metro SD, IL	AA	2,915,000	Taxable G.O. (Alt) 2015C	7/16/2015	Neg.	5.2491%		2038
32 Hoffman Estates, IL	AA+	6,125,000	G.O. 2015B	7/21/2015	Neg.	3.0099%		2029
33 CLCJAWA, IL	Aa2	9,450,000	Water Revenue Refunding 2015B	7/28/2015	Neg.	3.1275%		2029
34 Hoffman Estates, IL	AA+	23,415,000	Taxable G.O. Ref 2015A	7/28/2015	Neg.	3.7060%		2033
35 Lake Forest, IL	Aaa	9,780,000	G.O. 2015	8/3/2015	9	3.0396%	3.2864%	2036
36 Tinley Park PD, IL	Aa2	5,205,000	G.O. Ref Park 2015	8/5/2015	9	1.2547%	1.4312%	2019
37 Darien PD, IL	AA	6,565,000	G.O. Ref Park (Alt) 2015B	8/10/2015	3	2.6044%	2.7461%	2027
38 Waukegan PD, IL	AA	9,035,000	G.O. Ref Park (Alt) 2015A	8/11/2015	4	3.0243%	3.3422%	2028

SPEER FINANCIAL, INC.

CLIENT SALES OF SECURITIES (All Illinois Issuers)

April 2015 - April 2016

<u>Issuer</u>	<u>Investment Rating</u>	<u>Issue Size</u>	<u>Type of Security</u>	<u>Date of Sale</u>	<u># of Bidders</u>	<u>Net/True Interest Rate</u>		<u>Last Maturity</u>
						<u>Low Bid</u>	<u>High Bid</u>	
39 Kankakee, IL	A	7,035,000	Sewer Revenue 2015	8/13/2015	Neg.	3.9650%		2035
40 Orland Park, IL	AA+	4,475,000	G.O. Ref 2015A	8/17/2015	Neg.	1.5559%		2019
41 Boone County, IL	Aa2	3,165,000	G.O. Ref, Sales Tax Alt 2015A	8/19/2015	3	2.5816%	2.6643%	2028
42 Rock Island, IL	Aa2	6,075,000	G.O. 2015A	8/24/2015	5	2.9539%	3.7097%	2035
43 Northwest Water Comm, IL	Aa2	9,820,000	Water Rev 2015	9/2/2015	6	2.4231%	3.2756%	2025
44 Clarendon Hills, IL	AAA	1,300,000	G.O. (Alt) 2015	9/8/2015	4	2.6771%	3.3908%	2031
45 Wheaton PD, IL	Aa2	3,660,000	G.O. Ref Park 2015A	9/9/2015	4	1.9110%	1.9840%	2022
46 Wheaton PD, IL	Aa2	14,925,000	Taxable G.O. Ref 2015B	9/9/2015	7	2.2700%	2.6380%	2022
47 Savanna PD, IL	N/R	40,000	G.O. Park 2015	9/10/2015	1	1.9900%		2016
48 Schiller Park, IL	AA-	2,525,000	Taxable G.O. Ref 2015A	9/10/2015	1	4.2020%		2026
49 Schiller Park, IL	AA-	2,685,000	G.O. Ref 2015B	9/10/2015	1	3.6190%		2029
50 Lombard PD, IL	AA	3,725,000	G.O. Ref Park 2015A	9/22/2015	4	2.1865%	2.8194%	2023
51 Aurora, IL	AA	69,185,000	G.O. Ref 2015C	9/22/2015	6	3.5735%	4.1089%	2038
52 Mt. Prospect PD, IL	AA	2,635,000	G.O. Limited Tax Park 2015	9/23/2015	5	1.3015%	1.8907%	2019
53 Dunleith PD, IL	N/R	1,250,000	G.O. Ref Park 2015	9/24/2015	Neg.	3.2290%		2027
54 Hoffman Estates, IL	Aa2/AA+	21,905,000	Taxable G.O. Ref 2015C	9/29/2015	Neg.	4.7940%		2030
55 Harper CC# 512, IL	Aaa	20,110,000	G.O. Ref 2015B	9/30/2015	8	1.2037%	1.4315%	2020
56 Genoa Township PD, IL	N/R	263,755	G.O. Ltd Tax Park Series 2015	10/1/2015	2	1.7400%	2.4500%	2016
57 Chicago Park District, IL	AA+/AA-/AA	40,000,000	G.O. Ltd Tax Park 2015A	10/2/2016	Neg.	5.0000%		2030
58 Chicago Park District, IL	AA+/AA-/AA	57,970,000	G.O. Ltd Tax Ref 2015B	10/2/2016	Neg.	4.0000%		2030
59 Chicago Park District, IL	AA+/AA-/AA	15,905,000	G.O. Ltd Tax Ref 2015C	10/2/2016	Neg.	4.0000%		2024
60 Chicago Park District, IL	AA+/AA-/AA	27,665,000	G.O. Unltd Tax Ref (Pers Prop Replacment Alt) 2015D	10/2/2016	Neg.	4.0000%		2029
61 Loves Park, IL	AA-	8,500,000	G.O. Debt Certificates, Series 2015	10/5/2015	Neg.	1.9970%		2024
62 Rock Island, IL	Aa2	4,505,640	G.O. Ref 2015B	10/5/2015	Neg.	2.1802%		2026
63 Peoria, IL	Aa3/AA-	7,600,000	Taxable G.O. Series 2015C	10/6/2015	4	4.6052%	4.7713%	2037
64 Peoria, IL	Aa3/AA-	2,000,000	Taxable G.O. 2015D	10/6/2015	3	4.6924%	4.7535%	2037
65 Matteson SD#162, IL	Aa3	3,285,000	G.O. Ref Ltd. School 2015B	10/7/2015	Neg.	2.8453%		2028
66 Carbondale Park District	N/R	651,680	G.O. Ltd Tax Park Bonds 2015	10/12/2015	2	1.4900%	1.5500%	2016
67 Libertyville, IL	Aa2	5,000,000	G.O. 2015A	10/13/2015	5	2.8742%	3.2307%	2032
68 Libertyville, IL	Aa2	4,200,000	G.O. (Waterworks & Sewerage System Alt.) 2015B	10/13/2015	4	2.9762%	3.0362%	2032
69 County Club Hills PD, IL	N/R	75,210	Taxable G.O. Ltd Tax Park 2015A	10/14/2015	Neg.	2.5000%		2016
70 County Club Hills PD, IL	N/R	495,715	G.O. Ltd Tax Park 2015B	10/14/2015	1	1.8500%		2016
71 Bloomingdale PD, IL	N/R	654,940	G.O. Ltd Tax Park 2015	10/15/2015	4	0.8900%	2.6250%	2016
72 Riverside, IL	N/R	604,000	G.O. Ltd Tax Ref 2015A	10/15/2015	2	1.3400%	1.4600%	2017
73 Veterans PD, IL	N/R	820,415	G.O. Park (Alt) 2015	10/15/2015	3	1.0500%	2.6250%	2016
74 Lan-Oak PD, IL	N/R	396,360	G.O. Ltd Tax Park 2015	10/15/2015	3	1.1500%	2.7500%	2016
75 Oak Park, IL	Aa3	13,470,000	G.O. Corp. Purpose Ref 2015A	10/19/2015	7	2.7924%	2.9867%	2028
76 Dundee Township PD, IL	N/R	1,889,000	G.O. Ltd. Tax Park 2015	10/20/2015	2	1.0900%	1.4760%	2016

SPEER FINANCIAL, INC.

CLIENT SALES OF SECURITIES (All Illinois Issuers)

April 2015 - April 2016

<u>Issuer</u>	<u>Investment Rating</u>	<u>Issue Size</u>	<u>Type of Security</u>	<u>Date of Sale</u>	<u># of Bidders</u>	<u>Net/True Interest Rate</u>		<u>Last Maturity</u>
						<u>Low Bid</u>	<u>High Bid</u>	
77 Gurnee PD, IL	AA+	3,910,000	G.O. Ref Park (Alt) 2015B	10/20/2015	5	1.8126%	2.4496%	2024
78 Gurnee PD, IL	N/R	951,325	Taxable G.O. Ltd Tax Park 2015A	10/20/2015	Neg.	1.0500%		2016
79 Prospect Heights PD, IL	N/R	560,340	G.O. Ltd. Tax Park 2015	10/20/2015	2	0.8200%	1.2300%	2016
80 Vernon Hills, IL	AAA	2,005,000	G.O. 2015A	10/20/2015	4	2.6194%	2.9294%	2034
81 Vernon Hills, IL	AAA	5,255,000	G.O. Ref 2015B	10/20/2015	8	1.8340%	2.0200%	2026
82 Wheaton PD, IL	Aa2	2,915,000	G.O. Ltd Tax Ref Park 2015C	10/21/2015	4	2.3761%	2.5249%	2026
83 Wheaton PD, IL	Aa2	3,020,000	Taxable G.O. Ltd Tax Park 2015D	10/21/2015	6	1.9475%	2.0349%	2021
84 Breese, IL	N/R	1,480,000	G.O. Ref (Tax Increment Alt) 2015	10/22/2015	Neg.	2.0710%		2021
85 Pekin PD, IL	N/R	682,000	G.O. Ltd. Tax Park 2015	10/22/2015	2	1.4500%	1.5381%	2017
86 Hanover Park PD, IL	N/R	655,000	G.O. Ltd Tax Park 2015	10/26/2015	1	2.0000%		2017
87 Waukegan PD, IL	N/R	775,000	G.O. Ltd Tax Ref Park 2015B	10/27/2015	5	1.0000%	2.1752%	2016
88 Waukegan PD, IL	N/R	931,255	Taxable G.O. Ltd Tax Ref Park 2015C	10/27/2015	4	1.0500%	3.0000%	2016
89 Channahon PD, IL	N/R	148,585	Taxable G.O. Ltd Tax Park 2015A	10/28/2015	1	2.8000%		2016
90 Channahon PD, IL	N/R	634,810	G.O. Ltd Tax Park 2015B	10/28/2015	1	1.9900%		2017
91 Chicago Ridge PD, IL	N/R	337,235	G.O. Ltd Tax Park 2015	10/28/2015	2	1.4300%	1.6500%	2016
92 Freeport PD, IL	N/R	660,000	G.O. Ltd Tax Park 2015	11/2/2015	2	1.2100%	1.2500%	2016
93 Palatine, IL	AA+	7,165,000	G.O. 2015	11/2/2015	5	1.9665%	2.0972%	2025
94 Matteson, IL	N/R	9,550,000	Limited Obligation Tax Increment Rev 2015	11/2/2015	PP	6.5000%		2035
95 Westchester PD, IL	N/R	525,180	G.O. Ltd Tax Park 2015	11/5/2015	2	1.2000%	1.4300%	2016
96 Fox Valley PD, IL	AA+	3,185,000	G.O. Ltd Tax Park 2015A	11/9/2015	5	1.1970%	1.4150%	2018
97 Fox Valley PD, IL	AA+	23,825,000	G.O. Ref Park 2015B	11/9/2015	6	2.3081%	2.5279%	2027
98 Lake County Forest PD, IL	Aaa/AAA	25,010,000	G.O. Land Acquisition & Development 2015	11/9/2015	6	3.0337%	3.3384%	2032
99 Urbana PD, IL	N/R	710,000	G.O. Ltd Tax Park 2015	11/10/2015	2	1.0917%	1.1900%	2017
100 St. Charles PD, IL	AA	9,470,000	G.O. Ref Park 2015	11/10/2015	3	2.7762%	2.9050%	2027
101 Willow Springs, IL	N/R	98,715	Taxable G.O. Ltd Tax 2015	11/12/2015	Neg.	2.2500%		2016
102 Addison, IL	AA+	8,995,000	G.O. Ref 2015	11/16/2015	Neg.	2.5031%		2026
103 Rockford, IL	A1	6,315,000	G.O. (Sales Tax Alt) 2015A	11/16/2015	3	3.6116%	3.8095%	2035
104 Zion PD, IL	N/R	338,305	G.O. Ltd Tax Park 2015A	11/17/2015	Neg.	1.9500%		2016
105 Zion PD, IL	N/R	366,525	G.O. Ltd Tax Ref Park 2015B	11/17/2015	2	1.9500%	2.9400%	2017
106 Warrenville PD, IL	N/R	294,605	G.O. Ltd Tax Park 2015	11/17/2015	2	1.4300%	1.7017%	2018
107 Wheaton PD, IL	N/R	1,596,575	G.O. Ltd Tax Park 2015E	11/17/2015	2	0.9500%	0.9700%	2016
108 Bensenville PD, IL	N/R	350,000	G.O. Ltd Tax Park 2015	11/17/2015	3	1.1100%	1.3500%	2017
109 Hawthorne PD, IL	N/R	168,440	G.O. Ltd Tax Park 2015	11/17/2015	1	1.8900%		2016
110 Campton Township, IL	AA	15,890,000	G.O. Ref 2015	11/17/2015	3	2.2311%	2.2874%	2023
111 Cary PD, IL	N/R	686,315	G.O. Ltd Tax Park 2015	11/18/2015	4	1.1300%	2.5000%	2016
112 Vernon Hills PD, IL	N/R	992,285	G.O. Ltd Tax Park 2015	11/18/2015	3	1.0300%	2.5000%	2016
113 Crystal Lake PD, IL	N/R	639,590	G.O. Ltd Tax Park 2015	11/18/2015	3	1.1800%	2.5000%	2016
114 Sycamore PD, IL	N/R	478,765	G.O. Ltd Tax Park 2015	11/19/2015	2	1.1000%	1.1800%	2016

SPEER FINANCIAL, INC.

CLIENT SALES OF SECURITIES (All Illinois Issuers)

April 2015 - April 2016

<u>Issuer</u>	<u>Investment</u>	<u>Issue</u>	<u>Type of</u>	<u>Date</u>	<u># of</u>	<u>Net/True Interest Rate</u>		<u>Last</u>
	<u>Rating</u>	<u>Size</u>	<u>Security</u>	<u>of Sale</u>	<u>Bidders</u>	<u>Low Bid</u>	<u>High Bid</u>	<u>Maturity</u>
115 Park District of Franklin Park, IL	N/R	974,475	G.O. Ltd Tax Park 2016	11/19/2015	1	0.9700%		2016
116 Waukegan, IL	A2	14,050,000	Taxable G.O. Ref 2015B	11/19/2015	Neg.	2.8394%		2024
117 Homewood-Flossmoor PD, IL	N/R	900,000	G.O. Ltd Tax Park 2015	11/30/2015	1	2.4300%		2017
118 Kane County FPD, IL	AA+	8,245,000	G.O. Ltd. Tax Ref 2015A	12/3/2015	5	2.3211%	2.4905%	2025
119 Kane County FPD, IL	AA+	1,185,000	G.O. Ref 2015B	12/3/2015	3	1.5729%	1.6265%	2019
120 Kankakee Valley PD, IL	N/R	215,510	G.O. Limited Tax Park Bonds, 2015	12/4/2015	Neg.	3.5000%		2016
121 Batavia, IL	Aa1	22,570,000	G.O. Ref 2015	12/7/2015	4	3.2803%	3.7104%	2037
122 Oak Park, IL	Aa3	9,000,000	G.O. Corp. Purpose 2015B	12/7/2015	3	3.4687%	4.0153%	2040
123 Darien, IL	Aa2	1,360,000	G.O. Ref 2015	12/7/2015	Neg.	2.0863%		2024
124 Boubonnais Twshp PD, IL	N/R	852,910	G.O. Ltd Tax Park 2015	12/14/2015	3	1.8750%	2.7190%	2016
125 Batavia PD, IL	N/R	660,310	G.O. Ltd Tax Park 2015	12/15/2015	3	1.0300%	1.1500%	2016
126 Marengo PD, IL	N/R	135,250	G.O. Ltd Tax Park 2015	12/15/2015	1	1.6500%		2017
127 Zion, IL	N/R	1,175,000	G.O. Ref (W&S Alt) 2015	12/15/2015	PP	1.7303%		2021
128 Dolton PD, IL	N/R	85,105	G.O. Ltd. Tax Park 2016A	12/28/2016	Neg.	3.0000%		2016
129 Highland Park, IL	Aaa	8,915,000	G.O. 2016	1/11/2016	6	2.5106%	2.8473%	2034
130 North Berwyn PD, IL	N/R	162,890	G.O. Ltd. Tax Park 2016A	1/13/2016	Neg.	1.4900%		2016
131 Springfield, IL	A1/AA	29,125,000	G.O. 2016	1/15/2016	Neg.	2.9300%		2031
132 Arlington Heights, IL	Aa1	32,900,000	G.O. 2016	1/19/2016	6	2.9365%	3.1183%	2036
133 Galesburg, IL	A/A2/AA+(Ins)/A*	9,600,000	G.O. 2016	1/19/2016	5	2.9792%	3.3959%	2035
134 Rochester CUSD No. 3A, IL	AA(Ins)/A1	18,440,000	G.O. School Ref 2016	1/19/2016	3	3.5455%	3.7528%	2035
135 Springfield PD, IL	A3	3,440,000	G.O. Ltd Tax Ref Park 2016A	1/21/2016	3	2.4760%	3.0225%	2028
136 Springfield PD, IL	A3	2,440,000	G.O. Ref Park (Alt) 2016B	1/21/2016	2	2.3230%	2.3997%	2026
137 Lombard PD, IL	N/R	607,001	Taxable G.O. Ltd Tax Park 2016	1/21/2016	Neg.	1.0500%		2016
138 Bloomingdale PD, IL	N/R	522,000	G.O. Ltd Tax Ref Park 2016	1/25/2016	Neg.	3.1000%		2026
139 Roselle, IL	AA+	2,410,000	G.O. Ltd Tax 2016	1/25/2016	6	1.7741%	2.1501%	2025
140 Lincoln Land CC No. 526, IL	Aa2	9,710,000	G.O. Ref 2016	1/27/2016	3	2.1224%	2.3853%	2028
141 Decatur PD, IL	AA-	4,425,000	G.O. Park 2016	2/2/2016	2	1.0987%	1.1210%	2016
142 Matteson SD 162, IL	Aa3	9,035,000	G.O. Refunding School 2016	2/2/2016	Neg.	2.4051%		2016
143 River Trails PD, IL	N/R	822,930	G.O. Ltd Tax Park 2016	2/4/2016	4	0.7900%	2.5000%	2016
144 Darien PD, IL	N/R	936,550	G.O. Ltd Tax Park 2016	2/8/2016	5	1.1500%	2.5000%	2016
145 Rockford PD, IL	Aa3	2,370,000	G.O. Park (Alt) 2016A	2/9/2016	6	3.2325%	4.3148%	2034

SPEER FINANCIAL, INC.

CLIENT SALES OF SECURITIES (All Illinois Issuers)

April 2015 - April 2016

Issuer	Investment	Issue	Type of	Date	# of	Net/True Interest Rate		Last
	Rating	Size	Security	of Sale	Bidders	Low Bid	High Bid	Maturity
146 Rockford PD, IL	Aa3	2,075,000	Taxable G.O. Park (Alt) 2016B	2/9/2016	4	3.4516%	4.6300%	2030
147 Lake County, IL	N/R	2,245,000	SSA 13 2016	2/9/2016	Neg.	3.4324%		2027
148 Elgin, IL	AA+/AAA	24,995,000	G.O. Corp Purpose 2016	2/10/2016	5	2.4544%	2.5416%	2030
149 Des Plaines PD, IL	N/R	1,043,000	G.O. Ltd Tax Park 2016	2/16/2016	Neg.	1.3968%		2017
150 Broadview PD, IL	N/R	502,310	G.O. Ltd Tax Park 2016	2/18/2016	1	1.4700%		2017
151 Dolton PD, IL	N/R	122,465	G.O. Ltd Tax Park 2016B	2/18/2016	Neg.	2.0000%		2016
152 Kingsbury PD, IL	N/R	280,000	G.O. Park 2016	2/22/2016	1	1.7797%		2017
153 Peoria, IL	Aa3	19,070,000	G.O. Ref 2016B	3/1/2016	Neg.	2.6375%		2028
154 Kane County FPD, IL	AA+	5,725,000	G.O. Ltd Tax Ref 2016A	3/3/2016	4	1.8808%	1.8827%	2025
155 Kane County FPD, IL	AA+	5,860,000	Taxable G.O. Ref (Alt) 2016B	3/3/2016	7	2.9669%	3.2326%	2027
156 Paris, IL	AA/A	6,235,000	G.O. Ref (WWS Alt) 2016	3/14/2016	2	3.4623%	3.6083%	2035
157 CLCJAWA, IL	Aa2	9,265,000	Water Rev Ref 2016A	3/15/2016	Neg.	3.3598%		2032
158 Evanston/Skokie CSD 65, IL	Aa2	3,586,768	G.O. Tax School (Capital Apprec) Bonds 2016	3/21/2016	Neg.	4.3743%		2035
159 Oak Park, IL	Aa3/AA/Stable	20,300,000	G.O. Corp Purpose Ref 2016A	3/21/2016	5	3.2355%	3.6366%	2022
160 Oak Park, IL	Aa3/AA/Stable	4,075,000	Taxable G.O. Corp Purpose 2016B	3/21/2016	3	3.6471%	3.8901%	2019
161 Oak Park, IL	Aa3/AA/Stable	2,845,000	Taxable G.O. Corp Purpose 2016C	3/21/2016	3	2.3070%	2.4657%	2019
162 Hoffman Estates, IL	AA+/AA+	8,975,000	G.O. Refunding School 2016	3/22/2016	Neg.	3.0290%		2038
163 Hampshire, IL	A/A	1,175,000	G.O. Ref (Alt) 2016	3/23/2016	Neg.	3.1417%		2028
164 Winnebago County, IL	N/R	2,485,000	G.O. Alt. Ref Public Safety Sales Tax 2016A	3/24/2016	Neg.	3.5058%		2025
165 Riverdale PD, IL	N/R	133,200	G.O. Ltd Tax Park 2016	3/28/2016	1	4.0000%		2016
166 Peoria, IL	Aa3	9,710,000	Variable Rate G.O. Demand 2016A	3/29/2016	Neg.			2031
167 Romeoville, IL	Aa2	11,950,000	G.O. Ref 2016	3/29/2016	4	1.5499%	1.7188%	2020
168 Kankakee, IL	AA/A-	3,796,365	G.O. Ref 2016A	3/31/2016	Neg.	2.9059%		2027
169 Kankakee, IL	AA/A-	2,969,153	G.O. 2016B	3/31/2016	Neg.	3.6349%		2036
170 Kendall, IL	AA	5,045,000	G.O. Ref (Alt) 2016	4/5/2016	6	1.7813%	2.1888%	2027

The above listing is a full and complete record of Speer Financial's sales of municipal securities for the time period shown.

Note: All interest rates are Net Interest Cost (NIC) except where True Interest Cost (TIC) is specified.

THSD = Township High School District
PBC = Public Building Commission
SD = School District
PD = Park District
CCD = Community College District
FPD = Forest Preserve District
CUSD = Community Unit School District

Ref. = Refunding
ICC = Installment Contract Certificates
(Alt.) = G.O. (Alternate Revenue Source) Bonds
(Ins.) = Insured
DC = Debt Certificates

Moody's Rating Code: High to Low
Grades: Aaa, Aa, A, Baa
Within Each Non-Aaa Grade: 1, 2, 3
N/R = Not Rated

**Client Sales of Securities Since April 2014
(Illinois Municipal Issuers)**

SPEER FINANCIAL, INC.
CLIENT SALES OF SECURITIES (Illinois Municipal Issuers)
April 2014 - April 2016

Issuer	Investment	Issue	Type of	Date	# of	Net/True Interest Rate		Last	Home
	Rating	Size	Security	of Sale	Bidders	Low Bid	High Bid	Maturity	Rule Status
1 Hinsdale, IL	AAA/AAA	2,025,000	G.O. (Waterworks & Sewerage System Alt 2014A	4/8/2014	8	2.6799%	2.8711%	2029	Non-HR
2 Montgomery, IL	AA	3,335,000	Taxable G.O. Alt Ref 2014	4/14/2014	8	3.2167%	4.1062%	2024	Non-HR
3 Mattoon, IL	A1	8,715,000	G.O. Ref (Alt) 2014	5/22/2014	Neg.	1.7222%		2023	Non-HR
4 Marengo, IL	AA	4,975,000	G.O. (Alt) 2014	6/9/2014	2	3.2733%	3.3194%	2034	Non-HR
5 Hinsdale, IL	AAA/AAA	5,000,000	G.O. (Alt) 2014B	6/17/2014	5	2.9646%	3.2968%	2033	Non-HR
6 Schiller Park, IL	AA-	6,715,000	Taxable GO Ref 2014A	6/19/2014	4	2.0755%	2.2671%	2020	Home Rule
7 Schiller Park, IL	AA-	2,615,000	G.O. Ref 2014B	6/19/2014	1	2.0474%		2021	Home Rule
8 Rockford, IL	AA/A1	15,045,000	G.O. (Sales Tax Alt), 2014A	6/23/2014	5	3.0580%	3.1052%	2034	Non-HR
9 Rockford, IL	AA/A1	5,460,000	G.O. Ref 2014B	6/23/2014	4	1.2966%	1.4854%	2018	Non-HR
10 Rockford, IL	AA/A1	14,505,000	Taxable G.O. Ref (Sales Tax Alt)	6/23/2014	4	3.5760%	3.9125%	2027	Non-HR
11 Lake Zurich, IL	N/R	1,055,000	Taxable G.O. Ref (Limited Tax) 2014	6/23/2014	Neg.	1.9688%			Non-HR
12 Indian Head Park, IL	AA-	2,500,000	G.O. 2014	6/26/2014	3	3.1146%	3.2577%	2029	Home Rule
13 Collinsville, IL	Aa3	6,260,000	Taxable GO Ref 2014	6/27/2014	Neg.	3.5278%		2027	Home Rule
14 Paris, IL	AA(Ins)/AA	3,645,000	G.O. Ref (Alt) 2014	7/9/2014	Neg.	3.7616%		2033	Non-HR
15 Bensenville, IL	AA-	1,625,000	G.O. Ref (Waterworks and Sewerage Alt) 2014A	7/18/2014	Neg.	2.1774%		2021	Non-HR
16 Minooka, IL	N/R	17,300,000	Special Assessment Improvement Ref	7/18/2014	Neg.	4.2359%		2034	Non-HR
17 Yorkville, IL	AA-	4,295,000	G.O. (Alt) 2014A	7/22/2014	4	3.4921%	3.6320%	2033	Non-HR
18 Yorkville, IL	AA-	2,300,000	G.O. (Alt) 2014B	7/22/2014	5	1.9431%	2.1089%	2022	Non-HR
19 Yorkville, IL	AA-	1,290,000	G.O. (Alt) 2014C	7/22/2014	1	2.3455%		2024	Non-HR
20 Geneva, IL	Aa2	1,815,000	G.O. Ref (Electric System Alt) 2014	8/4/2014	Neg.	1.9185%		2021	Non-HR
21 Des Plaines, IL	Aa2	2,020,000	Taxable G.O. Ref, Series 2014A	8/18/2014	7	2.2537%	2.4855%	2021	Home Rule
22 Des Plaines, IL	Aa2	5,600,000	G.O. Ref 2014B	8/18/2014	9	1.4974%	1.7642%	2022	Home Rule
23 Lake Zurich, IL	AAA	6,325,000	G.O. Ref (Sales Tax Alternate Rev) 2014A	8/18/2014	Neg.	1.9688%		2024	Non-HR
24 Wauconda, IL	Aa2	1,745,000	G.O. Ref (Alt) 2014A	8/19/2014	Neg.	2.4075%		2026	Non-HR
25 Wauconda, IL	Aa2	3,465,000	G.O. Ref (Alt) 2014B	8/19/2014	Neg.	2.4079%		2026	Non-HR
26 Aurora, IL	AA	9,150,000	G.O. Ref 2014	8/26/2014	7	2.7202%	2.9985%	2030	Home Rule
27 Green Oaks, IL	AAA	1,780,000	G.O. Ref (Alt) 2014	8/27/2014	Neg.	2.4937%		2028	Non-HR
28 Clarendon Hills, IL	AAA	700,000	G.O. (Alt) 2014	9/2/2014	2	3.3119%	3.3704%	2030	Non-HR
29 Joliet, IL	AA-	6,100,000	Waterworks and Sewerage Rev Ref 2014B	9/9/2014	Neg.	2.3014%		2022	Home Rule
30 Arlington Heights, IL	Aa1	7,625,000	G.O. 2014	9/15/2014	12	1.1752%	1.3679%	2020	Home Rule
31 Peoria, IL	Aa3	11,320,000	G.O. Ref 2014B	9/22/2014	Neg.	1.9712%		2019	Home Rule
32 Peoria, IL	Aa3	425,000	Taxable G.O. Ref 2014C	9/22/2014	Neg.	1.4685%		2019	Home Rule
33 Olympia Fields, IL	AA+	900,000	G.O. Ref 2014A	9/23/2014	2	1.5748%	1.8327%	2020	Non-HR
34 Olympia Fields, IL	AA+	1,000,000	G.O. Ref (Alt)	9/23/2014	4	2.4142%	2.7658%	2025	Non-HR
35 Joliet, IL	AA-	3,620,000	Waterworks and Sewerage Rev 2014A	10/2/2014	Neg.	2.5500%		2022	Home Rule
36 Lake Zurich, IL	AAA	1,070,000	Taxable G.O. Ref (Limited Tax), 2015	10/7/2014	Neg.	3.2500%		2016	Non-HR
37 Libertyville, IL	Aa2	5,000,000	G.O. 2014B	10/14/2014	6	2.7375%	3.0403%	2032	Home Rule
38 Romeoville, IL	Aa3/AA-	9,195,000	G.O. Ref 2014	10/16/2014	5	1.4426%	1.7301%	2024	Home Rule
39 Elmhurst, IL	AAA	9,375,000	G.O. 2014B	10/20/2014	6	2.4692%	2.5689%	2033	Home Rule
40 North Aurora, IL	AA+	6,885,000	G.O. Ref (Alternate Revenue Source), 2014	10/20/2014	6	2.3501%	2.9106%	2029	Non-HR
41 Wooddale, IL	N/R	1,515,000	SSA No 12	11/5/2014	Neg.	3.1648%		2024	Non-HR
42 Wooddale, IL	N/R	2,210,000	SSA No 13	11/5/2014	Neg.	3.1561%		2024	Non-HR

SPEER FINANCIAL, INC.
CLIENT SALES OF SECURITIES (Illinois Municipal Issuers)
April 2014 - April 2016

Issuer	Investment Rating	Issue Size	Type of Security	Date of Sale	# of Bidders	Net/True Interest Rate		Last Maturity	Home Rule Status
						Low Bid	High Bid		
43 Wooddale, IL	N/R	1,350,000	SSA No 14	11/5/2014	Neg.	3.1709%		2024	Non-HR
44 Zion, IL	N/R	3,700,000	Taxable Debt Certificates	11/10/2014	Neg.	3.7679%		2019	Non-HR
45 Wilmette, IL	Aaa	20,315,000	G.O. 2014	11/12/2014	5	3.7751%	3.8827%	2043	Home Rule
46 Joliet, IL	AA-	1,445,000	G.O. Ref 2014C	11/13/2014	Neg.	2.1311%		2022	Home Rule
47 Joliet, IL	AA-	2,000,000	Taxable G.O. Ref 2014D	11/13/2014	Neg.	2.1311%		2019	Home Rule
48 Palatine, IL	AA+	7,345,000	G.O. Ref 2014A	11/17/2014	9	2.0866%	2.4913%	2028	Home Rule
49 Palatine, IL	AA+	7,265,000	Taxable G.O. Ref 2014B	11/17/2014	6	2.7104%	3.0651%	2025	Home Rule
50 Bensenville, IL	AA-	6,815,000	Taxable G.O. (Alt) Qualified Energy Conv 2014B	11/18/2014	2	4.9783%	5.0902%	2034	Non-HR
51 Bensenville, IL	AA-	600,000	Taxable G.O. Ltd Tax 2014C	11/18/2014	2	1.9870%	2.9539%	2018	Non-HR
52 Bensenville, IL	AA-	1,185,000	G.O. (Alt) 2014D	11/18/2014	4	1.4416%	1.7843%	2019	Non-HR
53 Bensenville, IL	AA-	2,325,000	G.O. Ref (Alt) 2014E	11/18/2014	3	1.9830%	2.1461%	2023	Non-HR
54 Geneseo, IL	AA	2,270,000	G.O. Ref (Alt) 2014A	11/19/2014	Neg.	2.4770%		2026	Non-HR
55 Geneseo, IL	AA	675,000	G.O. Ref WS (Alt) 2014B	11/19/2014	Neg.	2.6157%		2026	Non-HR
56 Vernon Hills, IL	AAA	5,630,000	G.O. 2014	12/2/2014	7	2.6039%	2.8978%	2034	Home Rule
57 Willow Springs, IL	N/R	99,815	G.O. Ltd Tax 2014A	12/3/2014	Neg.	2.2500%		2015	Non-HR
58 East Moline, IL	Aa3	7,465,000	G.O. Ref Alt (WS system Alt) 2014	12/3/2014	Neg.	3.2486%		2023	Non-HR
59 Rock Island, IL	Aa2	9,585,000	G.O. 2014A	12/8/2014	7	3.0585%	3.2478%	2034	Home Rule
60 Rock Island, IL	Aa2	15,865,000	Taxable G.O. 2014B	12/8/2014	5	3.7894%	4.1471%	2034	Home Rule
61 Monmouth, IL	N/R	8,335,000	G.O. Ref 2014	12/10/2014	Neg.	3.0271%		2028	Home Rule
62 Woodridge, IL	Aa1/AAA	9,075,000	G.O. Ref 2014	12/11/2014	Neg.	3.1156%		2033	Home Rule
63 Kankakee, IL	A-	6,455,000	G.O. Ref 2014	12/16/2014	Neg.	2.9221%		2025	Home Rule
64 Lansing, IL	A2/AA(Ins)	7,615,000	G.O. Ref 2014	12/16/2014	Neg.	2.4793%		2023	Home Rule
65 Highland Park, IL	Aaa	5,880,000	G.O. 2015	1/12/2015	12	2.9633%	3.3179%	2034	Home Rule
66 Rockford, IL	A1(Ins)	12,195,000	G.O. (Sales Tax Alt) 2015	2/2/2015	4	3.1220%	3.2791%	2034	Non-HR
67 Maywood, IL	N/R	16,345,000	G.O. Corp Purpose Ref 2015	2/5/2015	Neg.	3.5598%		2022	Home Rule
68 Bloomington, IL	AA+	3,420,000	G.O. Ref 2015	2/9/2015	8	2.1691%	2.4756%	2027	Home Rule
69 Maywood, IL	N/R	1,600,000	G.O. Tax Anticipation Notes 2015	2/19/2015	Neg.	3.5000%		2016	Home Rule
70 Springfield, IL	A1/AA	24,890,000	G.O. 2015	2/19/2015	Neg.	4.4337%		2030	Home Rule
71 Wauconda, IL	Aa2	9,940,000	Special Tax Refunding 2015	3/10/2015	Neg.	3.6870%		2033	Home Rule
72 Aurora, IL	AA	6,690,000	G.O. Ref 2015-A	3/10/2015	3	3.7312%	3.9804%	2036	Home Rule
73 Geneseo, IL	AA	1,000,000	Taxable G.O. Debt Certificates 2015A	3/10/2015	Neg.	1.2500%		2016	Non-HR
74 Geneseo, IL	AA	1,500,000	G.O. Debt Certificates 2015B	3/10/2015	Neg.	2.4700%		2025	Non-HR
75 Wauconda, IL	Aa2	4,645,000	G.O. Ref 2015	3/11/2015	Neg.	2.3265%		2023	Home Rule
76 Willowbrook, IL	AAA	4,930,000	G.O. (Alt) 2015	3/23/2015	4	2.6596%	2.7744%	2034	Non-HR
77 Lake Zurich, IL	AAA	11,775,000	Taxable G.O. Ref (Sales Tax Alt) 2015A	4/6/2015	3	3.6213%	3.6632%	2034	Non-HR
78 South Holland, IL	Aa3	2,665,000	Taxable G.O. Ref 2015A	4/6/2015	4	2.8135%	3.4106%	2026	Home Rule
79 South Holland, IL	Aa3	3,220,000	G.O. Ref 2015B	4/6/2015	3	2.3563%	2.8557%	2026	Home Rule
80 Peoria, IL	Aa3	12,935,000	G.O. Ref 2015A	4/7/2015	Neg.	1.7091%		2021	Home Rule
81 Peoria, IL	Aa3	12,060,000	G.O. Ref 2015B	4/7/2015	Neg.	2.6446%		2027	Home Rule
82 Elgin, IL	AA+	8,855,000	G.O. Ref 2015A	4/8/2015	Neg.	2.2106%		2027	Home Rule
83 Elgin, IL	AA+	2,090,000	Taxable G.O Ref 2015B	4/8/2015	Neg.	1.7166%		2019	Home Rule
84 Western Springs, IL	Aa2	3,000,000	G.O. (Utility Tax Alt) 2015A	4/13/2015	7	2.0897%	2.4946%	2027	Non-HR

SPEER FINANCIAL, INC.
CLIENT SALES OF SECURITIES (Illinois Municipal Issuers)
April 2014 - April 2016

<u>Issuer</u>	<u>Investment Rating</u>	<u>Issue Size</u>	<u>Type of Security</u>	<u>Date of Sale</u>	<u># of Bidders</u>	<u>Net/True Interest Rate</u>		<u>Last Maturity</u>	<u>Home Rule Status</u>
						<u>Low Bid</u>	<u>High Bid</u>		
85 Western Springs, IL	Aa2	2,480,000	G.O. Limited 2015B	4/13/2015	5	2.2391%	2.3777%	2027	Non-HR
86 Waukegan, IL	A2	7,005,000	G.O. 2015A	4/16/2015	Neg.	3.8767%		2032	Home Rule
87 Monmouth, IL	A+	7,240,861	G.O. (Capital Appreciation) 2015A	4/20/2015	Neg.	4.9867%		2044	Home Rule
88 Monmouth, IL	A+	4,060,000	G.O. Ref 2015B	4/20/2015	2	3.1718%	3.1778%	2029	Home Rule
89 Galesburg, IL	Aa3	8,290,000	G.O. Ref 2015	4/20/2015	2	2.7497%	2.7397%	2032	Home Rule
90 McHenry, IL	Aa2	6,375,000	G.O. 2015	4/20/2015	6	2.3551%	2.6417%	2035	Home Rule
91 Minooka, IL	AA-	2,150,000	G.O. Ref (Alt) 2015	4/28/2015	Neg.	2.3544%		2026	Non-HR
92 Palos Heights, IL	AA+	6,300,000	G.O. 2015	5/5/2015	2	3.1181%	3.1899%	2034	Home Rule
93 Aurora, IL	AA+	28,455,000	Water & Sewerage Rev Ref 2015-B	5/12/2015	3	3.6486%	3.7372%	2036	Home Rule
94 East Dundee, IL	A1	5,450,000	G.O. 2015	6/1/2015	4	2.6908%	3.2908%	2024	Home Rule
95 Joliet, IL	AA	6,775,000	G.O. Ref 2015A	6/9/2015	Neg.	2.4942%		2021	Home Rule
96 Elmhurst, IL	AAA	16,000,000	G.O. 2015	6/15/2015	8	3.2617%	3.5259%	2034	Home Rule
97 Lockport, IL	AA+	1,275,000	G.O. Ltd Tax 2015	6/17/2015	3	1.2594%	1.7735%	2018	Non-HR
98 Yorkville, IL	AA-	5,575,000	G.O. (Alt) 2015A	6/23/2015	3	3.3278%	3.7341%	2034	Non-HR
99 Hoffman Estates, IL	AA+	6,125,000	G.O. 2015B	7/21/2015	Neg.	3.0099%		2029	Home Rule
100 Hoffman Estates, IL	AA+	23,415,000	Taxable G.O. Ref 2015A	7/28/2015	Neg.	3.7060%		2033	Home Rule
101 Lake Forest, IL	Aaa	9,780,000	G.O. 2015	8/3/2015	9	3.0396%	3.2864%	2036	Home Rule
102 Kankakee, IL	A	7,035,000	Sewer Revenue 2015	8/13/2015	Neg.	3.9650%		2035	Home Rule
103 Orland Park, IL	AA+	4,475,000	G.O. Ref 2015A	8/17/2015	Neg.	1.5559%		2019	Home Rule
104 Rock Island, IL	Aa2	6,075,000	G.O. 2015A	8/24/2015	5	2.9539%	3.7097%	2035	Home Rule
105 Clarendon Hills, IL	AAA	1,300,000	G.O. (Alt) 2015	9/8/2015	4	2.6771%	3.3908%	2031	Non-HR
106 Schiller Park, IL	AA-	2,525,000	Taxable G.O. Ref 2015A	9/10/2015	1	4.2020%		2026	Home Rule
107 Schiller Park, IL	AA-	2,685,000	G.O. Ref 2015B	9/10/2015	1	3.6190%		2029	Home Rule
108 Aurora, IL	AA	69,185,000	G.O. Ref 2015C	9/22/2015	6	3.5735%	4.1089%	2038	Home Rule
109 Hoffman Estates, IL	Aa2/AA+	21,905,000	Taxable G.O. Ref 2015C	9/29/2015	Neg.	4.7940%		2030	Home Rule
110 Loves Park, IL	AA-	8,500,000	G.O. Debt Certificates, Series 2015	10/5/2015	Neg.	1.9970%		2024	Non-HR
111 Rock Island, IL	Aa2	4,505,640	G.O. Ref 2015B	10/5/2015	Neg.	2.1802%		2026	Home Rule
112 Peoria, IL	Aa3/AA-	7,600,000	Taxable G.O. Series 2015C	10/6/2015	4	4.6052%	4.7713%	2037	Home Rule
113 Peoria, IL	Aa3/AA-	2,000,000	Taxable G.O. 2015D	10/6/2015	3	4.6924%	4.7535%	2037	Home Rule
114 Libertyville, IL	Aa2	5,000,000	G.O. 2015A	10/13/2015	5	2.8742%	3.2307%	2032	Non-HR
115 Libertyville, IL	Aa2	4,200,000	G.O. (Waterworks & Sewerage System Alt.) 2015B	10/13/2015	4	2.9762%	3.0362%	2032	Non-HR
116 Riverside, IL	N/R	604,000	G.O. Ltd Tax Ref 2015A	10/15/2015	2	1.3400%	1.4600%	2017	Non-HR
117 Oak Park, IL	Aa3	13,470,000	G.O. Corp. Purpose Ref 2015A	10/19/2015	7	2.7924%	2.9867%	2028	Home Rule
118 Vernon Hills, IL	AAA	2,005,000	G.O. 2015A	10/20/2015	4	2.6194%	2.9294%	2034	Home Rule
119 Vernon Hills, IL	AAA	5,255,000	G.O. Ref 2015B	10/20/2015	8	1.8340%	2.0200%	2026	Home Rule
120 Breese, IL	N/R	1,480,000	G.O. Ref (Tax Increment Alt) 2015	10/22/2015	Neg.	2.0710%		2021	Non-HR
121 Palatine, IL	AA+	7,165,000	G.O. 2015	11/2/2015	5	1.9665%	2.0972%	2025	Home Rule
122 Matteson, IL	N/R	9,550,000	Limited Obligation Tax Increment Rev 2015	11/2/2015	PP	6.5000%		2035	Non-HR
123 Willow Springs, IL	N/R	98,715	Taxable G.O. Ltd Tax 2015	11/12/2015	Neg.	2.2500%		2016	Non-HR
124 Addison, IL	AA+	8,995,000	G.O. Ref 2015	11/16/2015	Neg.	2.5031%		2026	Home Rule
125 Rockford, IL	A1	6,315,000	G.O. (Sales Tax Alt) 2015A	11/16/2015	3	3.6116%	3.8095%	2035	Non-HR
126 Waukegan, IL	A2	14,050,000	Taxable G.O. Ref 2015B	11/19/2015	Neg.	2.8394%		2024	Home Rule

SPEER FINANCIAL, INC.
CLIENT SALES OF SECURITIES (Illinois Municipal Issuers)
April 2014 - April 2016

<u>Issuer</u>	<u>Investment</u>	<u>Issue</u>	<u>Type of</u>	<u>Date</u>	<u># of</u>	<u>Net/True Interest Rate</u>		<u>Last</u>	<u>Home</u>
	<u>Rating</u>	<u>Size</u>	<u>Security</u>	<u>of Sale</u>		<u>Bidders</u>	<u>Low Bid</u>	<u>High Bid</u>	<u>Maturity</u>
127 Batavia, IL	Aa1	22,570,000	G.O. Ref 2015	12/7/2015	4	3.2803%	3.7104%	2037	Home Rule
128 Oak Park, IL	Aa3	9,000,000	G.O. Corp. Purpose 2015B	12/7/2015	3	3.4687%	4.0153%	2040	Home Rule
129 Darien, IL	Aa2	1,360,000	G.O. Ref 2015	12/7/2015	Neg.	2.0863%		2024	Home Rule
130 Zion, IL	N/R	1,175,000	G.O. Ref (W&S Alt) 2015	12/15/2015	PP	1.7303%		2021	Non-HR
131 Highland Park, IL	Aaa	8,915,000	G.O. 2016	1/11/2016	6	2.5106%	2.8473%	2034	Home Rule
132 Springfield, IL	A1/AA	29,125,000	G.O. 2016	1/15/2016	Neg.	2.9300%		2031	Home Rule
133 Arlington Heights, IL	Aa1	32,900,000	G.O. 2016	1/19/2016	6	2.9365%	3.1183%	2036	Home Rule
134 Galesburg, IL	AA/A2/AA+(Ins)/A1	9,600,000	G.O. 2016	1/19/2016	5	2.9792%	3.3959%	2035	Home Rule
135 Roselle, IL	AA+	2,410,000	G.O. Ltd Tax 2016	1/25/2016	6	1.7741%	2.1501%	2025	Home Rule
136 Elgin, IL	AA+/AAA	24,995,000	G.O. Corp Purpose 2016	2/10/2016	5	2.4544%	2.5416%	2030	Home Rule
137 Peoria, IL	Aa3	19,070,000	G.O. Ref 2016B	3/1/2016	Neg.	2.6375%		2028	Home Rule
138 Paris, IL	AA/A	6,235,000	G.O. Ref (WWS Alt) 2016	3/14/2016	2	3.4623%	3.6083%	2035	Non-HR
139 Oak Park, IL	Aa3/AA/Stable	20,300,000	G.O. Corp Purpose Ref 2016A	3/21/2016	5	3.2355%	3.6366%	2022	Home Rule
140 Oak Park, IL	Aa3/AA/Stable	4,075,000	Taxable G.O. Corp Purpose 2016B	3/21/2016	3	3.6471%	3.8901%	2019	Home Rule
141 Oak Park, IL	Aa3/AA/Stable	2,845,000	Taxable G.O. Corp Purpose 2016C	3/21/2016	3	2.3070%	2.4657%	2019	Home Rule
142 Hoffman Estates, IL	AA+/AA+	8,975,000	G.O. Refunding School 2016	3/22/2016	Neg.	3.0290%		2038	Home Rule
143 Hampshire, IL	A/A	1,175,000	G.O. Ref (Alt) 2016	3/23/2016	Neg.	3.1417%		2028	Non-HR
144 Peoria, IL	Aa3	9,710,000	Variable Rate G.O. Demand 2016A	3/29/2016	Neg.			2031	Home Rule
145 Romeoville, IL	Aa2	11,950,000	G.O. Ref 2016	3/29/2016	4	1.5499%	1.7188%	2020	Home Rule
146 Kankakee, IL	AA/A-	3,796,365	G.O. Ref 2016A	3/31/2016	Neg.	2.9059%		2027	Home Rule
147 Kankakee, IL	AA/A-	2,969,153	G.O. 2016B	3/31/2016	Neg.	3.6349%		2036	Home Rule

The above listing is a full and complete record of Speer Financial's sales of municipal securities for the time period shown.
Note: All interest rates are Net Interest Cost (NIC) except where True Interest Cost (TIC) is specified.

THSD = Township High School District
PBC = Public Building Commission
SD = School District
PD = Park District
CCD = Community College District
FPD = Forest Preserve District
CUSD = Community Unit School District

Ref. = Refunding
ICC = Installment Contract Certificates
(Alt.) = G.O. (Alternate Revenue Source) Bonds
(Ins.) = Insured
DC = Debt Certificates

Moody's Rating Code: High to Low High to Low
Grades: Aaa, Aa, A, Baa
Within Each Non-Aaa Grade: 1, 2, 3
N/R = Not Rated

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Kankakee IL 60901-3904
(815) 933-0490
dircol@citykankakee-il.gov

VILLAGE OF LAKE BLUFF

Ms. Susan Griffin
Director of Finance
40 East Center Avenue
Lake Bluff IL 60044
(847) 234-0774
sgriffin@lakebluff.org

CITY OF LAKE FOREST

Ms. Elizabeth Holleb
Director of Finance
110 E. Laurel Avenue
Lake Forest
Lake Forest, IL 60045 IL 60045
(847) 810-3612 Direct
hollebe@cityhoflakeforest.com

VILLAGE OF LAKE IN THE HILLS

Mr. Robert Miller
Director of Finance
600 Harvest Gate
Lake in the Hills IL 60156-3398
(847) 960-7400 x 368
pstefan@lith.org

CITY OF MOLINE

Ms. Kathleen Carr
Finance Director
1630 8th Avenue
Moline IL 61265
(309) 524-2071
kcarr@moline.il.us

CITY OF MONMOUTH

Mr. Lowell Crow
Administrator
100 East Broadway
Monmouth IL 61462
(309) 734-2141
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VILLAGE OF OAK PARK

Mr. Craig Lesner
Finance Director
123 Madison Street
Oak Park IL 60302-4295
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VILLAGE OF ORLAND PARK

Ms. Annmarie Mampe
Director of Finance
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Orland Park IL 60462
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ILLINOIS HOME RULE MUNICIPAL REFERENCES

PALATINE

Mr. Paul Mehring
Finance Director
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Palatine IL 60067
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CITY OF PEORIA

Mr. James Scroggins
Director of Finance/Comptroller
419 Fulton Street
Peoria IL 61602
(309) 494-8514
jscroggins@peoriagov.org

CITY OF PERU

Mr. Dave Bartley
City Clerk
1901 4th Street
Peru IL 61354-0299
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dbartley@peru.il.us

CITY OF ROCK ISLAND

Ms. Cynthia Parchart
Finance Director
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Rock Island IL 61201
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VILLAGE OF ROMEOVILLE

Mr. Kirk Openchowski
Finance Director
1050 West Romeo Road
Romeoville IL 60446-1329
(815) 723-8500
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VILLAGE OF SCHAUMBURG

Ms. Lisa Happ
Finance Director
101 Schaumburg Court
Schaumburg IL 60193
(847) 923-4532
lhapp@ci.schaumburg.il.us

VILLAGE OF SOUTH HOLLAND

Ms. Beth Herman
Treasurer
16226 Wausau Avenue
South Holland IL 60473-2156
(708) 210-2900
bherman@southholland.org

VILLAGE OF THORNTON

Mr. Jason Wicha
Village Administrator
115 East Margaret Street
Thornton IL 60476
(708) 877-4456
jwicha@thornton60476.com

CITY OF WAUKEGAN

Ms. Tina Smigielski
Director of Finance/Administrative Services
100 North Martin Luther King Jr. Avenue
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Tina.Smigielski@ci.waukegan.il.us

VILLAGE OF WHEELING

Mr. Michael Mondschain
Director of Finance
2 Community Boulevard
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ILLINOIS HOME RULE MUNICIPAL REFERENCES

VILLAGE OF WILMETTE

Ms. Melinda Molloy
Finance Director
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molloym@wilmette.com

VILLAGE OF WINNETKA

Mr. Edward McKee, Jr.
Treasurer/Finance Officer
510 Green Bay Road
Winnetka IL 60093
(847) 501-6000
emckee@winnetka.org

VILLAGE OF WOODRIDGE

Ms. Nadine Alletto
Director of Finance
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Woodridge IL 60517-5014
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nalletto@vil.woodridge.il.us

Draft Financial Services Agreement

FINANCIAL SERVICES AGREEMENT

THIS FINANCIAL SERVICES AGREEMENT (the “Agreement”) between Village of Deerfield, Illinois (“Client”) and Speer Financial, Inc. Chicago, Illinois (“Speer”) is entered into as of the date of execution (the “Effective Date”).

WHEREAS, Speer is a consulting firm specializing in municipal finance related matters (the “Business”);

WHEREAS, Client desires to retain the services of Speer to provide certain services relative to the Business and Speer wishes to provide such services to Client;

WHEREAS, Client is a Municipal Entity and Speer is a Municipal Advisor as such terms are defined within the Securities Exchange Act of 1934, as amended; and

NOW THEREFOR, the parties agree as follows:

1. Services.

(a) Municipal Advisor Services. Speer agrees to provide certain services to Client as a Municipal Advisor (“Municipal Advisor Services”) upon receipt of a request from Client for such services (“Project Request”). Speer may provide any or all of the Municipal Advisor Services set forth on **Exhibit A** hereto, or as otherwise may be requested by Client from time to time. Upon the receipt of a Project Request for Municipal Advisor Services, Speer and Client shall determine a mutually agreed upon scope of Speer’s engagement to provide such services (“Municipal Advisor Engagement”). Any agreement related to the Municipal Advisor Engagement shall be memorialized by way of an engagement letter issued by Speer to Client (“Engagement Letter”). Any such Engagement Letter shall contain a description of the subject matter of the financing to be completed (the “Project”) as well as the list of Municipal Advisor Services to be provided by Speer in connection with such Project to the extent that the Municipal Advisor Services to be provided by Speer in connection with the Project shall differ from those contained with **Exhibit A** hereto. Client agrees and acknowledges that in no event shall this Agreement be construed as having authorized Speer to commence a Municipal Advisor Engagement absent the parties’ acknowledgement of a corresponding Engagement Letter.

(b) Authorization. Client hereby authorizes its **VILLAGE MANAGER/FINANCE DIRECTOR** to discuss with Speer the terms of any Engagement Letter, and **VILLAGE MANAGER/FINANCE DIRECTOR** to acknowledge any such Engagement Letter on behalf of Client, as well as any additional disclosures of Speer that may be contained therein.

2. Term and Termination.

(a) The Agreement. This Agreement shall be effective as of the Effective Date and shall remain in effect until terminated by either party upon thirty (30) days written notice to the other party. Notwithstanding anything to the contrary contained herein, termination of this Agreement shall automatically terminate any Municipal Advisor Engagement then in effect.

(b) The Municipal Advisor Engagement. Once effective, a Municipal Advisor Engagement shall remain in effect until the earlier of (i) the Project is completed and Speer has received compensation for its services, or (ii) the Municipal Advisor Engagement is terminated by either party upon (30) days prior written notice to the other party. In the event that any Municipal Advisor Engagement is terminated prior to the completion of the Project, Speer reserves the right to assess fees for any work performed pursuant to any then outstanding Engagement Letter based upon the product of actual hours spent on the Project by Speer *multiplied* by a rate for Municipal Advisor Services of \$250.00 per hour.

3. **Compensation.** As compensation for Speer's provision of Municipal Advisor Services, Speer shall receive a fee in accordance with **Exhibit B** attached hereto and incorporated herein by reference, unless otherwise agreed to by the parties in writing. Client shall be responsible for all out-of-pocket expenses incurred by Speer relative to any Municipal Advisor Engagement, including, but not limited to, internet bidding fees, good faith deposit bank fees, delivery charges (postage, express mail, fax services), publication/printing fees (printing of official statements, notices of sale, bid forms, report duplication, and securities) CUSIP fees, registration/paying agent fees, and other transaction costs. Out-of-pocket expenses may include payments to Speer for verification, internet sale administration, and SLG-application services. Speer shall not be liable for professional fees or other securities related costs, including, but not limited to, professional services (attorney, bond counsel, architect, verification agent, engineer and auditor services), and credit enhancements (e.g., rating, insurance and letters of credit).

4. **Billing Statement.** Client will receive an invoice from Speer for the Municipal Advisor Services provided in connection with any Municipal Advisor Engagement and upon the terms and conditions contained within the corresponding Engagement Letter. Any invoice received by Client shall be due and payable within thirty (30) days of the invoice date. Any balance that remains outstanding in excess of ninety (90) days shall be subject to a financing charge to be computed at a rate of 12% per annum, or the maximum rate allowable under Illinois law.

5. **Representations of Client.** Client represents and warrants that any information provided to Speer in connection with any Municipal Advisor Engagement shall be factual and not misleading, including, but not limited to, any information contained within any financial statements, budgets, or other relevant documents. Client further agrees to not intentionally omit any material information relevant to Speer's provision of services.

6. **Integration and Amendment.** This Agreement constitutes and expresses the entire agreement of the parties with respect to the subject matter hereof, and all promises, undertakings, representations, agreements, understandings and arrangements, whether oral or written, with reference thereto are merged herein. No amendments to or alterations or variations of this Agreement shall be valid unless made in writing and signed by the parties.

7. **Governing Law.** This Agreement shall be governed by the laws of the State of Illinois without regard to its choice of law principles. Any suit or legal proceeding brought pursuant to or otherwise arising out of this Agreement or the performance thereof will be brought solely in the County of Cook, Illinois.

8. **Dodd-Frank Compliance.** Speer is a registered municipal advisor in good standing with both the SEC (#867-00043) and the MSRB (#K0162).

9. **Disclosure of Conflicts of Interest.** Client acknowledges that it has received the disclosures set forth on **Exhibit C** attached hereto and incorporated herein by reference. Client further acknowledges that it has been given the opportunity to raise questions and discuss such disclosures with Speer and independent counsel and that it fully appreciates the nature of such disclosures and any and all conflicts noted therein. Client hereby waives all such conflicts and authorizes Speer to provide services pursuant to any Municipal Advisor Engagement and in accordance with this Agreement. From time to time, Speer may provide additional disclosures to Client. In this regard, Client hereby authorizes its **VILLAGE MANAGER/FINANCE DIRECTOR** to acknowledge any such additional disclosures on behalf of Client.

10. **Counterparts.** This Agreement may be executed in any number of counterparts via facsimile or other electronic transmission, each of which will be deemed an original, and all of which together will constitute one and the same instrument.

11. **Headings.** All headings or captions used herein are for the convenience of reference only and shall not affect the meaning, construction or interpretation of this Agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed by their respective representatives as of the date first written above.

VILLAGE OF DEERFIELD, ILLINOIS

SPEER FINANCIAL, INC.

By: _____

By: _____

Name: _____

Name: _____

Title: _____

Title: _____

Date: _____

Date: _____

EXHIBIT A
MUNICIPAL ADVISOR SERVICES

Speer provides a wide range of Municipal Advisory Services to its Clients, which will depend upon the scope of Speer's engagement, and the type of securities issuance and/or project to be completed.

PRE-ISSUANCE & ISSUANCE SERVICES

A. Financial Planning Services

In preparation of an issuance of securities, Speer's services may consist of some or all of the following:

- (1) **Orientation.** Reviewing our Clients' current financial position, statutory authority, and financing capabilities, including whether a refunding or defeasance of any outstanding debt is appropriate.
- (2) **Coordination.** Coordinating financial planning and issuance details with our Clients' staff, bond counsel, printers, rating agencies and other transaction participants.
- (3) **Consultation.** Consulting with the elected and key appointed officials and staff regarding the various phases of the development and implementation of a financing plan.
- (4) **Public Relations.** Responding to inquiries from the general public or news media relating to municipal issuance related matters.
- (5) **Planning.** Developing a debt financing plan that includes all or some of the following:
 - a. Maturity Schedules. Alternative maturity schedules relating to the financing. These schedules may "wrap" around existing debt to provide stable tax rates, level debt services payments, or meet other policy or cash flow requirements as may be requested by our Clients.
 - b. Market Receptivity. An evaluation of potential market receptivity for each debt issuance and recommend the most suitable sale option.
 - c. Tax Law. An evaluation of the ramifications of Federal tax law, or as set forth by bond counsel, on the financing plan to maximize any cost savings that may be available to the Client.
 - d. Security Registrar and Paying Agent. A comparison of security registrar and/or paying agent fees and make recommendations for the selection of such parties based upon our Clients' selection criteria.
 - e. Credit Rating and/or Insurance. A costs and benefits analysis regarding whether to obtain any available credit enhancements and/or a credit rating(s). Speer shall recommend a course of action based upon its evaluation of such analysis.
 - f. Competitive and Negotiated Sale of Debt Securities. An analysis and corresponding recommendation regarding the method of sale to be used in connection with the financing plan.
 - g. Financing Timeline. A tentative financing timeline to guide officials regarding the timing of various aspects of the financing plan.

B. Competitive Sale Services

To facilitate the competitive sale of the Client's securities issuance, Speer's services may include any or all of the following:

- (1) Authorizing Resolutions/Ordinances.** Assist our Client's attorney and/or bond counsel with regard to the financial provisions to be included within the Client's authorizing resolutions/ordinances relative to the securities issuance.
- (2) Credit Rating and/or Insurance.** When applying for a credit rating and/or bond issuance, Speer will submit the necessary data and documents to the appropriate entities, and arrange for the presentation of materials to the selected credit rating agency and/or insurance company(ies).
- (3) Official Statement, Notice of Sale and Bid Form.**
 - a. Preparation of Documents. Prepare a preliminary Official Statement, Term Sheet, Statement of Facts or Limited Offering Memorandum (each a, "Disclosure Document"), Notice of Sale and Bid Form. Following the award of the securities, Speer shall prepare the final Disclosure Document corresponding to the Project. The Disclosure Document will describe the securities being issued and will contain detailed information provided by the Client and bond counsel as is necessary to permit prospective purchasers to make intelligent judgments.
 - b. Notice of Sale Publication. Notify prospective purchasers of the sale without cost to the Client and prepare, as necessary, a Notice of Sale.
 - c. Encouragement to Bidders. Circulate the preliminary Disclosure Document to our appropriate list of potential purchasers, including, investment institutions, banks and underwriters, to solicit bids from such firms for the Clients' securities. Make contact with underwriters to induce formation of bidding groups and, generally, undertake these activities in order to generate bids. Provide copies of the preliminary Disclosure Document and Official Bid Forms, as applicable, for each sale to our Clients for distribution to local banks and elected officials.
 - d. Bid Opening, Analysis and Recommendations. Conduct each sale, examine the bids submitted for completeness and compliance with the applicable bidding requirements, evaluate the bids for accuracy, and recommend a proposed course of action relative thereto.
- (4) Preparation, Registration and Delivery of Securities.** Conduct all necessary undertakings in order to complete the financing, including, monitoring the preparation, registration and delivery of the securities being issued.
- (5) Debt Service Schedule.** Provide the Client with a final debt service schedule and other materials pertinent to the securities sale.

C. Negotiated Sale Services

To facilitate the sale of the Client's securities issuance, Speer's services may include any or all of the following:

- (1) **Authorizing Resolutions/Ordinances.** Assist our Client's attorney and/or bond counsel with regard to the financial provisions to be included within the Client's authorizing resolutions/ordinances relative to the securities issuance.
- (2) **Credit Rating and/or Insurance.** When applying for a credit rating and/or bond insurance, Speer will submit the necessary data and documents to the appropriate entities, and arrange for the presentation of materials to the selected credit rating agency(ies) and/or insurance company(ies).
- (3) **Official Statement & Proposals.**
 - a. Preparation of Documents. Prepare or assist in the preparation of a preliminary Disclosure Document, Request for Proposals (RFP) or Request for Qualifications (RFQ), and, following the award of the securities, the final Disclosure Document.
 - b. Proposal Analysis and Recommendations. Review and examine the proposals submitted for completeness and compliance with the applicable RFP/RFQ requirements, evaluate the proposals for accuracy, and recommend a proposed course of action relative to the proposals received.
- (4) **Negotiation of Terms.** Negotiate with the selected underwriter(s)/purchaser(s) relative to interest rates, terms and conditions of the securities issuance.
- (5) **Preparation, Registration and Delivery of Securities.** Conduct all necessary undertakings in order to complete the financing, including, monitoring the preparation, registration and delivery of the securities being issued.
- (6) **Debt Service Schedule.** Provide the Client with a final debt service schedule and other materials pertinent to the securities sale.

POST-ISSUANCE AND NON-ISSUANCE RELATED SERVICES

A. Continuing Disclosure Services

Following most securities issuances, municipal entities will have certain continuing disclosure obligations, which require issuers to prepare and file an "Annual Financial Update". Information contained in any such Annual Financial Update shall be the type required in subsection (b)(5)(i)(A) of Securities and Exchange Commission Rule 15c2-12 (Rule 15c2-12). In connection with any such Annual Financial Update, Speer is available to provide any or all of the following services:

- (1) **Annual Financial Update.** Compile necessary information relative to and from the Client and, thereafter, prepare the Annual Financial Update for filing with the Municipal Securities Rulemaking Board's Electronic Municipal Market Access (EMMA) data repository.
- (2) **Dissemination Agent.** File with EMMA the Annual Financial Update on behalf of our Clients.

- (3) **Material Events Notice.** Upon receiving notice and direction from Client with respect to any events that may be considered a material event for purposes of Rule 15c2-12, prepare and file with EMMA a Material Events Notice.
- (4) **Disclosure Review.** Review prior disclosures to ensure compliance with any then applicable rules and regulations. Following any such review in which potential disclosure violations are discovered, Speer will provide the Client with a recommendation relative to remedying any such violations, and, upon request of the Client, prepare and file any necessary supplementary disclosures with EMMA in order to remedy any such violation.

B. Non-Issuance Consulting Services

Certain Municipal Advisory Services which may not result in the issuance of indebtedness are occasionally needed by the Client. Speer is available to provide such services, which may include any or all of the following:

- (1) Rate Studies;
- (2) Tables and schedules for Client's audit;
- (3) Client internal financial analyses unrelated to municipal securities;
- (4) Referendum consulting services;
- (5) Parity or Coverage Certificates;
- (6) Tax Increment Financing (TIF) Analysis/Reporting; and
- (7) State Revolving Fund (SRF) Consulting.

EXHIBIT B
FEE SCHEDULE

A. Pre-Issuance & Issuance Services

Fees in connection with any Pre-Issuance and Issuance Services rendered, regardless of sale method, shall be based upon the par amount of the securities issued (plus any applicable reoffering premium) and calculated as follows:

Financial Advisory Services:	\$10,000 plus 1/10 of 1% of the municipal securities issued.
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Except as otherwise provided in this Agreement, Pre-Issuance and Issuance Services fees shall be contingent on the sale of the Client's securities.

B. Post-Issuance Services

Fees in connection with any Post-Issuance Municipal Advisor Services rendered shall be provided at the following hourly rates:

Municipal Advisor Personnel:	\$100/hour
Administrative Personnel:	\$50/hour

Speer will also charge \$100 for each filing made by it in accordance with SEC Rule 15c2-12, including any filing made with the Municipal Securities Rulemaking Board's Electronic Municipal Market Access (EMMA) system.

C. Non-Issuance Services

Fees in connection with any Non-Issuance Services rendered shall be provided at the following not to exceed hourly rates:

Municipal Advisor Personnel:	\$150/hour
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* * *

Notwithstanding anything to the contrary contained in this Exhibit B, fees for any services provided pursuant to this Agreement shall not include out-of-pocket expenditures as described more fully under Section 3 of this Agreement.

EXHIBIT C
DISCLOSURE OF CONFLICTS OF INTEREST

VARIOUS FORMS OF COMPENSATION

The Municipal Securities Rulemaking Board (MSRB) requires us, as your municipal advisor, to provide written disclosure to you about the actual or potential conflicts of interest presented by various forms of compensation. We must provide this disclosure unless you have required that a particular form of compensation be used. You should select a form of compensation that best meets your needs and the agreed upon scope of services.

Forms of compensation; potential conflicts. The forms of compensation for municipal advisors vary according to the nature of the engagement and requirements of the Client, among other factors. Various forms of compensation present actual or potential conflicts of interest because they may create an incentive for an advisor to recommend one course of action over another if it is more beneficial to the advisor to do so. This document discusses various forms of compensation and the timing of payments to the advisor.

Fixed fee. Under a fixed fee form of compensation, the municipal advisor is paid a fixed amount established at the outset of the transaction. The amount is usually based upon an analysis by the Client and the advisor of, among other things, the expected duration and complexity of the transaction and the agreed-upon scope of work that the advisor will perform. This form of compensation presents a potential conflict of interest because, if the transaction requires more work than originally contemplated, the advisor may suffer a loss. Thus, the advisor may recommend less time-consuming alternatives, or fail to do a thorough analysis of alternatives. There may be additional conflicts of interest if the municipal advisor's fee is contingent upon the successful completion of a financing, as described below.

Hourly fee. Under an hourly fee form of compensation, the municipal advisor is paid an amount equal to the number of hours worked by the advisor times an agreed-upon hourly billing rate. This form of compensation presents a potential conflict of interest if the Client and the advisor do not agree on a reasonable maximum amount at the outset of the engagement, because the advisor does not have a financial incentive to recommend alternatives that would result in fewer hours worked. In some cases, an hourly fee may be applied against a retainer (*e.g.*, a retainer payable monthly), in which case it is payable whether or not a financing closes. Alternatively, it may be contingent upon the successful completion of a financing, in which case there may be additional conflicts of interest, as described below.

Fee contingent upon the completion of a financing or other transaction. Under a contingent fee form of compensation, payment of an advisor's fee is dependent upon the successful completion of a financing or other transaction. Although this form of compensation may be customary for the Client, it presents a conflict because the advisor may have an incentive to recommend unnecessary financings or financings that are disadvantageous to the Client. For example, when facts or circumstances arise that could cause the financing or other transaction to be delayed or fail to close, an advisor may have an incentive to discourage a full consideration of such facts and circumstances, or to discourage consideration of alternatives that may result in the cancellation of the financing or other transaction.

Fee paid under a retainer agreement. Under a retainer agreement, fees are paid to a municipal advisor periodically (*e.g.*, monthly) and are not contingent upon the completion of a financing or other transaction. Fees paid under a retainer agreement may be calculated on a fixed fee basis (*e.g.*, a fixed fee per month regardless of the number of hours worked) or an hourly basis (*e.g.*, a minimum monthly payment, with additional amounts payable if a certain number of hours worked is exceeded). A retainer agreement does not present the conflicts associated with a contingent fee arrangement (described above).

Fee based upon principal or notional amount and term of transaction. Under this form of compensation, the municipal advisor's fee is based upon a percentage of the principal amount of an issue of securities (*e.g.*, bonds) or, in the case of a derivative, the present value of or notional amount and term of the derivative. This form of compensation presents a conflict of interest because the advisor may have an incentive to advise the Client to increase the size of the securities issue or modify the derivative for the purpose of increasing the advisor's compensation.

OTHER MATERIAL CONFLICTS OF INTEREST

The MSRB requires us, as your municipal advisor, to provide written disclosure to you about material conflicts of interest. The following represent Speer material conflicts of interest known to Speer as of the date of this Agreement.

As of the date of this agreement, Speer is unaware of any material conflicts of interest.

REQUEST FOR BOARD ACTION

16-55

Agenda Item: _____

Subject: Resolution Authorizing First Amendment to Mutual and Reciprocal Access Easement

_____ Agreement Among Gateway Fairview, Inc., Lake Cook Plaza, LLC and the Village of

_____ Deerfield

_____ Approval

Action Requested: _____

Village Manager's Office

Originated By: _____

Mayor and Board of Trustees

Referred To: _____

Summary of Background and Reason for Request

Deerbrook Mall and Deerfield Park Plaza are connected at two cross-access points, which are the subject of a Mutual and Reciprocal Access Easement Agreement, dated October 24, 2005, of which the Village is a stakeholder. Deerbrook Mall and Deerfield Park Plaza have agreed to amend the Easement Agreement to allow for access improvements specifically at the north easement point as agreed to during consideration of the Special Use amendment for the new Jewel-Osco.

Key modifications to the easement agreement include:

- Upon issuance of a certificate of occupancy for the new Jewel-Osco grocery store in Deerbrook Mall, passenger vehicles will be prohibited from traveling east-bound through the north easement point, from Deerfield Park Plaza to Deerbrook Mall. Passenger vehicle traffic through the north easement point will be limited to one-way, west-bound traffic only.
- Deerbrook Mall ownership will be responsible for constructing the north easement modifications in accordance with the requirements of law and applicable Village ordinances, rules and regulations.
- Deerbrook Mall ownership must complete the north easement modifications prior to the issuance of a certificate of occupancy for the new Jewel-Osco store or any future redevelopments, including construction of new outlot buildings.
- Deerbrook Mall ownership will construct improvements to the existing Deerfield Park Plaza driveway entrance providing access to and from Lake-Cook Road to create dual outbound left-turn lanes and a third lane allowing traffic to make a right turn onto Lake-Cook Road.

Staff believes the amendment to the easement agreement is consistent with the direction provided by the Village Board as reflected in Ordinance O-15-35 (approved December 7, 2015) authorizing renovations to the Deerbrook Shopping Center for a Jewel Osco grocery store with pharmacy drive-thru.

Representatives of Mall Ownership and Jewel-Osco will be available along with Village staff to review and respond to questions.

Reports and Documents Attached:

Resolution

First Amendment to Mutual and Reciprocal Access Easement Agreement w/ Exhibits

Date Referred to Board: May 16, 2016

Action Taken: _____

**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZINIG A FIRST AMENDMENT TO
MUTUAL AND RECIPROCAL ACCESS EASEMENT AGREEMENT
(DEERBROOK MALL AND DEERFIELD PARK PLAZA)**

WHEREAS, the Village of Deerfield is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution; and

WHEREAS, except as limited by Article VII, Section 6 of the Illinois Constitution, the Village has the authority to exercise any power and perform any function pertaining to its government and affairs, including but not limited to the power to enter into this Economic Incentive Agreement; and

WHEREAS, the Village of Deerfield, Gateway Fairview, Inc. (owner of Deerbrook Mall) and Lake Cook Plaza LLC (owner of Deerfield Park Plaza)(the Village, Gateway Fairview, Inc. and Lake Cook Plaza LLC being sometime referred to herein individually as “Party” or collectively as “Parties”) are each parties to a certain Mutual and Reciprocal Access Easement Agreement dated October 24, 2005 and recorded as Document No. 0531803071 with the Cook County Recorder of Deeds (the “Easement Agreement) providing, among other things, for a two-way cross-access point between Deerbrook Mall and Deerfield Park Plaza; and

WHEREAS, the Parties desire to amend the Easement Agreement to modify the terms of the Easement Agreement to modify the terms of the easements granted therein and to allow for certain further modifications to the Access Improvements (as defined in the Easement

Agreement) in connection with Gateway Fairview's proposed redevelopment of the northern part of Deerbrook Mall as authorized by Village of Deerfield Ordinance No. 15-98-2; and

WHEREAS, the corporate authorities of the Village of Deerfield have reviewed the terms of the First Amendment to Mutual and Reciprocal Access Easement Agreement attached hereto as Exhibit A and find that it is necessary, desirable and in the best interests of the Village of Deerfield to authorize and approve said First Amendment to Mutual and Reciprocal Access Easement Agreement;

NOW THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: That the corporate authorities of the Village of Deerfield do hereby approve the First Amendment to Mutual and Reciprocal Access Easement Agreement attached hereto as Exhibit A and authorize the execution of said First Amendment for and on behalf of the Village of Deerfield.

SECTION 2: That this Resolution, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Resolution should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Resolution should be inconsistent with any non-preemptive state law, this Resolution shall supersede state law in that regard within its jurisdiction.

SECTION 3: That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

**THIS DOCUMENT
PREPARED BY AND AFTER
RECORDING RETURN TO:**

DLA Piper LLP (US)
203 N. LaSalle Street, Suite 1900
Chicago, Illinois 60601
Attn: Mariah F. DiGrino, Esq.

This space reserved for Recorder's use only.

**FIRST AMENDMENT
TO
MUTUAL AND RECIPROCAL ACCESS EASEMENT AGREEMENT**

This FIRST AMENDMENT TO MUTUAL AND RECIPROCAL ACCESS EASEMENT AGREEMENT (this “**Amendment**”) is executed as of this ____ day of _____, 2016, by and among Gateway Fairview, Inc., a Delaware Corporation (“**Gateway**”), Lake Cook Plaza, LLC (“**LCP**”) (Gateway and LCP are referred to in the singular as a “**Party**” and collectively as the “**Parties**”), and the Village of Deerfield, an Illinois municipal corporation and home-rule municipality, for the purpose of approving this Amendment in accordance with Section 13 of the Easement Agreement (defined below).

RECITALS

A. Gateway is the owner of that certain parcel of real property commonly known as Deerbrook mall in the Village of Deerfield, Cook County, Illinois, as legally described on Exhibit A attached hereto (“**Deerbrook Mall**”).

B. LCP is the owner of that certain parcel of real property commonly known as Deerfield Park Plaza (f/k/a Lake Cook Plaza) in the Village of Deerfield, Cook County, Illinois, as legally described on Exhibit B attached hereto (“**Deerfield Park Plaza**”), which parcel is situated, in part, adjacent to Deerbrook Mall.

C. Gateway proposes to redevelop Deerbrook Mall in phases, the first phase of which has been completed and consisted of construction of two outlot buildings. The Village of Deerfield (the “**Village**”) recently approved a zoning change to allow the second redevelopment phase, which consists of demolition of an existing grocery store and additional vacant retail space, the construction of a new grocery store, and the construction of new outlot buildings. The second development phase includes construction by Gateway of improvements to the existing Deerfield Park Plaza driveway entrance providing access to and from Lake-Cook Road to create dual outbound left-turn lanes and a third exit lane allowing traffic to make a right turn, as conceptually depicted on the attached Exhibit D.

D. Deerbrook Mall and Deerfield Park Plaza are connected at two cross-access points, which are the subject of that certain Mutual and Reciprocal Access Easement Agreement, dated October 24, 2005, and recorded as document number 0531803071 with the Cook County Recorder of Deeds (the “**Easement Agreement**”). The northernmost cross access point is improved with two vehicular lanes, allowing two-way traffic movements between Deerbrook Mall and Deerfield Park Plaza, and curbs (the “**North Easement Point**”).

E. The Parties desire to amend the Easement Agreement to modify the terms of the easements granted thereunder and allow for the modification the Access Improvements (as defined in the Easement Agreement), specifically, the North Easement Point, as set forth below.

NOW, THEREFORE, in consideration of the mutual promises and agreements set forth herein, and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties agree to amend the Easement Agreement as follows:

1. Incorporation; Capitalized Terms. The recitals set forth above and exhibits attached hereto are incorporated into this Amendment as if fully set forth in this Section 1. Capitalized terms not defined herein shall have the meanings ascribed to them in the Easement Agreement.

2. Amendment to Exhibit C. Exhibit C to the Easement Agreement is hereby amended by deleting the first page, title Sheet OS-1 Off-Site Improvements Plan North Access, and replacing it with the plan attached as Exhibit C to this Amendment (the “**North Easement Modifications**”). The North Easement Modifications shall include pavement markings and directional signage within Deerbrook Mall and Deerfield Park Plaza, including signage indicating the one-way traffic configuration and signage indicating “Do Not Block Intersection.”

3. Amendment to Mutual Grants of Easement. Section 1(c) of the Easement Agreement is hereby amended by providing that, effective upon completion of construction of the North Easement Modifications and issuance of a final certificate of occupancy for the new grocery store in Deerbrook Mall, the Limited Use expressly will not include the right for passenger vehicular passage east-bound through the North Easement Point, from Deerfield Park Plaza to Deerbrook Mall. Passenger vehicular traffic through the North Easement Point shall be limited to one-way, west-bound traffic only.

4. Construction of the North Easement Modifications.

(a) Gateway shall be responsible for constructing the North Easement Modifications in a good and workmanlike manner, free of mechanic’s liens or similar liens for unpaid work performed by or on behalf of Gateway, in accordance with the requirements of law and applicable Village of Deerfield ordinances, rules and regulations.

(b) Gateway shall be responsible for the initial permitting and construction of the North Easement Modifications. Such construction shall be in accordance with final plans and specifications, and other generally applicable terms and conditions, as required by and approved by the Village.

(c) Once commenced, Gateway shall expeditiously pursue completion of construction of the North Easement Modifications. Gateway shall complete the North Easement Modifications prior to the issuance of the final certificate of occupancy for the new grocery store or any future redevelopment, including construction new outlot buildings, but excluding re-tenanting, re-occupancy, tenant build-out or reconstruction of existing square footage.

(d) LCP shall grant to Gateway, upon Gateway's written request, such temporary construction licenses as may be reasonably necessary to undertake and complete the required construction of the North Easement Modifications. Such temporary construction licenses shall be on such terms as are customary and reasonable, and an unreasonable refusal or failure to grant such licenses shall be a defense to a claim of default for failure to timely construct the North Easement Modifications. During Gateway's construction of the North Easement Modifications, Gateway shall implement a "maintenance of traffic plan," subject to the reasonable approval of LCP.

5. Re-Establishment of Two-Way Traffic. Any future changes to the North Easement Point that would re-establish two-way traffic shall be subject to Section 13 of the Easement Agreement.

6. Reasonable Cooperation. The Parties shall provide such reasonable cooperation as may be necessary to fulfill the terms of this Amendment, including provided such consents and authorizations as may be necessary for Gateway to perform its obligations under this Amendment.

7. Notices. Section 17 of the Easement Agreement is hereby amended be deleting the addresses set forth therein and substituting the following:

If to Gateway: Gateway Fairview, Inc.
c/o Mid-America Asset Management, Inc
One Parkview Plaza, 9th Floor
Oakbrook Terrace, Illinois 60181
Attn: C. Michelle Panovich

And to: Gateway Fairview, Inc.
c/o RREEF Management L.L.C.
3414 Peachtree Road NE, Suite 950
Atlanta, Georgia 30326
Attn: Joseph Saunders

With a copy to: DLA Piper LLP (US)
203 North LaSalle Street, Suite 1900
Chicago, Illinois 60601
Attn: Mariah F. DiGrino

If to LCP: Lake Cook Plaza, LLC

With a copy to:

8. Waiver of Claims. Each Party hereby waives and releases any claims of default, damage or loss, whether known or unknown, arising under the Easement Agreement prior to the date of this Amendment set forth above; provided, however, that such waiver and release shall only be effective for a Party so long as the other Party is not in default under this Amendment.

9. Amendment; Conflict. Except as specifically amended by this Amendment, the Easement Agreement shall continue in full force and effect. To the extent there is any conflict between this Amendment and the Easement Agreement, this Amendment shall control.

10. Counterparts. This Amendment may be executed in counterparts, each of which shall be deemed an original, and all of which when taken together shall constitute one and the same instrument.

[SIGNATURE PAGE FOLLOWS]

[SIGNATURE PAGE TO FIRST AMENDMENT TO MUTUAL AND RECIPROCAL
ACCESS EASEMENT AGREEMENT]

IN WITNESS WHEREOF, the Parties and the Village have executed this
Amendment as of the date set forth above.

GATEWAY FAIRVIEW, INC., a Delaware corporation

By: _____
Name: _____
Its: _____

LAKE COOK PLAZA, LLC, a _____ limited liability company

By: _____
Name: _____
Its: _____

VILLAGE OF DEERFIELD

By: _____
Name: _____
Its: _____

STATE OF CALIFORNIA)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that _____, personally known to me to be the _____ of Gateway Fairview, Inc., a Delaware corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that, as such, he signed and delivered the said instrument as his free and voluntary act and the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____, 2016.

Notary Public

My Commission Expires:

STATE OF _____)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that _____, personally known to me to be the _____ of Lake Cook Plaza, LLC, a _____ limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that, as such, he signed and delivered the said instrument as his free and voluntary act and the free and voluntary act and deed of said company, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____, 2016.

Notary Public

My Commission Expires:

STATE OF _____)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that _____, personally known to me to be the _____ of the Village of Deerfield (the "Village"), and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that, as such, he signed and delivered the said instrument as his free and voluntary act and the free and voluntary act and deed of the Village, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this ____ day of _____, 2016.

Notary Public

My Commission Expires:

[DEERFIELD PARK PLAZA LENDER CONSENT]

EXHIBIT A

LEGAL DESCRIPTION OF DEERBROOK MALL

TRACT A:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4 AND THE CENTER LINE OF WAUKEGAN ROAD; THENCE WEST ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4, 793.80 FEET, SAID POINT BEING ON THE EASTERLY LINE EXTENDED NORTHERLY OF DOWNEY'S COUNTRY HOME ADDITION TO DEERFIELD, A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE SOUTHERLY ON THE EASTERLY LINE OF SAID DOWNEY'S COUNTRY HOME ADDITION TO DEERFIELD, 1174 FEET TO THE SOUTHEASTERLY CORNER OF SAID SUBDIVISION; THENCE EAST PARALLEL TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 4, 830.09 FEET TO THE CENTER OF WAUKEGAN ROAD; THENCE NORTHERLY ON THE CENTER LINE OF WAUKEGAN ROAD 1190.4 FEET TO THE POINT OF BEGINNING,

(EXCEPTING FROM THE ABOVE TRACT OF LAND THE NORTH 50 FEET AND THE EASTERLY 50 FEET THEREOF DEDICATED FOR PUBLIC HIGHWAY), IN COOK COUNTY, ILLINOIS

TRACT B:

THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY DESCRIBED AS:

COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4, WITH A LINE 33 FEET WESTERLY OF (MEASURED PERPENDICULARLY) AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD), THENCE WEST ALONG SAID LINE 1576 FEET NORTH AND PARALLEL WITH SAID QUARTER SECTION LINE 1622.35 FEET TO ITS POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST ALONG SAID EASTERLY RIGHT OF WAY LINE 364.88 FEET TO ITS POINT OF INTERSECTION WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID TOLL ROAD; THENCE SOUTH 59 DEGREES 08 MINUTES 30 SECONDS EAST ALONG THE NORTHEASTERLY LINE OF SAID TOLL ROAD 737.445 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 433.887 FEET;

THENCE NORTH 25 DEGREES 13 MINUTES 30 SECONDS WEST, 75.00 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST, 629.232 FEET TO ITS POINT OF INTERSECTION WITH SAID LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE OF WAUKEGAN ROAD; THENCE NORTH 27 DEGREES 07 MINUTES 05 SECONDS WEST ALONG SAID PARALLEL LINE 210.56 FEET TO THE POINT OF BEGINNING,

TOGETHER WITH THAT PART, IF ANY, OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

A STRIP OF LAND LYING BETWEEN THE EAST LINE OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT OF WAY AND A LINE 33 FEET WESTERLY OF (MEASURED PERPENDICULARLY) AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD) NORTH OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4, AND SOUTH OF THE SOUTH LINE OF DOWNEY' S COOK COUNTY HOME ADDITION TO DEERFIELD AND SAID SOUTH LINE EXTENDED EASTERLY, A SUBDIVISION OF PART OF THE NORTH 1/2 OF SAID SECTION 4,

(EXCEPT THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE SOUTH 27 DEGREES 07 MINUTES 5 SECONDS EAST ALONG SAID PARALLEL LINE 33 FEET WESTERLY OF SAID CENTER LINE 210.56 FEET; THENCE SOUTH 64 DEGREES 46 MINUTES 30 SECONDS WEST 629.232 FEET; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST 75.00 FEET FOR A POINT OF BEGINNING OF THE PARCEL OF LAND DESCRIBED HEREBY; THENCE SOUTH 64 DEGREES 46 MINUTES 30 SECONDS WEST 433.887 FEET TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY LINE OF SAID TOLL HIGHWAY SAID POINT BEING 737.445 FEET SOUTHEASTERLY OF (AS MEASURED ALONG SAID NORTHEASTERLY LINE) ITS POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD; THENCE NORTH 59 DEGREES 08 MINUTES 30 SECONDS WEST IN SAID NORTHEASTERLY LINE 13.773 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 441.573 FEET; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST 11.43 FEET TO THE POINT OF BEGINNING), IN COOK COUNTY, ILLINOIS.

TRACT C:

PARCEL 1:

THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE SOUTH 27 DEGREES 07 MINUTES 5 SECONDS EAST ALONG SAID PARALLEL LINE 33 FEET WESTERLY OF SAID CENTER LINE 210.56 FEET; THENCE SOUTH 64 DEGREES 46 MINUTES 30 SECONDS WEST 629.232 FEET; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST 75.00 FEET FOR A POINT OF BEGINNING OF THE PARCEL OF LAND DESCRIBED HEREBY; THENCE SOUTH 64 DEGREES 46 MINUTES 30 SECONDS WEST 433.887 FEET TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY LINE OF SAID TOLL HIGHWAY SAID POINT BEING 737.445 FEET SOUTHEASTERLY OF (AS MEASURED ALONG SAID NORTHEASTERLY LINE) ITS POINT OF INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD; THENCE NORTH 59 DEGREES 08 MINUTES 30 SECONDS WEST IN SAID NORTHEASTERLY LINE 13.773 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 441.573 FEET; THENCE SOUTH 25 DEGREES 13 MINUTES 30 SECONDS EAST 11.43 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTH 1/2 OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EASTERLY AND NORTHERLY OF THE NORTHERN ILLINOIS TOLL HIGHWAY DESCRIBED AS:

COMMENCING AT THE POINT OF INTERSECTION OF A LINE 1576 FEET NORTH OF AND PARALLEL WITH THE EAST AND WEST QUARTER SECTION LINE OF SAID SECTION 4 WITH A LINE 33 FEET WESTERLY OF AND PARALLEL WITH THE CENTER LINE (AS OCCUPIED) OF WAUKEGAN ROAD (FORMERLY STATE ROAD); THENCE SOUTH 27 DEGREES 07 MINUTES 05 SECONDS EAST ALONG SAID PARALLEL LINE 33 FEET WESTERLY OF SAID CENTER LINE 210.56 FEET FOR A POINT OF BEGINNING OF THE PARCEL OF LAND DESCRIBED HEREBY; CONTINUING THENCE SOUTH 27 DEGREES 07 MINUTES 05 SECONDS EAST ALONG SAID PARALLEL LINE 816.02 FEET TO A POINT 398.48 FEET SOUTHEASTERLY OF THE INTERSECTION OF THE LAST SAID PARALLEL LINE WITH A LINE 559.06 FEET SOUTH OF AND PARALLEL WITH SAID LINE 1576 FEET NORTH OF AND PARALLEL WITH SAID QUARTER SECTION LINE; THENCE SOUTH 85 DEGREES 48 MINUTES 35

SECONDS WEST 855.62 FEET TO A POINT OF INTERSECTION WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID TOLL ROAD, SAID POINT BEING 813.39 FEET SOUTHEASTERLY OF (MEASURED IN THE SAID NORTHEASTERLY LINE) ITS POINT OF INTERSECTION WITH SAID LINE 559.06 FEET SOUTH OF SAID LINE 1576 FEET NORTH OF SAID QUARTER SECTION LINE; THENCE NORTH 59 DEGREES 08 MINUTES 30 SECONDS WEST IN SAID NORTHEASTERLY LINE 522.355 FEET, TO A POINT 737.445 FEET SOUTHEASTERLY (AS MEASURED ALONG SAID LINE) FROM ITS INTERSECTION WITH THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD: THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 433.887 FEET; THENCE NORTH 25 DEGREES 13 MINUTES 30 SECONDS WEST 75 FEET; THENCE NORTH 64 DEGREES 46 MINUTES 30 SECONDS EAST 629.232 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PINs: 04-04-200-005-0000; 04-04-200-007-0000; 04-04-200-008-0000; 04-04-200-013-0000; 04-04-200-014-0000; 04-04-200-016-0000; 04-04-200-017-0000; 04-04-200-021-0000; 04-04-200-022-0000; 04-04-200-023-0000; 04-04-200-024-0000; 04-04-202-025-0000

Common Address: 110 South Waukegan Road, Deerfield, Illinois

EXHIBIT B

LEGAL DESCRIPTION OF DEERFIELD PARK PLAZA

PARCEL 1:

THAT PART OF LOTS 1 TO 9, BOTH INCLUSIVE, TOGETHER WITH THAT PART OF VACATED FLORENCE AVENUE, ALL BEING IN DOWNEY'S COOK COUNTY COUNTRY HOME ADDITION TO DEERFIELD, A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 27, 1914 AS DOCUMENT 5464976, ALL TAKEN AS A TRACT OF LAND BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF LAKE-COOK ROAD AS PER DOCUMENT 10627383 WITH THE CENTER LINE OF VACATED FLORENCE AVENUE; THENCE SOUTH 25 DEGREES, 09 MINUTES, 30 SECONDS EAST ON SAID CENTERLINE OF VACATED FLORENCE AVENUE, A DISTANCE OF 277.22 FEET; THENCE NORTH 90 DEGREES WEST, A DISTANCE OF 169.56 FEET; THENCE SOUTH 37 DEGREES, 27 MINUTES, 58 SECONDS WEST, A DISTANCE OF 180.15 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 9 WHICH IS 66.28 FEET EAST OF THE SOUTHWEST CORNER OF LOT 9; THENCE NORTH 90 DEGREES WEST ON SAID SOUTH LINE OF LOT 9, A DISTANCE OF 66.28 FEET TO THE SOUTHWEST CORNER OF SAID LOT 9; THENCE SOUTH 25 DEGREES 09 MINUTES 30 SECONDS EAST ON THE WESTERLY LINE OF SAID LOTS 6, 7, 8, A DISTANCE OF 684 FEET TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE NORTH 90 DEGREES EAST ON THE SOUTH LINE OF SAID LOTS 5 AND 6, A DISTANCE OF 825.20 FEET TO THE SOUTHEAST CORNER OF SAID LOT 5; THENCE NORTH 25 DEGREES, 09 MINUTES, 30 SECONDS WEST ON THE EASTERLY LINE OF LOTS 1, 2, 3, 4 AND 5, A DISTANCE OF 1119.21 FEET TO AFORESAID SOUTH RIGHT-OF-WAY LINE OF LAKE COOK ROAD, AS PER DOCUMENT 10627383; THENCE NORTH 90 DEGREES WEST ON SAID RIGHT-OF-WAY LINE, A DISTANCE OF 412.60 FEET TO THE PLACE OF BEGINNING (EXCEPTING FROM SAID TRACT OF LAND THAT PART OF SAID LOTS 4 AND 5, TAKEN AS A TRACT DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 5; THENCE NORTH 90 DEGREES WEST ON THE SOUTH LINE OF SAID LOT 5, A DISTANCE OF 307.58 FEET; THENCE NORTH 0 DEGREES EAST, A DISTANCE OF 48.0 FEET TO THE PLACE OF BEGINNING; THENCE NORTH 64 DEGREES, 50 MINUTES, 30 SECONDS EAST, A DISTANCE OF 208.0 FEET; THENCE NORTH 25 DEGREES, 09 MINUTES, 30 SECONDS WEST, A DISTANCE OF 287.0 FEET; THENCE SOUTH 64 DEGREES, 50 MINUTES, 30 SECONDS WEST, A DISTANCE OF 208.0 FEET; THENCE SOUTH 25 DEGREES; 09 MINUTES, 30 SECONDS EAST, A DISTANCE OF 287.0 FEET TO THE PLACE OF BEGINNING AND ALSO EXCEPTING THAT PART OF LOT 1 IN DOWNEY'S COOK COUNTY COUNTRY HOME ADDITION TO DEERFIELD AND THAT PART OF THE EASTERLY HALF OF VACATED FLORENCE AVENUE IN SAID SUBDIVISION ALL TAKEN AS A TRACT, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE

CENTER LINE OF VACATED FLORENCE AVENUE WITH THE SOUTH LINE OF LAKE-COOK ROAD, ACCORDING TO DOCUMENT 10627383, SAID SOUTH LINE BEING 50 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NORTHWEST V_i OF SAID SECTION 4; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE OF VACATED FLORENCE AVENUE TO ITS INTERSECTION WITH A LINE 60 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE; THENCE EAST ALONG SAID PARALLEL LINE TO A POINT 24 FEET WEST OF (AS MEASURED ALONG SAID PARALLEL LINE EXTENDED EAST) ITS INTERSECTION WITH THE WESTERLY LINE OF AN EASEMENT AS GRANTED BY INSTRUMENT RECORDED AUGUST 12, 1975 AS DOCUMENT 23185096; THENCE SOUTHEASTERLY TO A POINT ON SAID WESTERLY LINE THAT IS 24 FEET SOUTH OF THE LAST DESCRIBED PARALLEL LINE (AS MEASURED ALONG SAID WESTERLY LINE); THENCE NORTH ALONG SAID WESTERLY LINE 34 FEET TO THE SOUTH LINE OF LAKE-COOK ROAD AFORESAID; THENCE WEST ALONG SAID SOUTH LINE 194.09 FEET TO THE POINT OF BEGINNING), ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:

EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT FOR PARTY WALL AND EASEMENT TO MAINTAIN PORTION OF WALL ON ADJOINING PROPERTY MADE BETWEEN AMERICAN NATIONAL BANK AND TRUST COMPANY OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 18, 1973 AND KNOWN AS TRUST NUMBER 32388 AND AMERICAN NATIONAL BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED APRIL 1, 1975 AND KNOWN AS TRUST NUMBER 90763 DATED JULY 14, 1975 AND RECORDED AUGUST 12, 1975 AS DOCUMENT 23185095 FOR THE REPAIR, MAINTENANCE, RESTORATION OR RENOVATION OF THE NORTH WALL OF THE BUILDING SITUATED ON THE TRACT OF LAND DESCRIBED AS FOLLOWS:

THAT PART OF LOT 4 IN DOWNEY'S COOK COUNTY COUNTRY HOME ADDITION TO DEERFIELD, A SUBDIVISION OF PART OF THE NORTH" OF SECTION 4, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID LOT 4, WHICH IS 55,24 FEET WEST OF THE SOUTHEAST CORNER THEREOF, THENCE NORTH 90 DEGREES WEST ON SAID SOUTH LINE A DISTANCE OF 229.80 FEET, THENCE NORTH 25 DEGREES 9 MINUTES 30 SECONDS WEST A DISTANCE OF 112.03 FEET, THENCE NORTH 64 DEGREES 50 MINUTES 30 SECONDS EAST A DISTANCE OF 208.0 FEET, THENCE SOUTH 25 DEGREES 9 MINUTES 30 SECONDS EAST, A DISTANCE OF 209.72 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

ALSO

THAT PART OF LOT 5 IN DOWNEY'S COOK COUNTY COUNTRY HOME ADDITION TO DEERFIELD, A SUBDIVISION .OF PART OF THE NORTH Y2 OF SECTION 4,

TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 5 WHICH IS 55.24 FEET WEST OF THE NORTHEAST CORNER THEREOF, THENCE NORTH 90 DEGREES WEST, A DISTANCE OF 229.80 FEET, THENCE SOUTH 25 DEGREES 9 MINUTES 30 SECONDS EAST A DISTANCE OF 174.97 FEET, THENCE NORTH 64 DEGREES 50 MINUTES 30 SECONDS EAST A DISTANCE OF 208.0 FEET, THENCE NORTH 25 DEGREES 9 MINUTES 30 SECONDS WEST, A DISTANCE OF 77.28 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

PINs: 04-04-101-029-0000; 04-04-101-030-0000; 04-04-101-031-0000; 04-04-101-032-0000; 04-04-101-033-0000; 04-04-101-034-0000; 04-04-101-035-0000; 04-04-101-036-0000; 04-04-101-037-0000.

Common Address: 461 Lake Cook Road, Deerfield, Illinois

**EXHIBIT C
DEPICTION OF NORTH EASEMENT MODIFICATIONS**

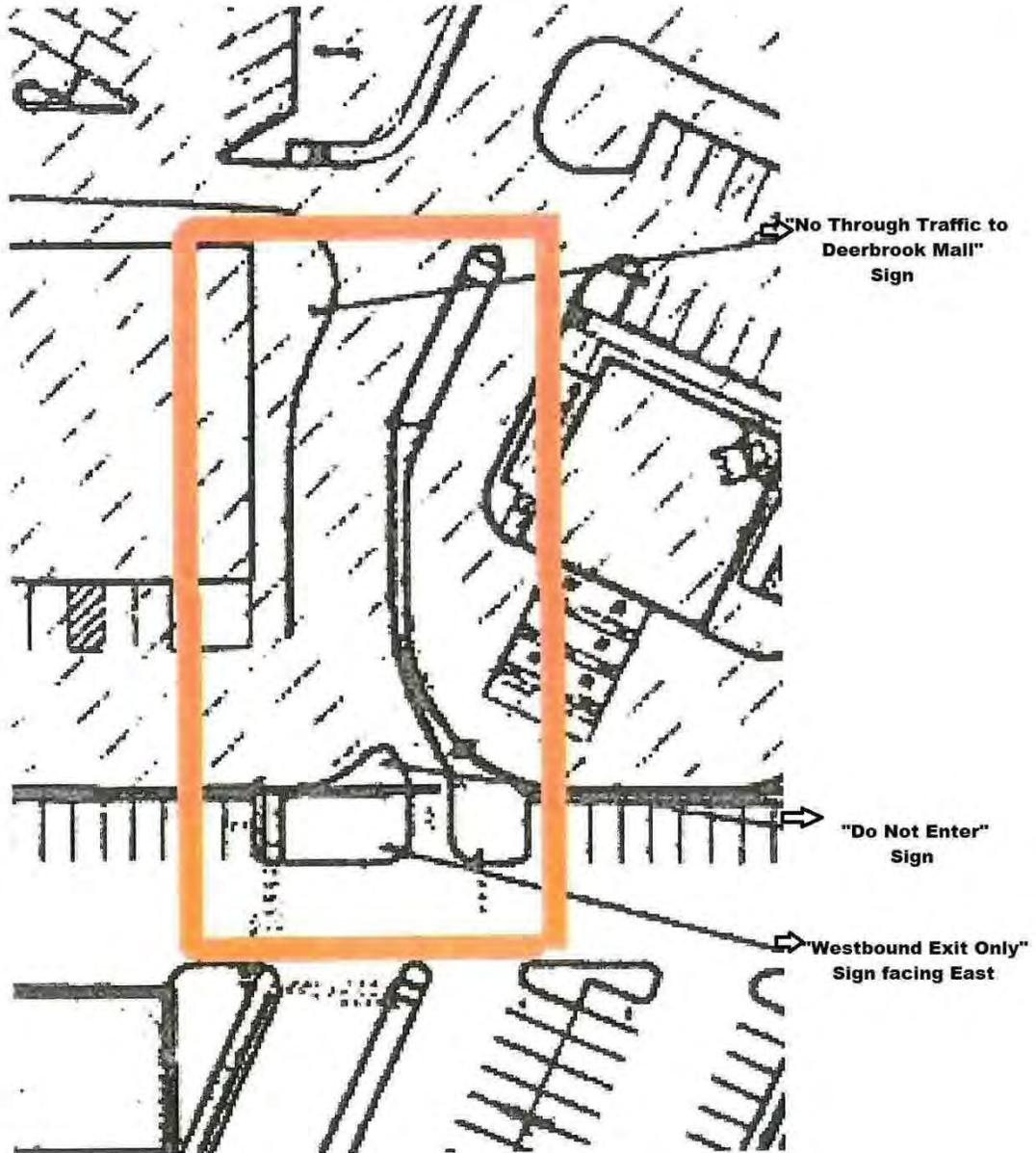
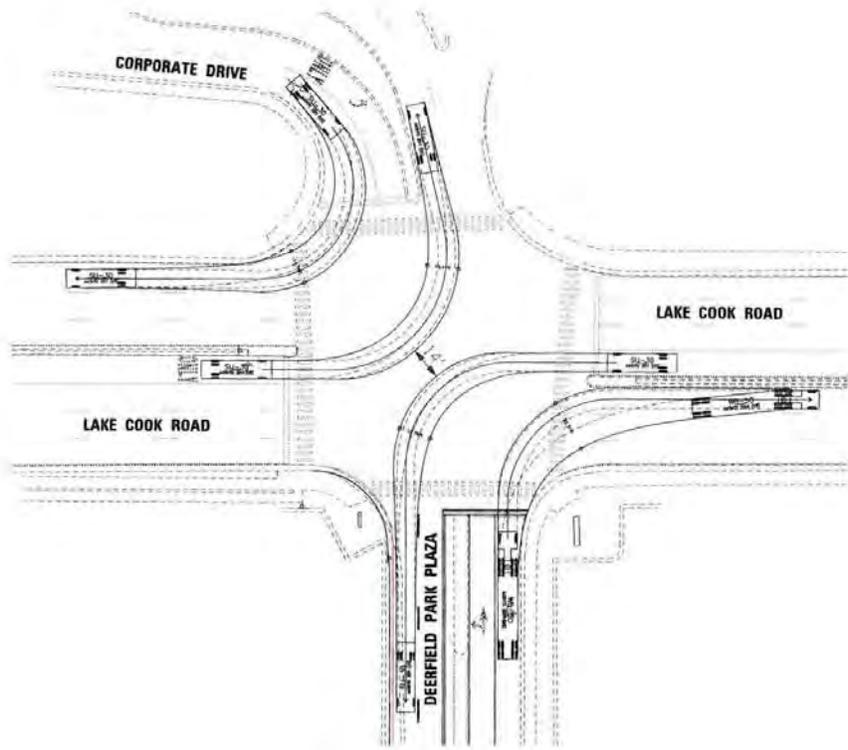


EXHIBIT D

Attached.

EXHIBIT "D" TO FIRST AMENDMENT TO MUTUAL AND RECIPROCAL ACCESS EASEMENT AMONG GATEWAY FAIRVIEW INC./
 LAKE COOK PLAZA, LLC/ VILLAGE OF DEERFIELD



KLOA		<small>1000 WEST WASHINGTON STREET, SUITE 100 DEERFIELD, ILLINOIS 60015-1000 PHONE: 847.938.1000 FAX: 847.938.1001 PROJECT # 1424</small>	
INTERSECTION DESIGN STUDY			
ROUTE	LAKE COOK ROAD	ROUTE	LAKE COOK ROAD
ROUTE	CORPORATE DRIVE	ROUTE	DEERFIELD PARK PLAZA
SEC. NO.		PAGE NO.	
SCALE	1" = 20'	COUNTY	LAKE
S/N #		REV. NO.	
DESIGNED BY	MILLIE BARBERA	DATE	03/18/2016
SATISFACTORY	DEPUTY SUPERVISOR	THOMAS	DATE
SATISFACTORY	DEPUTY TRAFFIC DEVELOPMENT ENGINEER	THOMAS	DATE
SATISFACTORY	DEPUTY OPERATIONS ENGINEER	THOMAS	DATE
APPROVED	DEPUTY DIRECTOR OF HIGHWAY DESIGN	THOMAS	DATE
<small>DATE PLOTTED: 04/01/16 10:00 AM PLOTTER: HP DesignJet T1200 PLT. SHEET 3 OF 3</small>			

REQUEST FOR BOARD ACTION

16-56

Agenda Item: _____

Subject: Resolution Authorizing Amendment to Economic Incentive Agreement Between

Village of Deerfield and Gateway Fairview, Inc., and Jewel Food Stores, Inc.

Action Requested: Approval

Village Manager's Office

Originated By: _____
Mayor and Board of Trustees

Referred To: _____

Summary of Background and Reason for Request

On July 20, 2015, the Village Board approved an Economic Incentive Agreement with Gateway Fairview Inc., owner of Deerbook Shopping Center, and Jewel-Osco to construct and operate a new redesigned store.

Mayor Rosenthal, Trustee Nadler and staff have since reviewed a revised construction proposal from Jewel that alters the sequencing, reduces the construction time, reduces the associated extraordinary/redevelopment costs and reduces the footprint of the store's operation during construction. Staff believes this is a beneficial construction revision that is consistent with the original intent of the Economic Incentive Agreement, as the outcome of Jewel's redevelopment remains unchanged.

Staff recommends authorizing an amendment to the Economic Incentive Agreement to reflect the reduction in extraordinary costs and the reduced footprint the store will keep in operation during construction.

Representatives of Mall Ownership and Jewel-Osco will be available along with Village staff to review and respond to questions.

Reports and Documents Attached:

Memo from Village Manger Kent Street w/ attachments – May 11, 2016
Resolution
Amendment to Economic Incentive Agreement w/ Exhibits

Date Referred to Board: _____
May 16, 2016

Action Taken: _____

MEMORANDUM

To: Mayor Rosenthal and Board of Trustees

From: Kent Street, Village Manager

Date: May 11, 2016

Subject: Deerbrook Jewel-Osco Revised Construction Sequencing

Introduction

On July 20, 2015, the Village Board approved an Economic Incentive Agreement with Gateway Fairview Inc., owner of Deerbrook Shopping Center, and Jewel-Osco to construct and operate a new redesigned store.

Mayor Rosenthal, Trustee Nadler and staff have since reviewed a revised construction proposal from Jewel that alters the sequencing, reduces the construction time, reduces the associated extraordinary/redevelopment costs and reduces the footprint of the store's operation during construction. Staff believes this is a beneficial construction revision that is consistent with the original intent of the Economic Incentive Agreement, as the outcome of Jewel's redevelopment remains unchanged.

Construction Sequencing

Original – July 20, 2015

Jewel's original construction proposal was expected to take 63 weeks to complete and had \$1.35 million in extraordinary costs largely due to the construction sequencing, which essentially required a new store to be built around an old store while maintain operations. This was presented as the best way to maximize product selection and customer retention resulting in stronger sales during and after construction. The Village agreed to participate in the extraordinary costs up to \$1.2 million at a 6% discount rate. To illustrate, the payments over 20 years on \$1.2 million are less than \$2.4 million and payments depend on sales dollars above the base level.

Revised – May 4, 2016

The new construction proposal is expected to take 59 weeks to complete and has \$950,000 in extraordinary costs. Jewel no longer plans to keep a full store in operation during construction. Instead, Jewel will only retain operation of a 10,000-15,000 square foot Osco pharmacy with minimal grocery selection. This minimizes the construction disruption and is closer to a conventional store redevelopment. Jewel believes maintaining a pharmacy operation during construction is critical for customer retention. Based on Jewel's sales assumptions, it is expected that payments on \$950,000 will be reached in year 16 and are less than \$1.75 million (\$650,000 less in total payments than the original agreement).

Jewel Osco Investment Incentive Terms, Conditions & Contingencies

Staff recommends revising the terms in the Economic Incentive Agreement to reflect the reduction in extraordinary costs and the reduced footprint the store will keep in operation during construction.

Below are revised terms recommended for the Jewel Osco Economic Incentive Agreement with additions shown in double underline and deletions in ~~strikethrough~~:

Redevelopment Costs: Costs estimated at \$13.2 million for a newly constructed 61,800 square foot Jewel Osco store. There are approximately ~~\$1.35 million~~ \$950,000 in extraordinary costs to sequence construction to ~~maximize~~ maintain a 10,000-15,000 sq. ft. pharmacy operations during the project.

Incentive Reimbursement: Jewel Osco to receive 75% of the incremental sales tax and home rule sales tax revenue from annual retail sales above a base level of \$17.5 million (avg. of 2012 & 2013, pre-Dominick's closings) equal to the lesser of 1.) the Net Present Value using a 6% discount rate of the actual amount spent on the extraordinary costs, or 2.) the Net Present Value using a 6% discount rate of ~~\$1.2 million~~ \$950,000.

Term: Earlier of 20 years or the day the Incentive Income Amount is reached.

Rate: 6% discount rate.

Commencement Date: Upon opening of new Jewel Osco store (1st day of the 1st month of full operations).

Contingencies:

- Exclusive to Jewel or New Albertson's Inc. affiliate
- Minimum 10 year lease term for Jewel-Osco
- Minimum of 55,000 square foot Jewel-Osco store
- Jewel-Osco lease will permit wholesale club use such as Sam's Club or Costco to operate in Deerbrook as they typically do, with no Gross Leasable Area food restrictions.
- Construction of new Jewel Osco store to commence within 12 months of Village land use approval.
- Opening of complete new Jewel Osco store within 18 months of construction start.
- Uses for pads E and F restricted to sales tax producing uses.
- If the new Jewel Osco is inoperable for 12 months, other than for casualty, the agreement is terminated.

As reference, the original (July, 2015) and revised (May, 2016) project timelines, budgets for the extraordinary costs of sequencing, construction project site plans, and 20 year projected tax sharing schedules are attached with this report. In addition, also attached is a conceptual site plan for Deerbrook Mall illustrating the redesigned Jewel.

Conclusion & Recommendation

Mayor Rosenthal, Trustee Nadler and staff believe the revised construction sequencing is beneficial for all parties. The new construction proposal results in a new Jewel Osco store

opening 4 weeks earlier, reduces disruption to customers, and reduces the Village's total payments by approximately \$650,000, while still retaining Jewel's pharmacy customer base throughout construction. The revisions are consistent with the original intent of the Economic Incentive Agreement as the final Jewel Osco product remains unchanged from the Board's original approval that occurred on July 20, 2015.

Representatives of Mall Ownership and Jewel-Osco will be available along with Mayor Rosenthal, Trustee Nadler and staff to review the proposal and respond to questions at the May 16 Board meeting.

Kent S. Street
Village Manager

Deerfield Project Timelines from Completion of Entitlements

Date: 6/29/2015

Timeline building new store around existing	Weeks	Comments
Entitlements Complete	0	Site is pad ready
Prepare Construction Documents	12	
Permitting & Bidding	4	
Construction & Fixturing	24	
Merchandising	4	Customer access tunnel will be completed prior to Phase 1 completion
New store Phase 1 construction complete	44	Includes completion of RX drive thru. Store will need to be remerchandised into new space.
Build temporary wall in existing building	1	
Demo portion of existing store/Phase 2 new store construction	10	
Merchandising	2	
New store Phase 2 Complete	57	
Remove product and equipment from existing store	2	
Demo existing store	1	
Complete north site work	3	
Grand Opening	63	

Additional costs incurred by 2 Phase new store construction	Est.
General Conditions / OH&P	\$250,000
Remobilization of Trades	\$100,000
Temporary footings & walls	\$500,000
Temporary access tunnel between old & new store	\$75,000
Additional Merchandising / Fixturing	\$225,000
Utilities	\$150,000
Additional Labor	\$50,000
Total:	\$1,350,000

Total New Store Cost

Construction Cost- New Store	\$7,420,800
Soft Cost	\$350,000
FFE	\$4,500,000
Additional Hard & Labor Cost	\$1,200,000
Additional Labor	\$150,000
Total	\$13,620,800

Deerfield Project Timelines		Date: 5/4/2016
	Weeks	Comments
Permitting & Bidding	10	
Downsizing	2	
Partial Building Demo & Pad Prep	5	
Jewel Osco New Store Construction	35	Soft Open
Remaining Building Demo & Site Work	7	Grand Open
Total	59	

Additional costs incurred by single phase new store construction	Est.
General Conditions / OH&P	\$150,000
Remobilization of Trades	\$50,000
Temporary footings & walls	\$100,000
Temporary roofing & mechanicals	\$150,000
Additional Merchandising / Fixturing	\$350,000
Utilities	\$100,000
Additional Labor	\$50,000
Total:	\$950,000

Construction Cost- New Store	\$7,420,800
Soft Cost	\$350,000
FFE	\$4,500,000
Additional Hard & Labor Cost	\$900,000
Additional Labor	\$50,000
Total	\$13,220,800

Jewel Osco/Deerbrook Mall
20 Year Projected Economic Incentive Distribution

1st year sales of completed store estimated at \$24.6 million, annual growth at 1.93% (After year 5)

75/25 split \$17,500,000 base year

75/25 split \$17,500,000 base year

	Local Distributive Share of Sales Taxes	Home Rule Sales Taxes	Total Pledged	Tax Years After Commencement Date	Present value of Incentive Payment
2015	\$ 40,074	\$ 10,019	\$ 50,093	1	\$47,258
2016	\$ 59,434	\$ 14,249	\$ 73,683	2	\$65,578
2017	\$ 64,500	\$ 15,158	\$ 79,658	3	\$66,882
2018	\$ 68,378	\$ 16,083	\$ 84,461	4	\$66,901
2019	\$ 72,242	\$ 17,027	\$ 89,269	5	\$66,707
2020	\$ 76,173	\$ 17,989	\$ 94,162	6	\$66,380
2021	\$ 80,176	\$ 18,969	\$ 99,145	7	\$65,937
2022	\$ 84,256	\$ 19,969	\$ 104,225	8	\$65,392
2023	\$ 88,416	\$ 20,987	\$ 109,403	9	\$64,756
2024	\$ 92,655	\$ 22,026	\$ 114,681	10	\$64,037
2025	\$ 96,977	\$ 23,084	\$ 120,061	11	\$63,246
2026	\$ 101,381	\$ 24,163	\$ 125,544	12	\$62,392
2027	\$ 105,871	\$ 25,263	\$ 131,134	13	\$61,481
2028	\$ 110,448	\$ 26,383	\$ 136,831	14	\$60,520
2029	\$ 115,112	\$ 27,526	\$ 142,638	15	\$59,518
2030	\$ 119,867	\$ 28,690	\$ 148,558	16	\$58,479
2031	\$ 124,714	\$ 29,877	\$ 154,591	17	\$57,410
2032	\$ 129,654	\$ 31,087	\$ 160,741	18	\$56,315
2033	\$ 134,689	\$ 32,321	\$ 167,010	19	\$55,199
2034	\$ 139,822	\$ 33,578	\$ 173,400	20	\$54,063
Total	\$ 1,904,838	\$ 454,449	\$ 2,359,287		\$1,200,000
Net Present Value (6%)			\$1,228,454		

DRAFT
For Discussion Purposes Only

Jewel Osco/Deerbrook Mall
20 Year Projected Economic Incentive Distribution

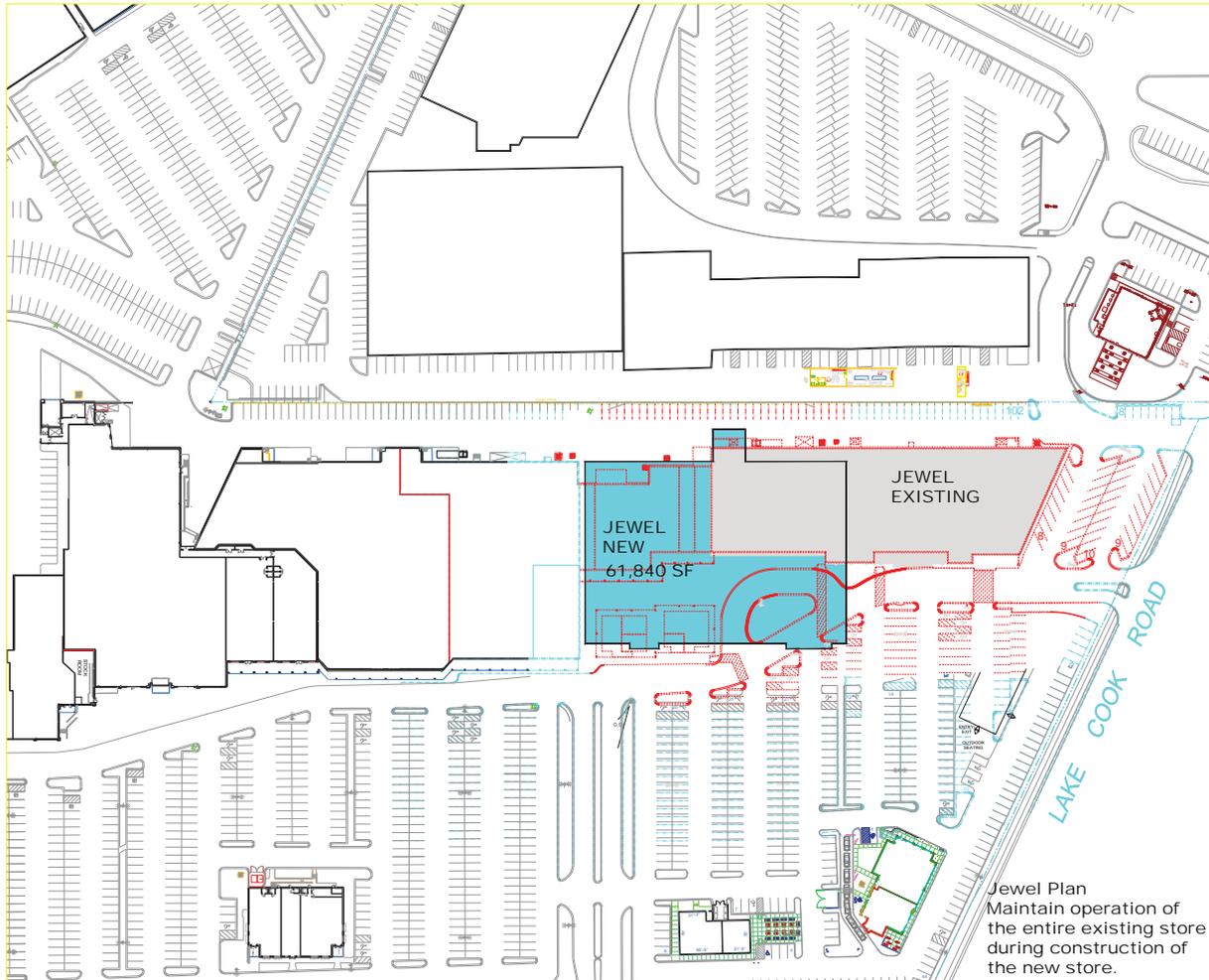
1st year sales of completed store estimated at \$24.6 million, annual growth at 1.93% (After year 5)

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2028	\$ 110,448	\$ 26,383	\$ 136,831	14	\$60,520
2029	\$ 115,112	\$ 27,526	\$ 142,638	15	\$59,518
2030	\$ 119,867	\$ 28,690	\$ 148,558	16	\$3,015
2031				17	
2032				18	
2033				19	
2034				20	
Total	\$ 1,375,960	\$ 327,586	\$ 1,703,546		\$950,000
Net Present Value (6%)			\$1,005,464		

DRAFT
For Discussion Purposes Only



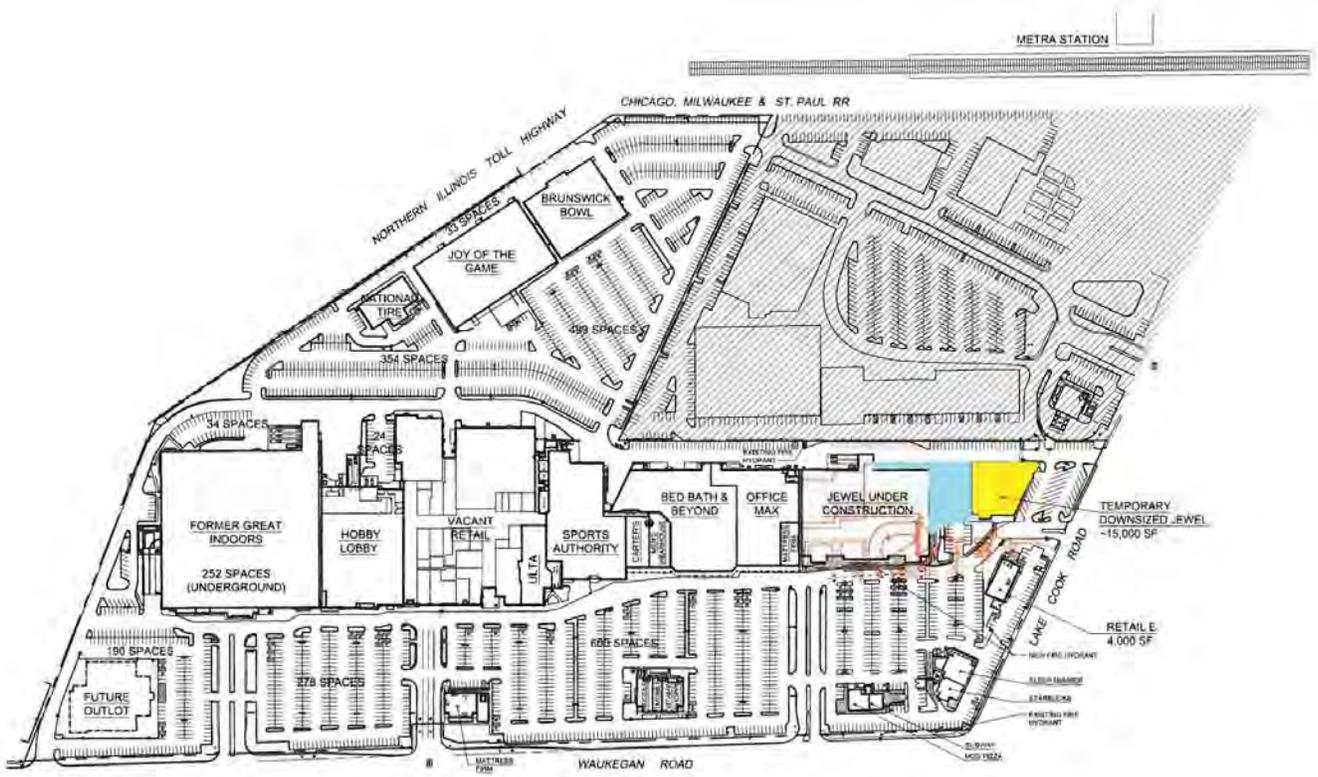
Jewel Plan
 Maintain operation of
 the entire existing store
 during construction of
 the new store.

CAMBURAS & THEODORE
 ARCHITECTS
 100 N. LAUREL ST. #202
 DEERFIELD, IL 60015
 TEL: 847.338.1313
 WWW.CAMTHEO.COM #14-001931



JEWEL OSCO
 DEERFIELD, ILLINOIS





PROPOSED SITE PLAN DURING JEWEL CONSTRUCTION PHASE

SCALE: 1"=60'-0"



DEERBROOK MALL

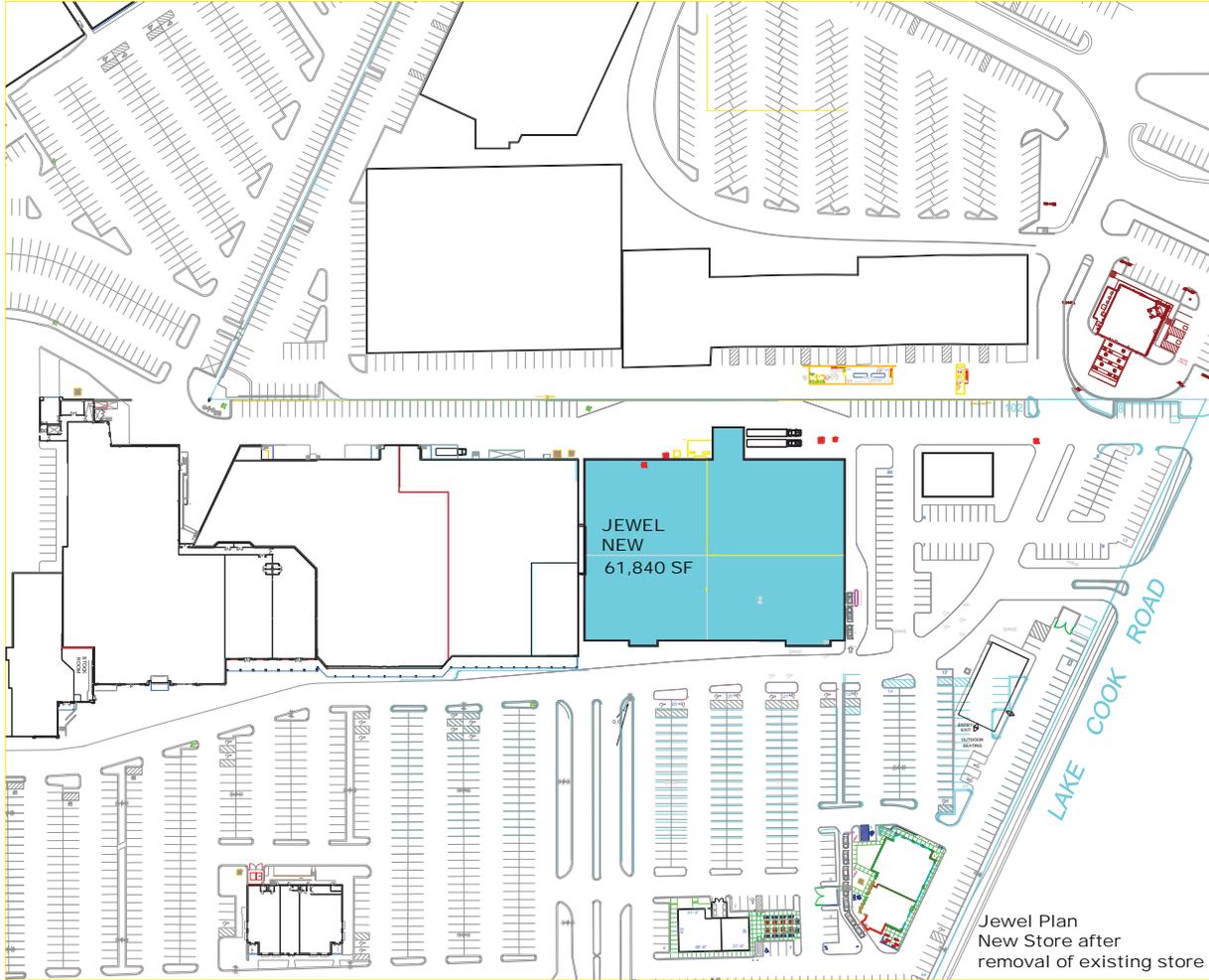
DEERFIELD, ILLINOIS



OKW Architects

DATE: MAY 5, 2018

PROJECT NUMBER: 10251



Jewel Plan
New Store after
removal of existing store

CAMERON & THEODORE
 STATE COMPANY, INC.
 8411 20th Street
 Skokie, IL 60076
 L. 11/2008 02 05 0000 00 00 00

CT
 JEWEL OSCO
 DEERFIELD, ILLINOIS



**VILLAGE OF DEERFIELD
LAKE AND COOK COUNTIES, ILLINOIS**

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING AN AMENDMENT
TO ECONOMIC INCENTIVE AGREEMENT**

WHEREAS, the Village of Deerfield is a home rule unit of local government pursuant to the provisions of Article VII, Section 6 of the Illinois Constitution; and

WHEREAS, except as limited by Article VII, Section 6 of the Illinois Constitution, the Village has the authority to exercise any power and perform any function pertaining to its government and affairs, including but not limited to the power to enter into this Amendment to Economic Incentive Agreement; and

WHEREAS, the Village entered into a certain Economic Incentive Agreement dated July 21, 2015 (the “Agreement”) with Gateway Fairview, Inc., the owner of the Deerbrook Shopping Center (“Owner”), and Jewel Food Stores, Inc. (“Jewel”), to provide an economic incentive as described in the Agreement for a redevelopment project at Deerbrook Shopping Center (the “Center”) by Owner and Jewel that will include the demolition of the existing Jewel Osco store (the “Existing Store”) at the north end of the Center, the construction of a new Jewel Osco store at the north end of the Center, and the further redevelopment of the north end of the Center shopping center with additional parking and retail outlots (the “Project”); and

WHEREAS, due to difficulties now foreseen by Jewel in continuing to operate the Existing Store as a temporary full-line grocery store location during construction of the Project, Jewel has proposed that the Agreement be amended as provided in the Amendment to Economic

Incentive Agreement attached hereto as Exhibit A (the “Amendment”) to only require that Jewel continue to operate an approximately 10-15,000 square foot downsized pharmacy store as a temporary store during the development and construction of the new Jewel Osco grocery store, together with a reduction in the costs that Jewel may seek as an Incentive Reimbursement recoverable under the Agreement.

WHEREAS, the corporate authorities of the Village of Deerfield have determined that it is necessary, desirable and in the best interests of the Village to enter into the Amendment;

NOW THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF DEERFIELD, LAKE AND COOK COUNTIES, ILLINOIS, in the exercise of its home rule powers, as follows:

SECTION 1: That the above and foregoing recitals, being material to this resolution, are hereby incorporated into and made a part of this Resolution as if fully set forth herein.

SECTION 2: That the President and Village Clerk of the Village of Deerfield are hereby authorized and directed to respectively execute and attest an Amendment to Economic Incentive Agreement with Gateway Fairview, Inc. and Jewel in substantially the form attached hereto as Exhibit A for and on behalf of the Village of Deerfield.

SECTION 3: That this Resolution, and each of its terms, shall be the effective legislative act of a home rule municipality without regard to whether such Resolution should: (a) contain terms contrary to the provisions of current or subsequent non-preemptive state law; or, (b) legislate in a manner or regarding a matter not delegated to municipalities by state law. It is the intent of the corporate authorities of the Village of Deerfield that to the extent that the terms of this Resolution should be inconsistent with any non-preemptive state law, this Resolution shall supersede state law in that regard within its jurisdiction.

SECTION 4: That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED this _____ day of _____, 2016.

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this _____ day of _____, 2016.

Village President

ATTEST:

Village Clerk

AMENDMENT TO ECONOMIC INCENTIVE AGREEMENT

This AMENDMENT TO ECONOMIC INCENTIVE AGREEMENT (“Amendment”) is made and entered into as of this 16th day of May, 2016, by and between the VILLAGE OF DEERFIELD, Cook and Lake Counties, Illinois (“Village”), and GATEWAY FAIRVIEW, INC., a Delaware corporation, (“Owner”) and JEWEL FOOD STORES, INC., an Ohio corporation (“Jewel-Osco”).

RECITALS

A. The parties hereto previously entered into that certain Economic Incentive Agreement, dated July 21, 2015 (the “Agreement”), a true and accurate copy of which is attached hereto as Exhibit “A” and is incorporated herein by reference; and

B. Due to difficulties it now foresees in continuing to operate the Existing Store as a temporary full-line grocery store location during a 2-phase construction of the New Store, Jewel has proposed that it will instead continue to operate an approximately 10-15,000 square foot downsized pharmacy store as a temporary store during the development and construction of the New Store during a 1-phase construction project, with a reduction to \$950,000 in the Extraordinary Costs that may be considered as an Incentive Reimbursement Amount recoverable under the Agreement from Incremental Sales Taxes.

C. The parties hereto are desirous of amending certain terms of the Agreement in accordance with this Amendment.

NOW, THEREFORE, IT IS HEREBY AGREED BY AND BETWEEN THE VILLAGE, OWNER AND JEWEL-OSCO, as follows:

Section 1. Amendment to the Agreement. The Agreement is hereby amended as follows:

A. The representation of Jewel-Osco and Owner, specifically contained in Section 3G., and referenced elsewhere, that Jewel-Osco will operate the Existing Store as a full line Jewel-Osco store until the New Store is placed in operation, is hereby amended such that Jewel-Osco will continue to operate an approximately 10-15,000 square foot portion of the Existing Store during construction of the New Store as a pharmacy, but not as a “full line Jewel-Osco Store;” and

B. Section 2E. of the Agreement is amended to read as follows:

“Extraordinary Costs” shall mean the actual costs incurred by Jewel-Osco for the extraordinary sequencing of New Store construction while maintaining an approximately 10-15,000 square foot pharmacy operation. Extraordinary Costs do not include the ordinary cost of operating and maintaining such pharmacy retail operations during construction of the Project, and do not include the ordinary cost that would have been incurred for constructing the New Store if pharmacy operations were terminated. Extraordinary Costs do include any and all additional costs and expenses of operating and maintaining the pharmacy retail operations during construction of the New Store.

C. The Incentive Reimbursement Amount set forth in Section 2G. is hereby reduced from \$1,200,000.00 to \$950,00.00; and

D. Exhibit “C” to the Agreement is hereby replaced by Exhibit “B” attached to this Amendment.

Section 2. No Further Amendments. Except as specifically amended herein by this Amendment, all other terms, conditions and provisions of the Agreement shall remain in full force and effect.

Section 3. Execution of Agreement. This Amendment maybe executed in two or more counterparts, each of which taken together shall constitute one and the same instrument.

SIGNATURES ON NEXT PAGE

IN WITNESS WHEREOF, the parties hereto have set their hands and seals of the date and year first written above.

VILLAGE OF DEERFIELD
an Illinois Municipal Corporation

By: _____
Its: _____

ATTEST:

Village Clerk

OWNER
GATEWAY FAIRVIEW, INC.,
a Delaware corporation

By: _____
Its: _____

ATTEST:

JEWEL FOOD STORES, INC.,
an Ohio corporation

By: _____
Its: President

ATTEST:

1040412.1

ECONOMIC INCENTIVE AGREEMENT

This ECONOMIC INCENTIVE AGREEMENT ("Agreement") is made and entered into as of this 21st day of July, 2015, by and between the VILLAGE OF DEERFIELD, Cook and Lake Counties, Illinois ("Village"), and GATEWAY FAIRVIEW, INC., a Delaware corporation, ("Owner") and JEWEL FOOD STORES, INC., an Ohio corporation ("Jewel-Osco).

RECITALS

A. Owner is the owner of the Deerbrook Shopping Center (the "Center") located within the Village and located at the southwest corner of the intersection of Lake Cook Road and Waukegan Road. The legal description of the Center is attached hereto as Exhibit A.

B. Jewel-Osco owns and operates an existing Jewel Osco store at the north end of the Center ("Existing Store") pursuant to a lease with Owner.

C. Owner and Jewel-Osco jointly propose a project (the "Project") for the Center which will involve (1) the construction of new leasable space within the Center for a new Jewel Osco store with a minimum of 55,000 square feet (the "New Store") pursuant to a new minimum 10-year term lease with Owner containing terms which shall not be inconsistent with this Agreement ("New Lease"), and (2) continued operation by Jewel Osco of the Existing Store until construction of the New Store is completed and New Store is ready to be opened as a Jewel Osco store.

D. As further consideration for this Agreement, the New Lease shall not prohibit wholesale club retailers (e.g., Sam's Club or Costco) to lease or occupy certain space in the Center, to operate in their typical fashion with their typical product mix and with no restriction on the amount of gross leasable area that may be devoted to food and grocery sales. Provided, however, that the New Lease may include a prohibition on such uses being converted to a use

that includes a full-line grocery store, including, but not limited to a Wal-Mart Supercenter or equivalent.

E. As further consideration for this Agreement, Owner agrees to limit and restrict Center pads "E" and "F" (as depicted on Exhibit B attached hereto) to uses that are sales tax generating uses. It is understood that the Village will not issue occupancy permits for uses not in compliance with this requirement. Provided, however, that notwithstanding the foregoing, the Village may approve other users based on a determination that, despite Owner's diligent best efforts, Owner is unable to lease pads "E" and/or "F" to a sales tax generating user.

F. Owner and Jewel-Osco have represented to the Village that economic assistance from the Village is required for the Project and that, but for such economic assistance, the Project would not be economically viable.

G. The targeted date for commencement of construction of the New Store is twelve (12) months after Village grants Village land use approvals as may be required to entitle Owner and Jewel-Osco to construct and operate the New Store in the Center. Owner and Jewel-Osco agree to apply for land use approvals no later than December 1, 2015 and pursue with due diligence thereafter. Subject to required public notice requirements, the Village agrees to make all reasonable efforts to expedite the review and approval process. In the event that Owner and Jewel-Osco have not received land use approvals on or before November 1, 2016, Village may, in the exercise of its sole discretion, terminate this Agreement on written notice to Owner and Jewel-Osco. It is expressly understood by all parties that Village land use approvals are not granted or obligated to be provided by the Village in any manner by this Agreement.

H. Owner and Jewel-Osco have represented to Village that (subject to causes beyond Owner's and Jewel-Osco's reasonable control, such as acts of God, unusually inclement weather,

material shortages and labor strikes) the New Store will be opened and operating as a full line Jewel Osco store not later than eighteen (18) months after the commencement of construction.

I. Pursuant to the Village's power as a home rule municipal corporation of the State of Illinois pursuant to Article VII, Section 6 of the 1970 Constitution of the State of Illinois, the Village possesses the authority and power to enter into this Agreement.

J. Owner and Jewel-Osco represent and warrant to the Village that their direct investments in the Project will be an estimated amount of \$13,620,800 as set forth in Exhibit C attached hereto.

K. Jewel represents and warrants that there will be approximately \$1.35 million (\$1,350,000) in extraordinary costs to complete the 2-phase construction project in order to continue to operate the Existing Store as a temporary store location during the development and construction of the New Store as set forth in Exhibit C attached hereto.

L. Village desires to retain existing businesses, diversify the tax base, assist the creation of new jobs and provide for the general enhancement of the tax base of the Village for the benefit of the Village and its residents.

M. Village has determined that providing an economic incentive for the Project in the form of an agreement to share or rebate to Jewel-Osco a portion of the Retailer's Occupation Taxes and Home Rule Retailer's Occupation Taxes received by the Village and generated by the New Store over the Base Sales Tax Amount provided in this Agreement and for the period of time as set forth in this Agreement is a proper exercise of its home rule powers.

N. As a result of the Project, the Village finds that:

1. significant real estate and sales tax revenues will be generated from the operation of the New Store within the Center;

2. the Project will serve to stabilize and enhance the Center for existing and future sales tax generating tenants;
3. the proposed Project will serve to enhance the tax base of the Village and other governmental entities;
4. the Owner and Jewel-Osco meet high standards of creditworthiness and financial strength;
5. the proposed Project will promote the health, safety and welfare of the Village's residents and businesses and enhance the economic well-being of the Village; and
6. this Agreement is in the best interest of the Village and its residents.

NOW, THEREFORE, IT IS HEREBY AGREED BY AND BETWEEN THE VILLAGE, OWNER AND JEWEL-OSCO, as follows:

Section 1. Incorporation of Recitals. The recitals set forth hereinabove are incorporated herein and made a part of this Agreement.

Section 2. Definitions.

- A. **"Annual Sales Taxes"** for a Tax Year means the total amount of Sales Taxes received by the Village, as confirmed by the Illinois Department of Revenue, upon taxable retail sales generated by the New Store for the Tax Year.
- B. **"Base Sales Tax Amount"** shall mean the amount of Sales Tax received by the Village, as confirmed by the Illinois Department of Revenue, upon taxable retail sales generated by the New Store up to the amount of Seventeen Million Five Hundred Thousand Dollars (\$17,500,000) (the "Incremental Sales Tax Base") for the Tax Year. To illustrate (although actual figures will vary), if the taxable annual retail sales generated by the New Store for a Tax Year is Seventeen Million Five Hundred Thousand Dollars (\$17,500,000), and assuming that seventy-five percent (75%) of taxable annual sales from the New Store are at the

one percent (1%) municipal Sales Tax level and twenty-five percent (25%) are at the two percent (2%) municipal Sales Tax level, the Base Sales Tax Amount for the Tax Year would be the sum of Two Hundred Eighteen Thousand Seven Hundred and Fifty Dollars (\$218,750) of Sales Tax revenue calculated as follows:

1.	Total taxable retail sales generated by New Store for the Tax Year:	\$17,500,000
2.	Sales at 1% level for Tax Year:	\$13,125,000
3.	Sales Tax received on 1% level sales:	\$ 131,250
4.	Sales at 2% level for Tax Year:	\$ 4,375,000
5.	Sales Tax received on 2% level sales:	<u>\$ 87,500</u>
	Base Sales Tax Amount (Total of #3 and #5)	<u>\$ 218,750</u>

- C. **“Commencement Date”** shall mean the first day of the first full calendar month following the day the New Store construction is completed, is open for business and the Existing Store is closed.
- D. **“Effective Date”** shall mean the date on which this Agreement is last executed by both parties.
- E. **“Extraordinary Costs”** shall mean the actual costs incurred by Jewel-Osco for the extraordinary sequencing of New Store construction while maintaining Existing Store retail operations. Extraordinary Costs do not include the ordinary cost of operating and maintaining Existing Store retail operations during construction of the Project, and do not include the ordinary cost that would have been incurred for constructing the New Store if Existing Store operations were terminated. Extraordinary Costs do include any and all non-ordinary and

additional costs and expenses of operating and maintaining the Existing Store's retail operations during construction of the New Store.

- F. **"Incentive Payment"** shall mean the payment of Incremental Sales Taxes for a Tax Year by the Village pursuant to this Agreement, but not in the aggregate exceeding the Incentive Reimbursement Amount. For the purpose of determining the net present value of Incentive Payments, Incentive Payments for a Tax Year shall be deemed to have been made on the last day of that Tax Year.
- G. **"Incentive Reimbursement Amount"** means a total maximum amount over the Term of this Agreement that shall not exceed the lesser of: (i) the net present value (using a 6% discount rate) of the amount spent by Jewel-Osco on Extraordinary Costs; or (ii) One Million Two Hundred Thousand (\$1,200,000) Dollars net present value (using a 6% discount rate) of Incremental Sales Taxes.
- H. **"Incremental Sales Taxes"** for a Tax Year means seventy-five percent (75%) of the amount by which the Annual Sales Taxes for such Tax Year exceed the Base Sales Tax Amount. To illustrate (although actual figures will vary), if the taxable annual retail sales generated by the New Store for a Tax Year is Twenty-Two Million Five Hundred Thousand (\$22,500,000) Dollars, and assuming that seventy-five percent (75%) of taxable annual sales from the New Store are at the one percent (1%) municipal sales tax level, and twenty-five percent (25%) are at the two percent (2%) municipal sales tax level, Incremental Sales Taxes for the Tax Year would be the sum of Sixty-Two Thousand Five Hundred Dollars (\$62,500) of Sales Tax revenue calculated as follows:

1. Total taxable retail sales generated by the New Store
for Tax Year: \$22,500,000.

2.	Sales above \$17,500,000 for the Sales Tax Year (Incremental Sales)	:	\$ 5,000,000.
3.	Incremental Sales at the 1% Sales Tax level:		\$ 3,750,000.
4.	Sales Tax received on 1% level incremental sales:		\$ 37,500.
5.	Incremental Sales at the 2% Sales Tax level:		\$ 1,250,000.
6.	Sales Tax received on 2% level incremental sales:		<u>\$ 25,000.</u>
7.	Incremental Sales Taxes (Total of #4 and #6)		<u>\$ 62,500.</u>
8.	Economic Incentive amount (75%)		<u>\$ 46,875.</u>

I. **“Incremental Sales Tax Base”** shall mean Seventeen Million Five Hundred Thousand Dollars (\$17,500,000), as confirmed by the Illinois Department of Revenue, of taxable retail sales generated by the New Store for the Tax Year.

J. **“Sales Tax”** shall mean: (i) the one percent (1%) Non-home Rule Municipal Retailers’ Occupation Tax imposed on municipal retailers by the Village pursuant to the authorization set forth in 65 ILCS 5/8-11-1.1, *et seq.*, and (ii) the one percent (1%) Home Rule Municipal Retailers’ Occupation Tax imposed on municipal retailers by the Village pursuant to the authorization set forth in 65 ILCS 5/8-11-1. The term “Sales Tax” shall not include any additional sales tax revenues that might result from a future increase in the one percent (1%) Home Rule Municipal Retailers’ Occupation Tax enacted by the Village but effective after the Effective Date of this Agreement, nor from any future national, state or local sales or excise tax (such as a tax upon e-commerce) which does not currently exist.

K. **“Tax Year”** shall mean the initial twelve (12) month period beginning at 12:00

o'clock a.m. of the Commencement Date and ending on the next annual anniversary of the Commencement Date, and each succeeding twelve (12) month period during the Term of this Agreement beginning on each successive anniversary of the Commencement Date.

- L. **“Term”** shall mean the term of this Agreement beginning on the Commencement Date and ending on the first to occur of the following: (i) 20 years from the Commencement Date; (ii) the earlier termination or cancellation of this Agreement; (iii) the earlier termination or cancellation of the New Lease; or (iv) the date that the Incentive Reimbursement Amount has been disbursed as Incentive Payments pursuant to this Agreement.

Section 3. Owner and Jewel-Osco Commitment. As a condition precedent to the Village’s obligations set forth herein below, Owner and Jewel-Osco agrees as follows:

- A. To enter into the New Lease pursuant to which Owner will lease to Jewel-Osco, and Jewel-Osco will lease from Owner, on terms which shall not be inconsistent with this Agreement, space in the Center as identified on Exhibit D attached hereto for the development and build-out of the New Store. The New Lease shall be for a minimum lease term of ten (10) years. Owner and Jewel Osco agree that Jewel Osco shall submit a copy of this executed lease provision to the Village to verify compliance with this requirement. In the event that Owner and Jewel-Osco do not enter into the New Lease on or before November 1, 2015 Village may, in the exercise of its sole discretion, terminate this Agreement on written notice to Owner and Jewel-Osco.
- B. Owner and Jewel-Osco shall confirm the New Lease commencement date in

writing to the Village within five (5) business days after a determination of the commencement date by Owner and Jewel-Osco.

- C. Owner and Jewel-Osco shall apply for diligently pursue all required land use approvals for the New Store, Outlots E and F, the reconfigured Center parking lot and traffic circulation plan and related site plan changes no later than December 1, 2015 and diligently pursue such approvals thereafter. "Land Use Approvals" shall mean the amendment of the existing PUD affecting the Center and not the issuance of building permits or other ancillary approvals. In the event that Owner and Jewel-Osco have not received all Village land use approvals required for development of the New Store and related redevelopment of the Center on or before November 1, 2016, Village may, in the exercise of its sole discretion, terminate this Agreement on written notice to Owner and Jewel-Osco.
- D. The New Store shall be not less than 55,000 square of gross leasable floor area and shall be substantially as depicted on the plans attached hereto as Exhibit D. Owner and Jewel-Osco shall cause the New Store to be built-out and completed in accordance with this Agreement, and with the representations made by their representatives to the Village Board and Village staff, the costs of which shall be borne and paid for by Jewel-Osco and/or Owner.
- E. Construction of the new Store shall commence not later than twelve (12) months after Village grants required land use approvals. Owner and Jewel-Osco shall proceed with due diligence to complete construction of the New Store.
- F. Subject to causes beyond Jewel-Osco's reasonable control, such as acts of God, unusually inclement weather, material shortages and labor strikes, Jewel-Osco

shall commence operation of the New Store not later than eighteen (18) months after the commencement of New Store construction.

- G. Jewel-Osco shall operate the Existing Store as a full line Jewel Osco store until the New Store is placed in operation.
- H. Village shall have the right, upon prior written notice to Owner and Jewel-Osco, to terminate this Agreement if (i) the New Lease is terminated within ten (10) years after the Commencement Date, or (ii) if the New Store has not been operated as a full line Jewel Osco store for the aggregate total of twelve (12) months during the term of the New Lease, excluding the time required for the build-out of the New Store, and excluding any time that the New Store is closed for repair by reason of a casualty event or for remodeling provided such repairs are diligently pursued and completed.
- I. Jewel-Osco shall keep and maintain records of the costs of the Project consistent with its customary project costs documentation practices. Village shall have the right to audit all relevant documentation pertaining to Extraordinary Costs claimed by Jewel-Osco.

Section 4. Agreement to Share a Portion of Sales Tax.

- A. Effective on the Commencement Date and continuing throughout the Term of this Agreement, and subject to terms and conditions provided herein, the Village shall make annual Incentive Payments to Jewel-Osco.
- B. Incentive Payments pursuant to this Agreement shall be made by the Village within one hundred-twenty (120) days after the end of each Tax Year and after: (i) Annual Sales Taxes for the Tax Year are received by the Village; and (ii)

documentation is received by the Village from the Illinois Department of Revenue and Jewel-Osco verifying the accuracy of the amount of Annual Sales Taxes. The Village shall contemporaneously provide Jewel-Osco with a written accounting with the annual Incentive Payments demonstrating the Village's determination of the Incentive Payments' amount.

- C. Jewel-Osco agrees to sign and deliver all documentation necessary to cause the Illinois Department of Revenue to release to the Village the amount of Sales Tax generated by the New Store during the Term of this Agreement.
- D. Except for the amount and timing of Incentive Payments made to Jewel-Osco under this Agreement (which is considered public information), Jewel-Osco and Village shall keep Annual Sales Taxes information confidential, unless disclosure is otherwise required by law.

Section 5. Limited Obligation of the Village. This is a limited obligation of the Village. The Village's obligation to make Incentive Payments is limited solely and exclusively from the proceeds of Incremental Sales Tax amounts actually received by the Village. This is not, and shall not be construed as, a full faith and credit or general obligation of the Village for any purpose.

Section 6. Defaults.

- A. The occurrence of any one of the following shall constitute a default by Owner and Jewel-Osco under this Agreement:
 - (1) Failure to comply with any term, provision or condition of this Agreement within the times herein specified, where such failure is not cured within the cure period provided for in Section 19.

(2) Jewel-Osco shall: (i) become insolvent and be unable, or admits in writing its inability to pay, its debts as they mature; or (ii) be adjudicated a bankrupt; or (iii) file a petition in bankruptcy or to effect a plan or other arrangement with creditors; or (iv) file an answer to a creditors' petition (admitting the material allegations thereof) for an adjudication of bankruptcy or to effect a plan or other arrangement with creditors; or (v) apply to a court for the appointment of a receiver for any asset; or (vi) have a receiver or similar official appointed for any of its assets, or, if such receiver or similar official is appointed without the consent of Jewel-Osco and such appointment shall not be discharged within sixty (60) days after his appointment or Jewel-Osco has not bonded against such receivership or appointment.

- B. Upon the occurrence of a default by Owner or Jewel-Osco as hereinabove set forth, the Village shall be relieved of any and all of its obligations arising pursuant to this Agreement and such obligations on the part of the Village shall be immediately canceled and without any force or effect, except with respect to the obligation to pay Incremental Sales Taxes accrued prior to the date of termination.
- C. The failure of the Village to make an Incentive Payment hereunder shall constitute a default by Village under this Agreement. Upon the occurrence of a default by Village, Owner and Jewel-Osco shall have all remedies available to it in law or equity. In addition, Owner shall be relieved of the obligations and restrictions set forth in Recital Paragraph E.

Section 7. Notices. All notices and requests required pursuant to this Agreement shall be in writing and shall be deemed duly given to the parties identified below when properly addressed as

follows: (i) on the date of delivery, if delivered personally to the parties identified below, (ii) on the next business day if placed with a nationally recognized courier or delivery service for overnight delivery, or (iii) five (5) business days after mailing if sent by certified U.S. Mail, postage prepaid, return receipt requested.:

To Owner: Gateway Fairview, Inc.
c/o RREEF Management LLC
222 South Riverside Plaza, Floor 26
Chicago, IL 60606-5808

With a copy to: C. Michelle Panovich, Principal, Executive Vice President
Mid-America Asset Management, Inc.
One Parkview Plaza, 9th Floor
Oakbrook Terrace, IL 60181

And with a copy to: Mariah F. DiGrino, Esq.
DLA Piper
203 North LaSalle Street, Suite 1900
Chicago, IL 60601

To Jewel-Osco: Jewel Food Stores, Inc.
c/o New Albertson's, Inc.
P.O. Box 20, Boise, Idaho 83726 (mailing address)
250 Parkcenter Blvd, Boise Idaho 83726 (street address)
Attn: Legal Department, Jewel #3469

With a copy to: Jewel Food Stores, Inc.
150 Pierce Road, Suite 200
Itasca, Illinois 60143

And with a copy to: Goldstine, Skrodzki, Russian, Nemecek and Hoff, Ltd.
835 McClintock Drive, Second Floor
Burr Ridge, Illinois 60527
Attn: Richard J. Skrodzki

To the Village: Village of Deerfield
850 Waukegan Road
Deerfield, Illinois 60015
Attn: Village Manager

With a copy to: Rosenthal, Murphey, Coblenz & Donahue
Suite 1624
30 North LaSalle Street
Chicago, Illinois 60602
Attn: Peter D. Coblenz, Esq.

Section 8. Law Governing. This Agreement shall be construed and enforced in accordance with the laws of the State of Illinois.

Section 9. Assignments by Jewel-Osco. Except in the case of an assignment to an affiliate whose ownership shares a controlling interest with Jewel-Osco and which assignees will continue to operate the New Store in accordance with this Agreement, Jewel-Osco may not assign its rights and obligations under this Agreement to any person or entity without the prior written consent of the Village. Village approval of any assignment shall not be unreasonably withheld.

Section 10. Assignments by Owner. Conveyance by Owner of title to the Center to another person, firm or entity ("Successor Owner") shall relieve Owner of its obligations under this Agreement, provided that Successor Owner has agreed in writing to assume and be bound by Owner's obligations under this Agreement

Section 11. Time. Time is of the essence under this Agreement and all time limits set forth are mandatory and cannot be waived except by a lawfully authorized and executed written waiver by the party excusing such timely performance, except for delays caused by force majeure.

Section 12. Binding Effect. This Agreement shall inure to the benefit of and shall be binding upon the Village, Owner and Jewel-Osco and their respective successors and assigns.

Section 13. Limitation of Liability. No recourse under or upon any obligation, covenant or agreement of this Agreement, or for any claim based thereon or otherwise in respect thereof,

shall be had against the Village, its officers, agents and employees in any amount in excess of the Incentive Reimbursement Amount specific sum agreed by the Village to be paid to Jewel-Osco as Incremental Sales Taxes as provided herein, and no liability, right or claim at law or in equity shall attach to or shall be incurred by the Village, its officers, agents and employees in excess of such amounts and all and any such rights or claims of Owner and/or Jewel-Osco against the Village, its officers, agents and employees are hereby expressly waived and released as a condition of and as consideration for the execution of this Agreement by the Village.

Section 14. Legal and Other Fees and Expenses.

- A. Except as modified by sub-section B below, in the event that any third party or parties institute any legal proceedings against Owner, Jewel-Osco and/or the Village which relate to the terms of this Agreement, Jewel-Osco shall, on notice from the Village, assume the entire defense of such lawsuit and all attorneys' fees and expenses related thereto, provided, however: (i) No settlement or compromise of the lawsuit may be made, and no failure to pursue any available avenue of appeal of any adverse judgment shall be suffered without the approval of the Village; and, (ii) if the Village, in its sole discretion, determines that there is, or may be, a conflict of interest between Village and Owner and/or Jewel-Osco on an issue of importance to the Village having a potentially substantial adverse effect on the Village, then the Village shall have the option of being represented by its own legal counsel. In the event the Village exercises such option, Jewel-Osco shall reimburse the Village for any expenses, including but not limited to court costs, reasonable attorneys' fees, witness fees and other expenses of litigation incurred by the Village in connection therewith.

- B. In the event any third party or parties institute any legal proceedings to challenge the authority of the Village to provide an economic incentive for the Project as provided in this Agreement, or to otherwise challenge the legal validity of this Agreement, the Village shall assume the entire defense of such legal proceedings and all attorneys' fees and costs thereto "Fees and Costs"). Fifty percent (50%) of Fees and Costs shall be deductible from Incentive Payments during the Tax Year in which they are incurred.
- C. In the event any party institutes legal proceedings against another party for violation of this Agreement, the court having jurisdiction thereof shall determine and include in its judgment against the non-prevailing party all expenses of such legal proceedings incurred by the prevailing party, including court costs, reasonable attorneys' fees and witness fees incurred by the prevailing party in connection therewith.

Section 15. No Waiver or Relinquishment of Right to Enforce Agreement. Failure of any Party to this Agreement to insist upon the strict and prompt performance of the terms, covenants, agreements, and conditions herein contained, or any of them, upon any other party imposed, shall not constitute or be construed as a waiver or relinquishment of any Party's right thereafter to enforce any such term, covenant, agreement or condition, but the same shall continue in full force and effect.

Section 16. Section Headings and Subheadings. All section headings or other headings in this Agreement are for the general aid of the reader and shall not limit the plain meaning or application of any of the provisions hereunder whether covered or relevant to such heading or not.

Section 17. Authorization to Execute. The officers and agents of Owner and of Jewel-Osco who have executed this Agreement represent and warrant that they have been lawfully authorized by Owner and Jewel-Osco, respectively, to execute this Agreement on behalf of Owner and Jewel-Osco. The Village President and Village Clerk represent and warrant that they have been lawfully authorized by the Village Board to execute this Agreement.

Section 18. Amendment. This Agreement sets forth all the promises, inducements, agreements, conditions and understandings between the Village, Owner and Jewel-Osco relative to the subject matter hereof, and there are no promises, agreements, conditions or understandings, either oral or written, expressed or implied, between them, other than are herein set forth. No subsequent alteration, amendment, change or addition to this Agreement shall be binding upon the parties hereto unless authorized in accordance with law and reduced in writing and signed by them.

Section 19. Curing Default. In the event of any alleged default under or violation of this Agreement, the party not in default or violation shall serve written notice upon the party or parties in default or violation, which notice shall be in writing and shall specify the particular violation or default. The parties hereto reserve the right to cure any violation of this Agreement or default by any of them hereunder within sixty (60) days from written notice of such default. If such default is so cured to the reasonable satisfaction of the party not in default within said sixty (60) day period, all the terms and conditions of this Agreement shall remain in full force and effect as if no such violation occurred. In the case of a default by Jewel-Osco only, but not in the case of a default by Owner or the Village, the obligation of the Village to make Incremental Sales Tax payments hereunder shall be stayed during any default period.

Section 20. Conflict Between the Text and Exhibits. In the event of a conflict in the provisions of the text of this Agreement and the exhibits attached hereto, the text of the Agreement shall control and govern.

Section 21. Severability. If any provision of this Agreement is held invalid by a court of competent jurisdiction, or in the event such a court shall determine that the Village does not have the power to perform any such provision, such provision shall be deemed to be excised here from and the invalidity thereof shall not affect any of the other provisions contained herein, and such judgment or decree shall relieve the Village from performance under such invalid provision of this Agreement; provided however, if the judgment or decree relieves the Village of its obligation to make Incremental Sales Tax payments under this Agreement, then the Agreement shall be terminated.

Section 22. Interpretation. This Agreement has been negotiated by all parties and shall not be interpreted or construed against the party or parties drafting the Agreement.

Section 23. Expiration and Termination. When the Incentive Reimbursement Amount pursuant to this Agreement has been paid, or upon the expiration of the term hereof, this Agreement shall terminate.

Section 24. Execution of Agreement. This Agreement may be executed in two or more counterparts, each of which taken together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals as of the date and year first written above.

VILLAGE OF DEERFIELD
an Illinois Municipal Corporation

By: _____
Its: _____

ATTEST:

Village Clerk

OWNER
GATEWAY FAIRVIEW, INC.,
a Delaware corporation

By: _____
Its: _____

ATTEST:

JEWEL FOOD STORES, INC.,
an Ohio corporation

By: _____
Its: President

ATTEST:

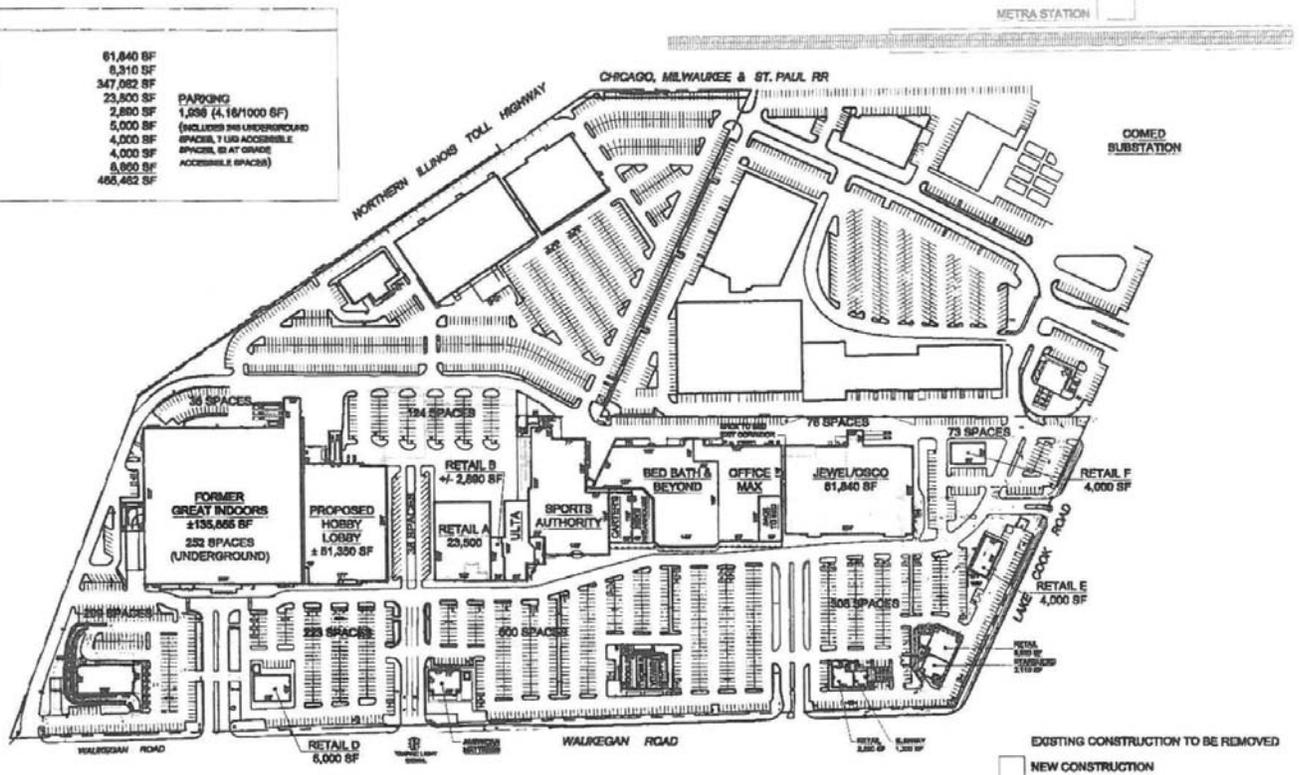
944376.2

Deerbrook Shopping Center – Legal Description

Deerbrook Shopping Center is the property located at the southwest corner of Waukegan Road and Lake Cook Road in Deerfield, Illinois, and is legally described as follows: 50-250 S. Waukegan Road, Deerfield, Illinois. PINs: 04-04-200-005-0000, 04-04-200-007-0000, 04-04-200-008-0000, 04-04-200-013-0000, 04-04-200-014-0000, 04-04-200-016-0000, 04-04-200-017-0000, 04-04-200-021-0000, 04-04-200-022-0000, 04-04-200-023-0000, 04-04-200-024-0000, 04-04-202-024-0000, 04-04-202-025-0000.

Exhibit B

SITE DATA	
EXISTING GLA	
GROCERY	61,840 SF
RESTAURANT	8,310 SF
RETAIL/BANK	347,062 SF
RETAIL A	23,500 SF
RETAIL B	2,880 SF
RETAIL D	5,000 SF
RETAIL E	4,000 SF
RETAIL F	4,000 SF
PORTILLOS	8,800 SF
	466,462 SF



PROPOSED PLAN

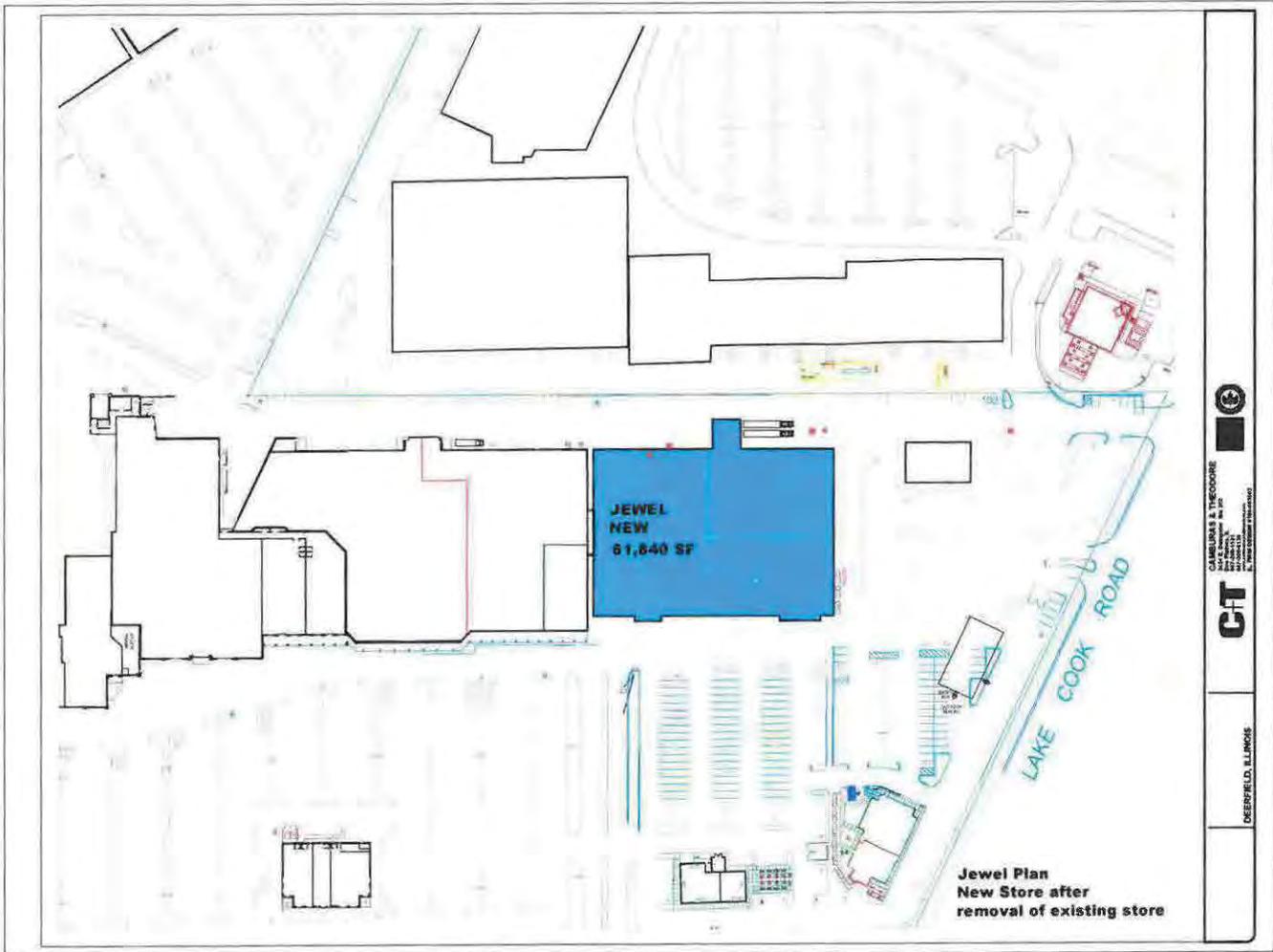


DEERBROOK MALL
DEERFIELD, ILLINOIS



OKW Architects

DATE: FEBRUARY 24, 2016 PROJECT NUMBER: 0204



Deerfield Project Timelines		Date: 5/4/2016
	Weeks	Comments
Permitting & Bidding	10	
Downsizing	2	
Partial Building Demo & Pad Prep	5	
Jewel Osco New Store Construction	35	Soft Open
Remaining Building Demo & Site Work	7	Grand Open
Total	59	

Additional costs incurred by single phase new store construction	Est.
General Conditions / OH&P	\$150,000
Remobilization of Trades	\$50,000
Temporary footings & walls	\$100,000
Temporary roofing & mechanicals	\$150,000
Additional Merchandising / Fixturing	\$350,000
Utilities	\$100,000
Additional Labor	\$50,000
Total:	\$950,000

Total New Store Cost	
Construction Cost- New Store	\$7,420,800
Soft Cost	\$350,000
FFE	\$4,500,000
Additional Hard & Labor Cost	\$900,000
Additional Labor	\$50,000
Total	\$13,220,800

EXHIBIT "B"
TO
5/16/16 AMENDMENT TO ECONOMIC INCENTIVE AGREEMENT
VILLAGE OF DEERFIELD/GATEWAY FAIRVIEW, INC./
JEWEL FOOD STORES, INC.